

# Public Document Pack

## AGENDA FOR

## PLANNING CONTROL COMMITTEE

*Contact:* Julie Gallagher  
*Direct Line:* 0161 2536640  
*E-mail:* julie.gallagher@bury.gov.uk  
*Web Site:* www.bury.gov.uk

**To: All Members of Planning Control Committee**

**Councillors :** J Black (Chair), A Matthews, Y Wright, R Skillen, C Preston, E O'Brien, J Harris, M D'Albert, R Caserta, T Cummings, S Haroon, S Kerrison and I Schofield

Dear Member/Colleague

### Planning Control Committee

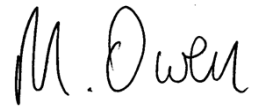
You are invited to attend a meeting of the Planning Control Committee which will be held as follows:-

<b>Date:</b>	Tuesday, 30 August 2016
<b>Place:</b>	Peel Room, Bury Town Hall
<b>Time:</b>	7.00 pm
<b>Briefing Facilities:</b>	<p>If Opposition Members and Co-opted Members require briefing on any particular item on the Agenda, the appropriate Director/Senior Officer originating the related report should be contacted.</p> <p>The Head of Development Management will brief the Committee on any changes to be made to the Planning Applications since the issue of the Agenda. This information will be circulated to Members and made available to the public on the Council's Website on the day of the meeting.</p>
<b>Notes:</b>	<p>Food will be available from 5.00 pm (Balcony Bar). Pre-meeting briefing/virtual site visits at 6.00 pm (Lancaster Room).</p> <p>Details of Site Visits/Member Training will be circulated separately for the information of Members and Officers.</p>

The Agenda and Reports for the meeting are attached.

The Agenda and Reports are available on the Council's Website at [www.bury.gov.uk](http://www.bury.gov.uk) – Council and Democracy.

Yours sincerely

A handwritten signature in black ink that reads "M. Owen". The signature is written in a cursive style with a large initial 'M' and a distinct 'O'.

**MIKE OWEN**  
**CHIEF EXECUTIVE**

## **AGENDA**

### **1 APOLOGIES FOR ABSENCE**

### **2 DECLARATIONS OF INTEREST**

Members of the Planning Control Committee are asked to consider whether they have an interest in any of the matters on the Agenda and, if so, to formally declare that interest.

### **3 MINUTES OF THE MEETING HELD ON 26 JULY, 2016** *(Pages 1 - 4)*

### **4 PLANNING APPLICATIONS** *(Pages 5 - 82)*

### **5 DELEGATED DECISIONS** *(Pages 83 - 96)*

A report from the Head of Development Management on recent delegated decisions since the last meeting of the Planning Control Committee.

### **6 PLANNING APPEALS** *(Pages 97 - 100)*

A report from the Head of Development Management on recent planning appeal decisions since the last meeting of the Planning Control Committee.

### **7 PLANNING ENFORCEMENT ANNUAL REPORT** *(Pages 101 - 112)*

A report from the Head of Development Management is attached.

### **8 ARTICLE 4 - DIRECTION CONFIRMATION OF ORDER - HOLCOMBE CONSERVATION AREA** *(Pages 113 - 122)*

A report from the Head of Development Management is attached.

### **9 URGENT BUSINESS**

Any other business which by reason of special circumstances the Chair agrees may be considered as a matter of urgency.

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**Minutes of: PLANNING CONTROL COMMITTEE**

**Date of Meeting:** 26 July, 2016

**Present:** Councillor J Black (In the Chair)  
Councillors A Cummings, M D'Albert, S Haroon, J Harris, S Kerrison, A Matthews, E O'Brien, C Preston, R Skillen, I Schofield and Y Wright.

**Public attendance:** 25 members of the public were in attendance

**Apologies for absence:** Councillor R Caserta

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**PCC.176 DECLARATIONS OF INTEREST**

There were no declarations of interest made at the meeting.

**PCC.177 MINUTES**

**Delegated decision:**

That the Minutes of the meeting held on 28 June, 2016 be approved as a correct record and signed by the Chair.

**PCC.178 PLANNING APPLICATIONS**

A report from the Development Manager was submitted in relation to the applications for planning permission. Supplementary information was also submitted in respect of application numbers: 59398; 59715; 59983; 59997; 60004; 60021; 60173 and 60206 .

The Committee heard representations from applicants and/or objectors in respect of the applications submitted. This was limited to three minutes for each speaker.

Ward Councillors spoke on planning applications as follows:-  
Councillor J Walker on planning application 59997.  
Councillor Whitby on planning application 60173.  
Councillor Quinn on planning application 60004.

Prior to the Committee meeting, Site Visits had taken place in relation to Planning Applications 59997 and 60004.

**Delegated decisions:**

1. That **Approval** be given to the following applications in accordance with the reasons put forward by the Head of Development Management in the report and supplementary information submitted and subject to the conditions included:

**59398 Land adjacent to Church Mews, Deardens Street, Bury – Bury west – Church Ward**  
Erection of 5 no. dwellings

**59983 17–21 Bury Street, Radcliffe, Manchester – Radcliffe East Ward**

Conversion to form 4 no. shop units and 3 no. flats together with new shop

**59997 Garage site at land between 18 & 24 Bradley Fold Road, Ainsworth, Bolton – Radcliffe North Ward**

Outline – 1 no. detached dwelling with details of access, layout and scale

**60004 Masjid – E – Bilal, 52 Bury Old Road, Prestwich – Prestwich – Sedgley Ward**

Temporary Siting (for 3 years) of 1 no. Portacabin for use as a Classroom and Alterations to Car Park Layout

**60021 Dry Gap Farm, Bury Old Road, Shuttleworth, Ramsbottom – Ramsbottom & Tottington, Ramsbottom Ward**

Change of use of existing domestic stables to use as equestrian centre for able bodied people and individuals with autism and similar disabilities and creation of 3 no. new parking spaces

**60171 4 Moss Lane, Whitefield, Manchester - Whitefield & Unsworth – Besses Ward**

Two storey extension for office and storage

**60173 Unit 1, Block 5, Albert Close, Whitefield – Whitefield & Unsworth – Besses Ward**

First floor office extension

**60206 Radcliffe Borough Associated Football Club, Colshaw Close East, Radcliffe – Radcliffe North Ward**

Erection of cladded steel framed structure over east terrace (lower goal)

2. That the Committee be **Minded to Approve** the following applications in accordance with the reasons put forward by the Head of Development Management in the report and supplementary information submitted and subject to the conditions included:

**59715 Redisher Works, Holcombe Old Road, Ramsbottom, Bury – Ramsbottom & Tottington – Ramsbottom**

Demolition of existing buildings and erection of 22 no. dwellings including works to culverted watercourse

**PCC.179**

**DELEGATED DECISIONS**

A report from the Head of Development Management was submitted listing all recent Planning application decisions made by Officers using delegated powers.

**Delegated decision:**

That the report be noted.

**PCC.180 PLANNING APPEALS**

A report from the Head of Development Management was submitted detailing all Planning Appeals Lodged and Determined by the Planning Inspectorate since the last meeting of the Planning Control Committee.

**Delegated decision:**

That the report be noted.

**CHAIR  
COUNCILLOR JANE BLACK**

**(Note: The meeting started at 7.04 pm and ended at 8.01 pm)**

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<b>Title</b>	<b>Planning Applications</b>
<b>To:</b>	<b>Planning Control Committee</b>
<b>On:</b>	<b>30 August 2016</b>
<b>By:</b>	<b>Development Manager</b>
<b>Status:</b>	<b>For Publication</b>

**Executive Summary**

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

**This report has the following implications**

**Township Forum/ Ward:** Identified in each case.

**Policy:** Identified in each case.

**Resources:** Not generally applicable.

**Equality Act 2010:** All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:  
The elimination of discrimination, harassment and victimisation;  
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;  
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

**Human Rights:** All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

## **Development Manager**

### **Background Documents**

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

**01 Township Forum - Ward:** Ramsbottom + Tottington - Tottington **App No.** 60181  
**Location:** Walshaw Hall, Bradshaw Road, Walshaw, Tottington, Bury, BL8 3PJ  
**Proposal:** Variation of condition 2 (approved plans) of planning permission ref. 55803 for proposed new 53 bed unit, 3 storeys high adjacent to existing residential home: Various amendments to the scheme including window and door position, number of bed spaces and the relocation of on site refuse/recycling store and its construction detail

**Recommendation:** Approve with Conditions **Site Visit:** N

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**02 Township Forum - Ward:** Ramsbottom + Tottington - Tottington **App No.** 60183  
**Location:** Walshaw Hall, Bradshaw Road, Walshaw, Tottington, Bury, BL8 3PJ  
**Proposal:** Surfacing of existing car park to existing care home, including kerbs and edgings and replacement of existing external lighting

**Recommendation:** Approve with Conditions **Site Visit:** N

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**03 Township Forum - Ward:** Ramsbottom and Tottington - Ramsbottom **App No.** 60212  
**Location:** Croft End Mill, Bolton Road North, Stubbins, Bury, BL0 0NA  
**Proposal:** Demolition of existing buildings and erection of 11 no. dwellings with associated garages and parking along with associated engineering works including the infilling of the filter beds

**Recommendation:** Approve with Conditions **Site Visit:** N

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**04 Township Forum - Ward:** Prestwich - Holyrood **App No.** 60216  
**Location:** Side of 64 Polefield Hall Road, Prestwich, Manchester, M25 2WW  
**Proposal:** Erection of 1 no. detached dwelling at side; New driveway/vehicular access to no. 64

**Recommendation:** Approve with Conditions **Site Visit:** N

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**05 Township Forum - Ward:** Prestwich - St Mary's **App No.** 60310  
**Location:** 558 Bury New Road, Prestwich, Manchester, M25 9ND  
**Proposal:** Change of use from car repairs to tile centre (Sui generis) (storage, distribution and sale of hard wall and floor finishes and associated products), external alterations.

**Recommendation:** Approve with Conditions **Site Visit:** N

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**Ward:** Ramsbottom + Tottington - Tottington

Item 01

**Applicant:** Capstone Care Ltd

**Location:** Walshaw Hall, Bradshaw Road, Walshaw, Tottington, Bury, BL8 3PJ

**Proposal:** Variation of condition 2 (approved plans) of planning permission ref. 55803 for proposed new 53 bed unit, 3 storeys high adjacent to existing residential home: Various amendments to the scheme including window and door position, number of bed spaces and the relocation of on site refuse/recycling store and its construction detail

**Application Ref:** 60181/Full

**Target Date:** 10/08/2016

**Recommendation:** Approve with Conditions

### **Description**

The site is located to the north of Walshaw village and is within the Green Belt. The site contains a building, which is used as a specialist care home and has recently been extended. The original building is located centrally within the site and is on the draft local list. The building is constructed from stone and slate. The surrounding grounds consist predominantly of woodland with manicured gardens and there is a Tree Preservation Order (TPO) covering all trees within the site. Access to the site is from Bradshaw Road and there are three car parks:

- a small car park to the south of the building;
- a larger car park to the north of the building;
- a larger car park to the east.

The site is bounded by open fields to the west and south. Bradshaw Road forms the boundary to the north with open fields beyond. There are two residential properties, which are located adjacent to the eastern boundary with open fields beyond.

Planning permission was granted for an extension to the building for use as a 53 bed care home for dementia sufferers. The extension was three storeys and was located to the west of the existing building. Access was taken from Bradshaw Road and a new car park was located to the north of the proposed and existing buildings. The permission has been implemented and the building is in use.

The application is retrospective and seeks to amend the approved plans in the following ways:

- Amendment to the position of a window (in the southern elevation) and door (in eastern elevation) and the widening of the chimney (on the eastern elevation);
- Increase in the number of bed spaces from 53 to 56;
- Relocation of the bin store from adjacent to the existing building to north of the proposed car park;
- Change in construction of bin store.

### **Relevant Planning History**

35009 - 16 bedroom extension at Walshaw Hall, Bradshaw Road, Tottington. Approved with conditions - 16 February 1999.

55803 - Proposed new 53 bed unit, 3 storeys high adjacent to existing residential home at Walshaw Hall, Bradshaw Road, Tottington. Approved with conditions - 23 January 2013

60183 - Surfacing of existing car park to existing care home, including kerbs and edgings

and replacement of existing external lighting at Walshaw Hall, Bradshaw Road, Tottington. Received - 15 June 2016. Elsewhere on this agenda.

#### Enforcement

15/0133 - Erection of substation at Walshaw Hall Care Home, Bradshaw Road, Tottington. Case closed - 16 April 2015. The works were being undertaken by Electricity North West and are permitted development.

16/0168 - Alterations to existing car park at Walshaw Hall Care Home, Bradshaw Road, Tottington. Application received - 27 May 2016

#### Publicity

The neighbouring properties were notified by means of a letter on 17 June 2016.

1 letter has been received from the occupiers of The Lodge, Walshaw Hall, which has raised the following issues;

- Why is this application being considered? Mr Fowler stipulated that Capstone had been given a deadline of 20 May to submit it and it was eventually received on 27 May.
- We found out by letter that the applicant had submitted an application for works at the hall and comments were provided. Those relating to the bin store were accepted and acknowledged by the planning department and the planning committee, who approved it with conditions.
- The report stated that the bin store would screen the bins from view and would not have an adverse impact on our property, which is some 60 metres away. Capstone have chosen not to do this and have built it 40 metres away from the original site. It is not built of render and slate, but of stone with timber on top of the wall. It is clearly visible from Bradshaw Road and our home.
- The bin store may have been built from our stone, which we will continue to pursue.
- Staff have to walk 80 metres from the hall to gain access to the bin store.
- The managing director confirmed that the new car park should be sunk to a depth of 2 metres. This only happens behind the 15th parking bay and as a result all of the cars are clearly visible.
- Bury Council maintain that the car park is correct. It has 20 lights on it, 15 of which shine into our bedroom and living room as well as car headlights.
- I was told by the planning officer that if there was a problem with lighting, enforcement action would be taken. We are not aware of any action being taken. Since the lights were turned on in March 2016, only 2 cars have parked there overnight. (See application 60183)
- No cycle store has been provided to date. We are not convinced that any further landscaping will take place either.
- Planning permission was given for 53 units and not 56.
- We believe that these should be matters for the Planning Control Committee to adjudicate on.
- The car park is not well screened as worded in the committee report. Why do we have to look at the large green gas box adjacent to where the bin store should be? This does not appear on any plans.
- We have already informed the Planning Control Committee Councillors, Tottington Councillors, our MP, the Secretary of State, the Minister of State, Labour's Shadow Secretary of State and Shadow Minister of State of the background to these matters and of our opposition to any retrospective permission being given and our valid reasons why.

The objector has been notified of the Planning Control Committee meeting.

#### Consultations

**Waste Management** - Comments awaited.

**Traffic Section** - No objections.

#### Unitary Development Plan and Policies

H4/2	Special Needs Housing
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN8/1	Tree Preservation Orders
EN8/2	Woodland and Tree Planting
EN9/1	Special Landscape Areas
OL1/2	New Buildings in the Green Belt
OL7/2	West Pennine Moors
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
CF1/1	Location of New Community Facilities
CF3	Social Services
CF3/1	Residential Care Homes and Nursing Homes
CF4	Healthcare Facilities
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

### Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle (Community Facilities)** - Policy CF1/1 states that proposals for new and improved community facilities will be considered with regard to the impact on residential amenity, traffic generation and parking provision, scale and size of the development, access to shops and other services, accessibility by public transport and the needs and requirements of the disabled.

Policy CF3/1 states that residential care homes will be located in residential areas and will be permitted where they do not conflict with the amenity of adjoining areas.

Policy CF4 - Improvements to existing, and proposals for new healthcare facilities will generally be looked upon favourably by the Council.

The principle and substantially all of the development has been accepted by application 55803. This application is focussed upon specific retrospective issues. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policies CF1/1 and CF4 of the Bury Unitary Development Plan.

**Design and layout** - The proposed development involves the provision of three additional rooms, which would replace an activity room and part of the plant room. The proposed development would not result in any additional windows on the elevations and would not affect the design and appearance of the building.

The proposed amendments to the external elevations include the addition of a window at first floor level on the southern elevation, a window instead of a door at ground floor level on the eastern elevation and the widening of the chimney on the eastern elevation. The proposed amendments would overlook the existing grounds of the care home and would not impact upon the character or design of the proposed building. Only the chimney would be

visible and this would be viewed against the backdrop of the approved extension.

The approved bin store was to be located in the landscaped area immediately to the north of the existing building and was to be constructed from render with a slate roof. The proposed development would re-locate the bin store to the north of the car park and it would be cut into the landscape. As such, 0.5 metres of the bin store would be visible when viewed from the north and 1.8 metres when viewed from the south elevation. The proposed bin store would be constructed from stone with a timber fence above. Given the materials and the partial screening provided by the topography of the site and considerable distance from public views, it is considered that the proposed development would not be a prominent feature in the locality.

Therefore, the proposed development would be in accordance with Policies EN1/2 of the Bury Unitary Development Plan.

**Impact upon residential amenity** - SPD6 provides information on aspect standards between residential properties and would be relevant in this case. The nearest residential property would be 62 metres away from the edge of the proposed car park/bin store. Given that there is a considerable amount of intervening land in between the neighbour and the actual bin store, it is considered that the proposed development would not have a significant adverse impact upon the amenity of the neighbouring property. The next residential property is over 200 metres away. Therefore, given the distance involved, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties.

**Highways issues** - The proposed amendments would not impact upon the access to the site or the parking provision.

#### **Response to objectors**

- The issues relating to the impact upon the Green Belt, impact upon residential amenity and impact upon visual amenity have been addressed in the main report.
- The LPA has an obligation to determine any application which is submitted to it. The regulations are clear that retrospective applications can be made and must be determined accordingly and cannot be refused on the basis that it is simply retrospective. The application came in within a 'reasonable' time set out and required by the council.
- The issues relating to the breach of the deeds for the property, rights of access and the use of stone are not material planning considerations and are private matters.
- The issues relating to car park surfacing, kerbs, edgings and light pollution relate to application 60183 and are not relevant to this application.
- The application is being presented to the Planning Control Committee for members to determine.
- Landscaping is controlled through condition 6 and the timescale for implementation of the landscaping has been reduced.

#### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

#### **Conditions/ Reasons**

1. This decision relates to drawings numbered AL(11)\_003, AL(13)001 O, AL(13)002

Q, AL(51)002 O, AL(51)005 H, AL(11)005 O, AL(11)006 L, AL(11)007 O and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

2. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;  
The approved contamination testing shall then be carried out and validity evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

3. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

4. The development hereby approved shall only be carried out in accordance with the Japanese Knotweed statement, dated 19 May 2014. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.

Reason. To ensure that the site is free from Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape.

5. The landscaping scheme hereby approved shall be implemented to the written satisfaction of the Local Planning Authority not later than 6 months from the date of the decision. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

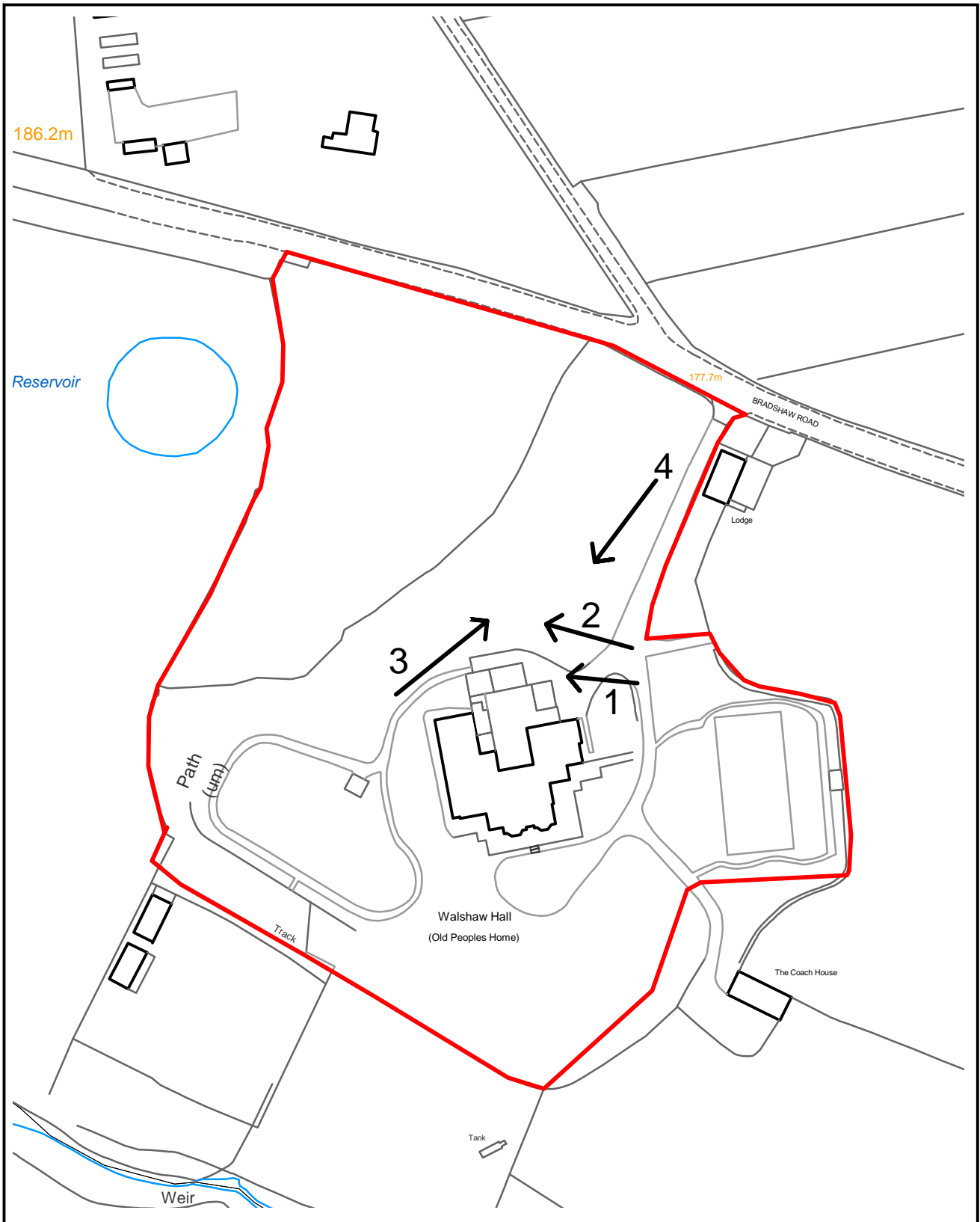
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.



6. The car parking indicated on approved plan reference AL(51)001 Revision D shall be surfaced, demarcated and made available for use prior to the development hereby approved being brought into use and thereafter maintained at all times.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
7. The visibility splay as detailed on the plan received on 10 June 2014 shall be implemented before the development is commenced and subsequently maintained free of obstruction above the height of 0.9m.  
Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Policies CF1/1 - Location of New Community Facilities of the Bury Unitary Development Plan.
8. The development hereby approved shall be carried out in accordance with the recommendations in Extended Phase 1 Habitats Survey (Ecological Appraisal), dated June 2012 and received on 10 January 2013.  
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 60181**

**ADDRESS: Walshaw Hall  
Bradshaw Road  
Tottington**

**Planning, Environmental and Regulatory Services**



**(C) Crown Copyright and database right (2013). Ordnance Survey 100023063.**

60181

Photo 1



Photo 2





60181

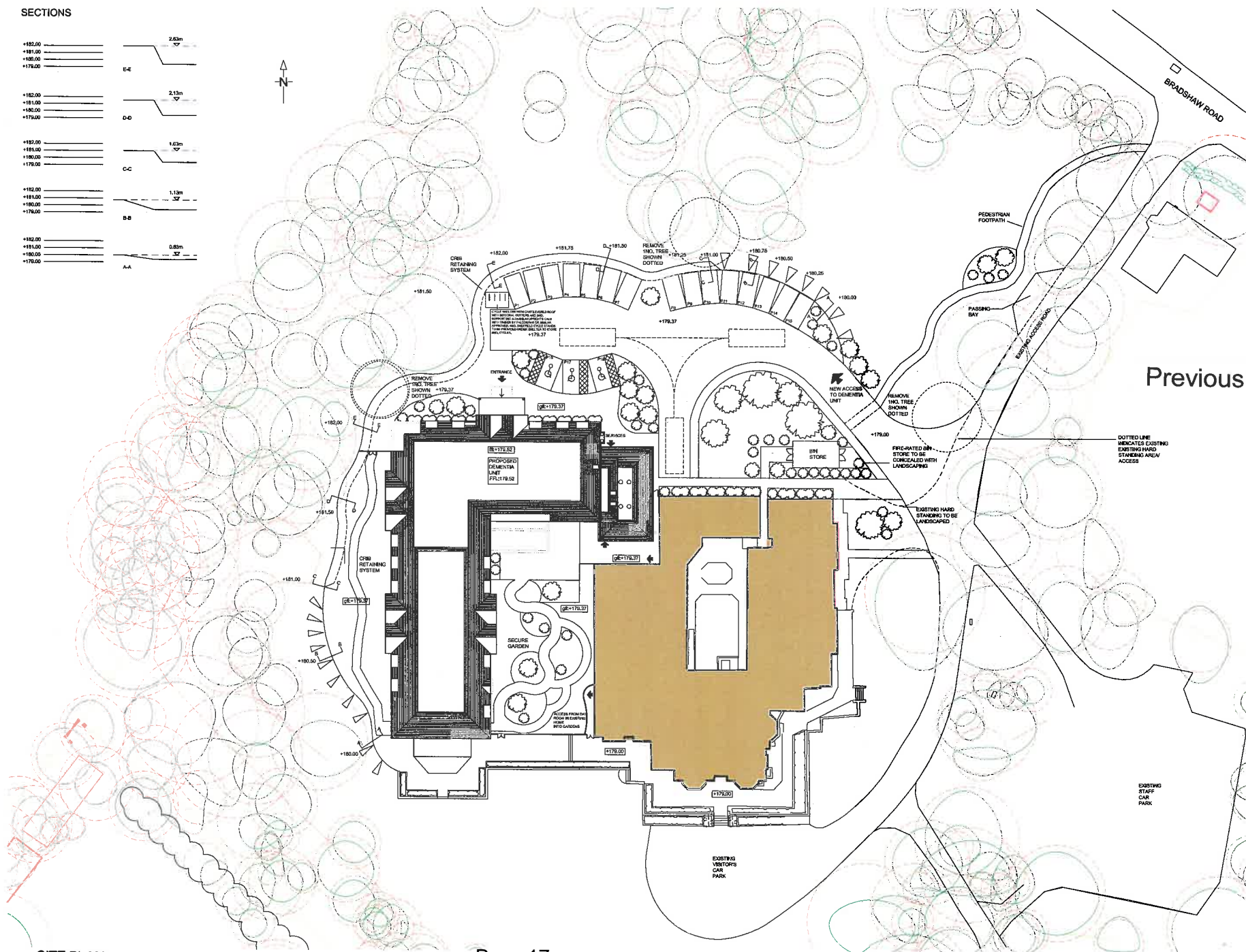
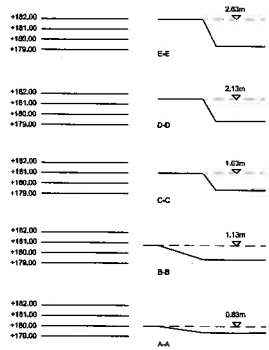
Photo 3



Photo 4



SECTIONS



Notes  
 Do not scale, use figured dimensions only.  
 All dimensions to be verified on site prior to the commencement of any work or the production of any shop drawing. All discrepancies to be reported to the Architect.  
 This drawing is to be read in conjunction with all related Architects and Engineers drawings and any other relevant information.  
 This drawing is copyright © of DWA Architects Ltd.

REV	DATE	REVISION	INITIALS
A	31.08.12	FOR COMMENTS	PLF
B	14.11.12	PLANNING APPLICATION	PLF
C	12.12.12	PASSING LAY BY ADDED AT REQUEST OF HIGHWAYS OFFICER	PLF
D	04.01.13	CYCLE SHELTER AMENDED RAMP TO FRONT ENTRANCE SHOWN	PLF

Previously approved site plan

App: 55803



DWA ARCHITECTS Ltd  
 Foster House  
 48 Westfield Street  
 Warrington  
 WA1 1JZ  
 Telephone: 01564 64422  
 Fax: 01564 64424  
 Website: www.dwa-architects.co.uk



Client  
**Capstone Care**

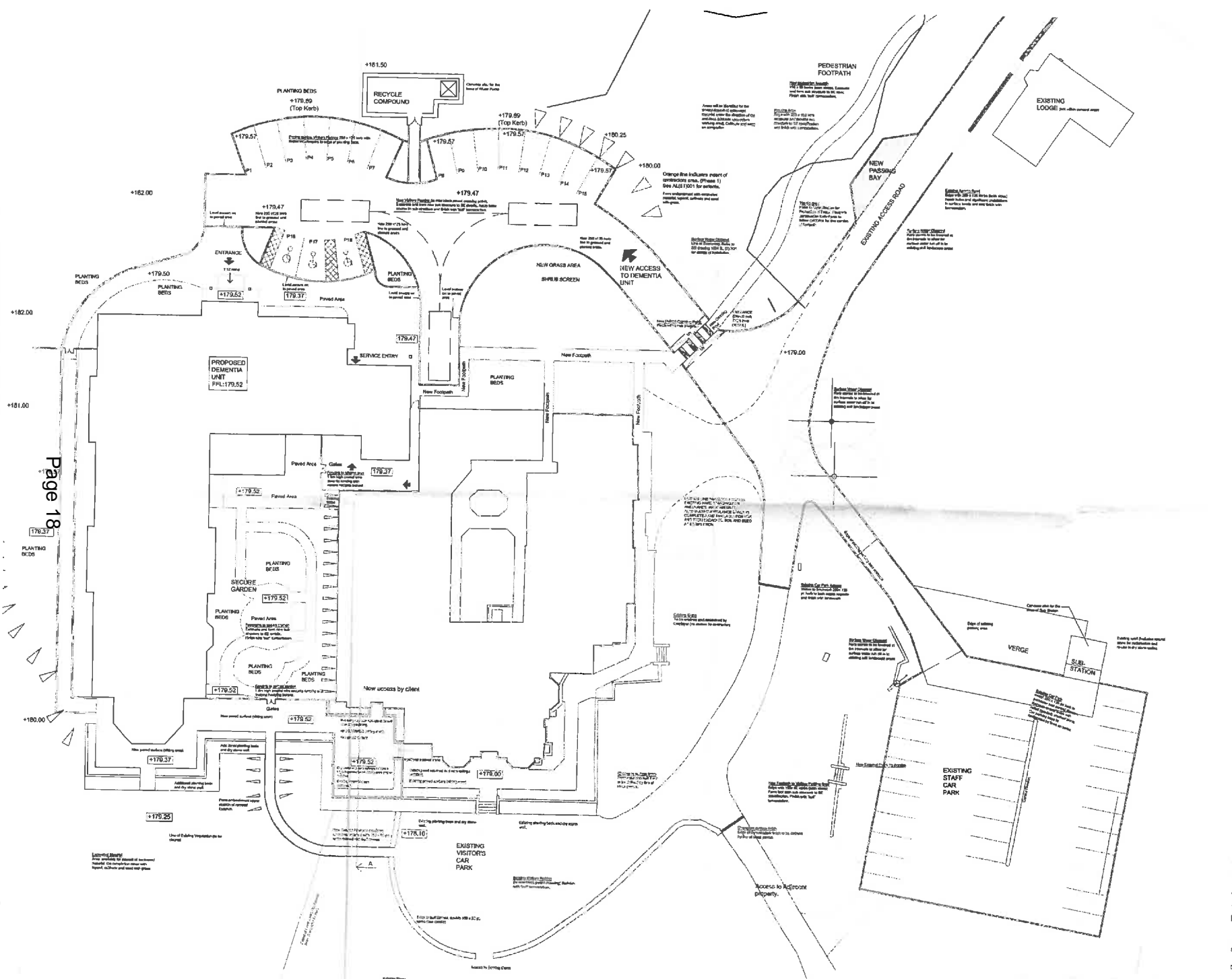
Project  
**53 Bed Dementia Unit  
 Walsaw Residential Care Home,  
 Tottington.**

Drawing Title  
**Proposed Site Plan**

Scale: 1:250 @ A1 Date: 07/07/11  
 Drawn by: PLF Checked by: JPJ

Job No. Drawing No. Rev.  
**C7701 AL(51)001 D**





**Notes**  
 Do not scale. Use figured dimensions only.  
 All dimensions to be verified on site prior to the commencement of any work or the production of any shop drawings. All discrepancies to be reported to the architect.  
 This drawing is to be made in conjunction with all related Architect and Engineer's drawings and any other relevant information.  
 This drawing is copyright © of DWA Architects Ltd.

REV	DATE	REVISION	INITIALS
P1	23.07.12	Issue for tender	JPJ
P2	28.07.12	Additional levels for site system	CMB
P3	18.01.13	Substation 8000V	CMB
D	19.06.13	Substation 8000V and landscape detail	CMB
F	23.06.13	Revised Green and Sign release	CMB
F	18.08.13	Update after client meeting	CMB
D	03.10.13	Update after client meeting	RCM
H	04.10.13	For Tender Issue	CMB
J	20.10.13	Tree survey update	CMB
K	18.08.14	Consultation Issue	CMB
L	08.02.15	Site plan extended where cluttered in accordance with comments received from CPWC	FRAC
M	10.11.15	Recycle store moved	JG
N	27.11.15	Recycle store updated	JG
O	27.11.15	As built	JG

READ IN CONJUNCTION WITH DRAWING C7702 AL(51)007 SHOWING DETAILS OF ENTRANCE, ACCESS ROAD AND CONTRACTORS COMPOUND etc

READ IN CONJUNCTION WITH DRAWING C7702 AL(51)022, AL(51)023 & AL(51)024 SHOWING FURTHER DETAILS OF ENTRANCE, ACCESS ROAD AND CAR PARKS (EXISTING & PROPOSED)

READ IN CONJUNCTION WITH DRAWING C7702 AL(51)003 DEPICTING PROPOSED BUILDING SETTING OUT CO-ORDINATES

FOR LANDSCAPING MATERIAL SPECIFICATION REFER TO LANDSCAPE DRAWING - C7702 - AL(51)004 REV C



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 Higher Floor  
 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



Client  
**Capstone Care**

Project  
**53 Bed Dementia Unit, Walshaw Residential Care Home, Tottington**

Drawing Title  
**Proposed Site Plan**

Scale  
 1:200 @ A1

Date  
 25/06/13

Drawn by  
 CMB

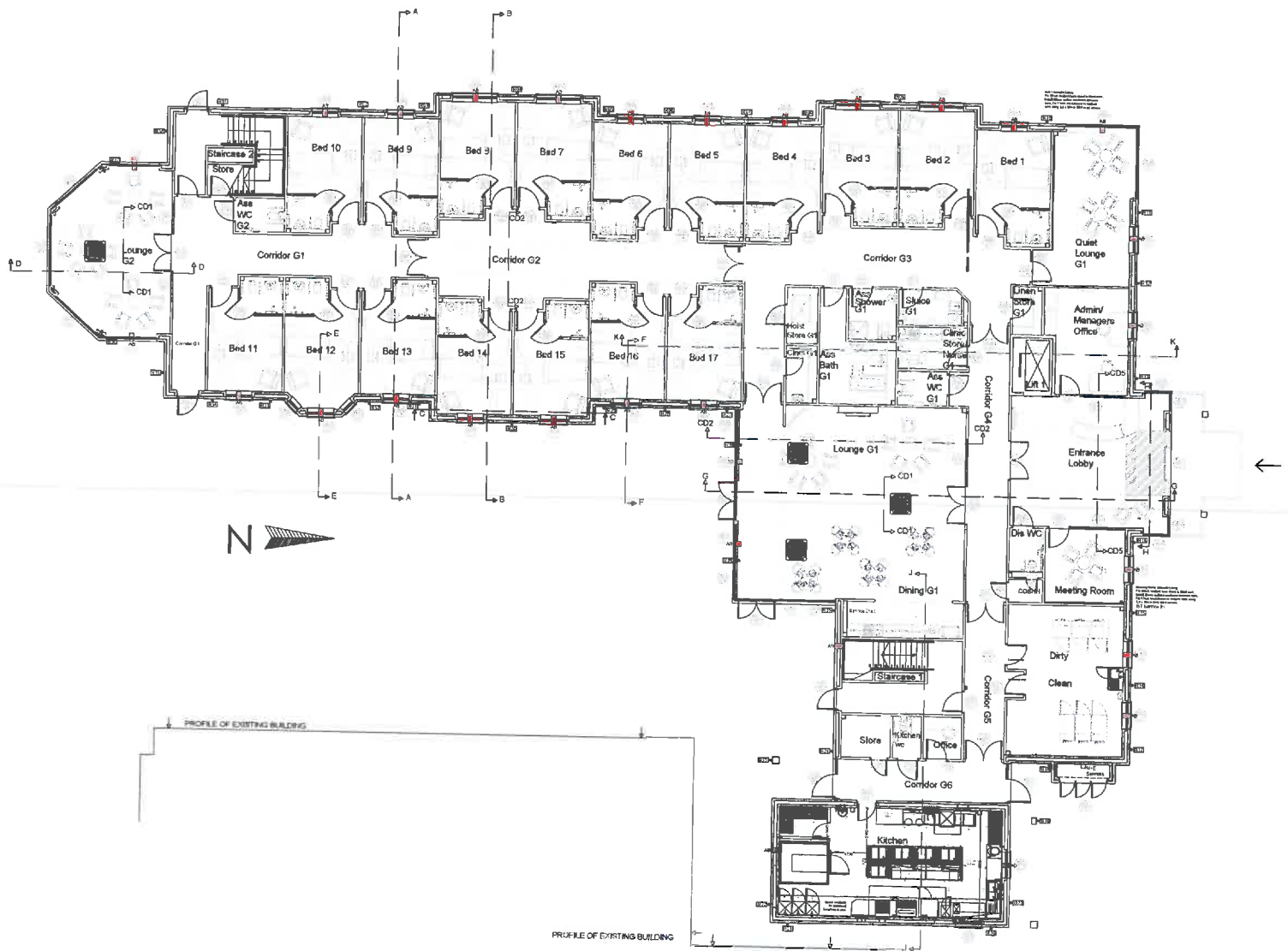
Checked by  
 JPJ

Job No.  
**C7702**

Drawing No.  
**AL(51)002**

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REV	DATE	REVISION	INITIALS
A	08.05.13	Entrance lobby revised, staff shower room increased, and bathroom removed in RCH Managers office (RM1)	NDH
B	18.08.13	General updates	CMB
C	10.09.13	Machine and staff telephone	CMB
D	26.09.13	Updated after client meeting 24.08	CMB
E	26.07.13	Service entries and WPHs	CMB
F	18.08.13	Updates to storage and assist showers	CMB
G	04.10.13	TENDER BLUE	CMB
H	19.08.14	Construction Issue	CMB
J	10.12.14	Staircase amended in accordance with alterations made to the Bed floor external wall where enclosed on plan	PAO
K	22.07.15	Leasehold layout updated	CMB
L	07.09.15	Units to suite lounge removed	CMB
M	17.09.15	SOLO removed	CMB
N	04.09.15	SOLO reduced	PAO
O	02.10.15	Kitchen sink / kitchen WC updated, curtain wall detailed	JQ



Page 19



DWA Architects Ltd  
 11, Winton, Millers Street,  
 Brixton, London SW9 9JF  
 Telephone: 0207 234 4400  
 Fax: 0207 234 4404  
 Website: www.dwa-architects.co.uk



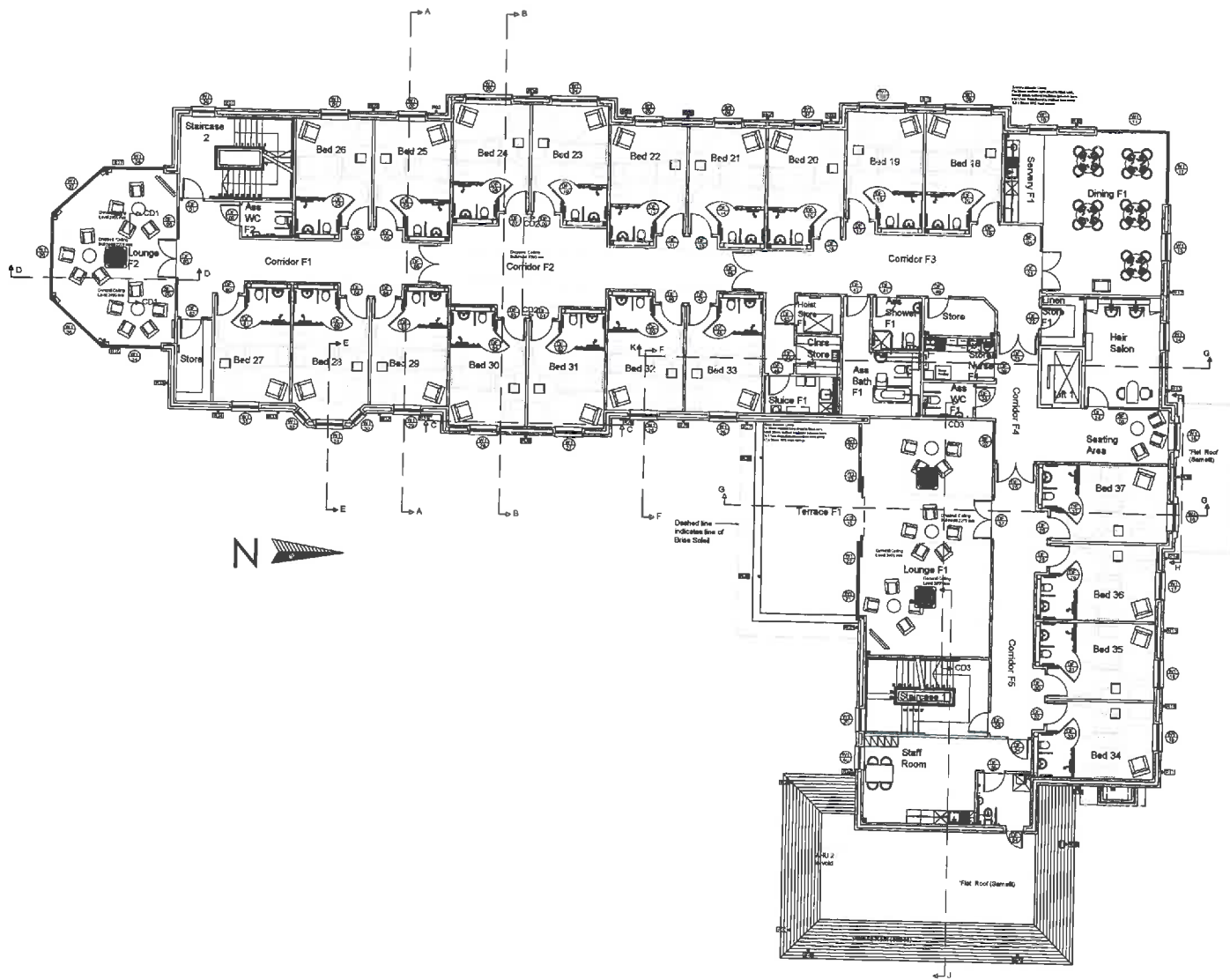
Client  
**Capstone Care**

Project  
**53 Bed Dementia Unit,  
 Walslow Residential Care Home,  
 Tottington**

Drawing No  
**Ground Floor  
 General Arrangement**

Scale  
**1:100 @ A1** Date  
**19/03/13**  
 Drawn by  
**NDH** Checked by  
**CMB**

Job No.  
**C7702** Drawing No.  
**AL(11)005** Rev.  
**0**



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REV	DATE	REVISION	DETAILS
A	08.08.12	Has lobby updated, and shower to be placed in site, and bath increased in size	RDH
B	15.04.13	Client of Update	RDH
C	10.04.13	Window references.	CMB
D	25.04.13	Finalised after client meeting 24.04	CMB
E	04.07.13	Finalise pipe references	CMB
F	18.08.13	Finalise urinal and toilet showers	CMB
G	10.08.13	TECHNICAL ISSUE	CMB
H	18.08.14	Construction Issue	CMB
J	10.12.14	External wall moved to line through with wall construction on the ground floor and staircase amended accordingly where shoulder on plan	PAAC
K	15.02.16	Curtilage Walling configuration	CMB
L	04.06.16	Screen EFC1 removed	CMB



DWA ARCHITECTS LTD  
 43 West Hill Street  
 Warrington  
 WA1 3JL  
 Telephone: 01753 414203  
 Facsimile: 01753 664404  
 Website: www.dwa-architects.co.uk



Client  
**Capstone Care**

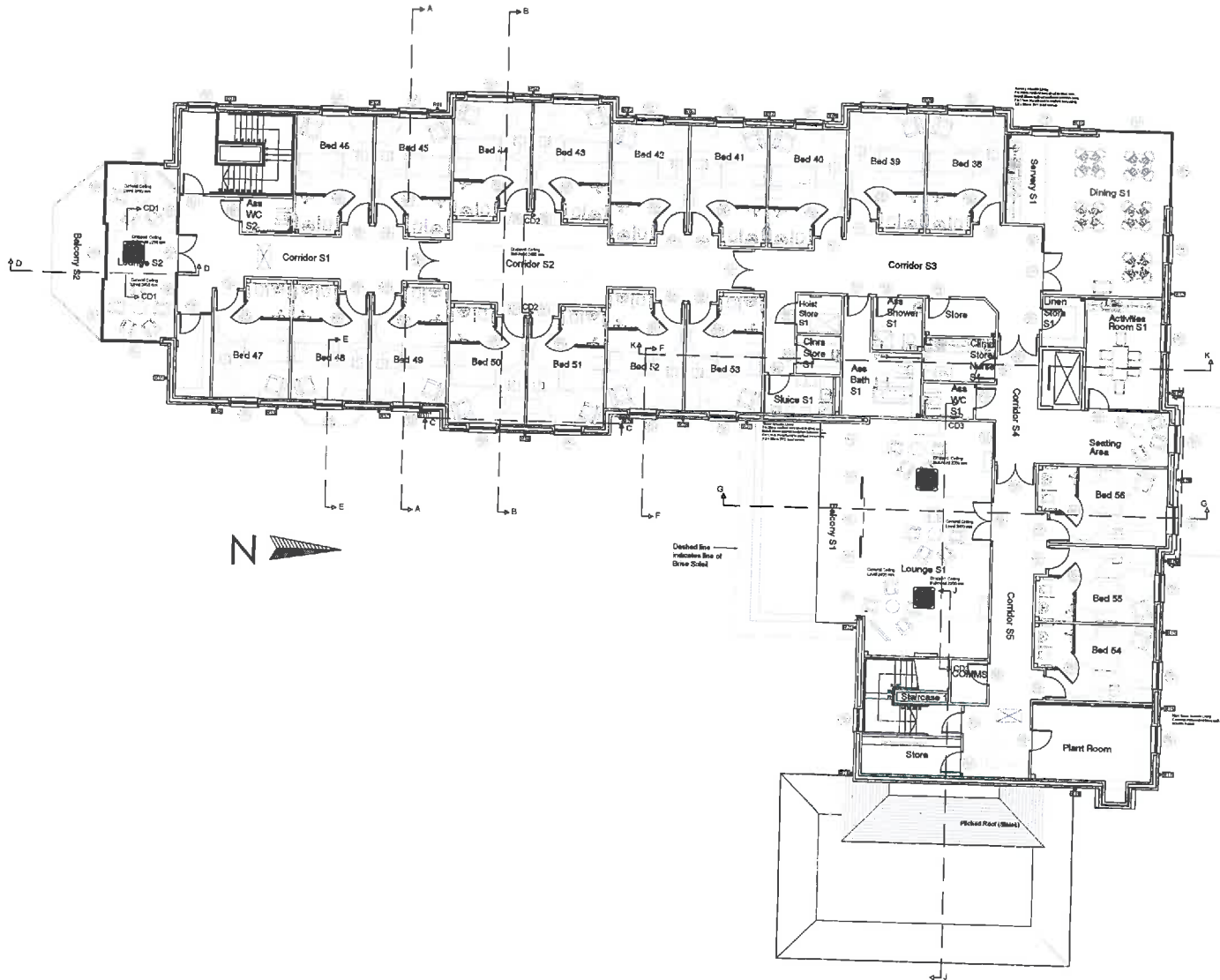
Project  
**53 Bed Dementia Unit,  
 Waishaw Residential Care Home,  
 Tottington**

Drawing Title  
**First Floor  
 General Arrangement**

Scale  
 1:100 @ A1  
 Date  
 19/03/13  
 Drawn by  
 RDH  
 Checked by  
 JPU

Job No.  
**C7702**  
 Drawing No.  
**AL(11)006**  
 Rev.  
**L**





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REV	DATE	REVISION	INITIALS
A	08.08.13	Asst Shower increased in size, ass bath increased in size	RDH
B	15.08.13	General update	RDH
C	19.08.13	Window references	CMB
D	28.08.13	Revised after client meeting 30.08	CMB
E	06.07.13	RMPs reference	CMB
F	19.06.13	Wings and assisted showers	CMB
G	15.06.13	TENDER BLUE	CMB
H	14.08.14	Construction lines	CMB
J	10.12.14	External wall moved to line through with wall construction on the ground floor and staircase amended accordingly where clashes on plan	PHCC
K	02.01.15	Slot of WC39	CMB
L	12.02.15	Curain wall construction	CMB
M	13.02.15	Curain wall space meeting with H22	CMB
N	04.02.16	SS.21 removed	CMB
O	02.10.16	Riften store / kitchen WC updated, Curain wall updated	JD



DWA Architects Ltd  
 200 Old Street  
 Stratford  
 London E15 4JG  
 Telephone  
 02075 444220  
 Facsimile  
 02025 68404  
 Email  
 www.dwa-architects.co.uk



Client  
**Capstone Care**

Project  
**53 Bed Dementia Unit,  
 Walshaw Residential Care Home,  
 Tottington**

Drawing Title  
**Second Floor  
 General Arrangement**

Scale  
 1:100 @ A1  
 Date  
 18/02/13  
 Drawn by  
 RDH  
 Checked by  
 JPJ

Job No.  
**C7702**  
 Drawing No.  
**AL(11)007**  
 Rev.  
**0**

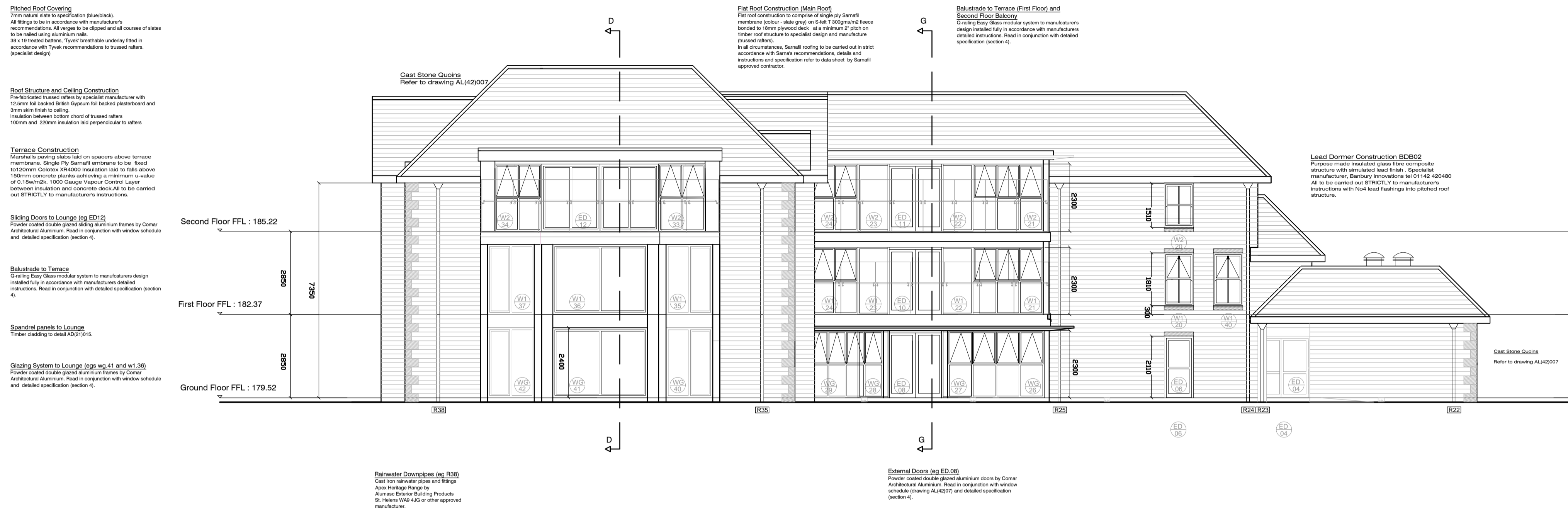
Do not scale, use figured dimensions only.

All dimensions to be verified on site prior to the commencement of any work or the production of any shop drawing. All discrepancies to be reported to the Architect.

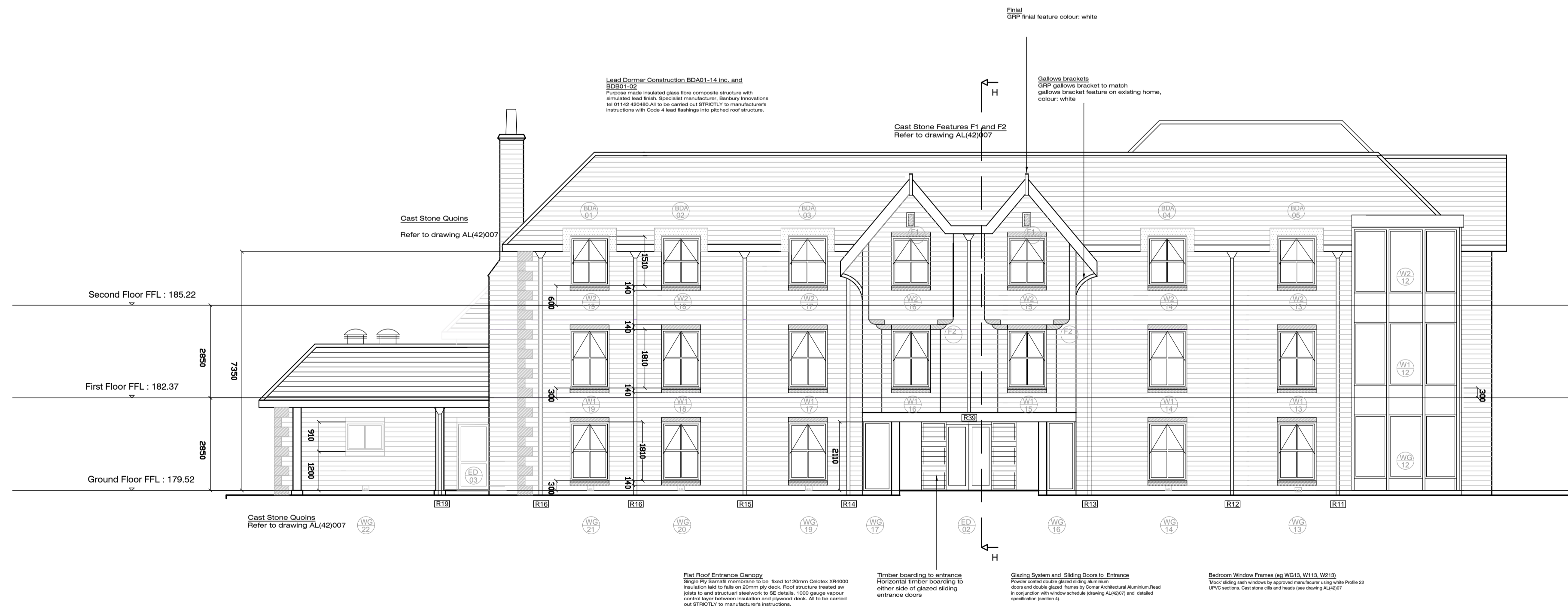
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REV	DATE	REVISION	INITIALS
A	10.06.13	Window and door references	CMB
B	26.06.13	Section lines added	CMB
C	08.07.13	Rainwater pipes and chimney	CMB
D	22.07.13	Notes updated (specification)	CMB
E	29.07.13	Notes updated (BRegs application)	CMB
F	02.08.13	Notes updated (Banbury Dormers)	CMB
G	02.09.13	Notes updated	CMB
H	04.10.13	For Tender issue	CMB
J	19.09.14	Construction Issue	CMB
K	07.12.14	Subfloor air brick positions	CMB
L	02.01.15	Dormer DB.02, and W2.36 repositioned	CMB
M	11.08.15	Curtain walling co-ordination	CMB
N	13.08.15	Curtain walling (post NG meeting)	CMB
O	13.08.15	As Built	JO



South Elevation



North Elevation



DWA Architects Ltd  
 Pattern House  
 49 Wilson, Pattern Street  
 Warrington  
 WA1 1FG  
 Telephone  
 01925 444420  
 Facsimile  
 01925 444404  
 Website  
 www.dwa-architects.co.uk



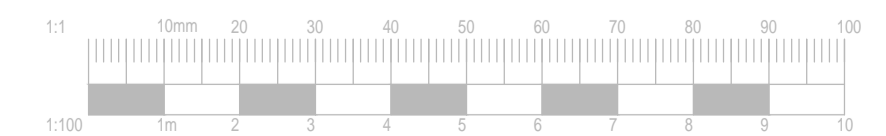
Client  
**Capstone Care**

Project  
**53 Bed Dementia Unit,  
 Walshaw Residential Care Home,  
 Tottington**

Drawing Title  
**Elevation 1 of 2**

Scale: 1:100@ A1  
 Date: 22/04/13  
 Drawn by: CMB  
 Checked by: RDH

Job No. Drawing No. Rev.  
**C7702 AL(13)001 O**





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REV	DATE	REVISION	INITIALS
A	10.06.13	Window and door references	CMB
B	27.06.13	Section lines added	CMB
C	08.07.13	Rainwater pipes and 'chimney'	CMB
D	23.07.13	Notes updated (specification)	CMB
E	29.07.13	Notes updated (BRGs application)	CMB
F	02.08.13	Notes updated (Banbury Dormers)	CMB
G	02.09.13	Notes updated	CMB
H	04.10.13	For Tender issue	CMB
J	19.09.14	Construction Issue	CMB
K	07.12.14	Subfloor air brick positions	CMB
L	02.01.15	Dormer DB.02 and W2.36 repos.	CMB
M	02.01.15	Chimney Feature updated	CMB
N	10.08.15	Curtain Walling coordination	CMB
P	13.08.15	Curtain Walling (post NG meeting)	CMB
Q	15.01.16	As Built	JQ

**Pitched Roof Covering**

7mm natural slate to specification blue/black. All fittings to be in accordance with manufacturer's recommendations. All verges to be clipped and all courses of slate to be nailed using aluminium nails, 3x x 18 treated battens, Mercury Vapour treatable underlay fitted in accordance with manufacturer's instructions.

**Roof Structure and Ceiling Construction**  
Framed truss roofers by specialist manufacturer with 2 x 12.5mm foil backed British Gypsum foil backed plasterboard and 3mm skin finish to ceiling. Insulation between bottom chord of trussed rafters 100mm and 220mm insulation laid perpendicular to rafters.

**Flat Roof Construction (over Quiet Lounges)**  
Single Ply Sarnafil membrane to be fixed to 120mm Celotex XPS insulation laid on 20mm ply deck. Roof structure treated see joints to BE detail. 1000 Gauge Vapour Control Layer between insulation and plywood deck. All to be carried out STRICTLY to manufacturer's instructions.

**Glazing System to Quiet Lounges (eg W311, W111 and W211)**

Powder coated double glazed aluminium frames by Corner Architectural Aluminium. Read in conjunction with window schedule and detailed specification (section 4).

**Flat Roof Entrance Canopy**

Single Ply Sarnafil membrane to be fixed to 120mm Celotex XPS insulation laid on 20mm ply deck. Roof structure treated see joints to and structural elements to BE detail. 1000 gauge vapour control layer between insulation and plywood deck. All to be carried out STRICTLY to manufacturer's instructions.

**Spandrel panels to Dining**

Timber cladding to detail (see drawing AD(2)1015).

**Glazing System to Lounges (eg W41 and W136)**

Powder coated double glazed aluminium frames by Corner Architectural Aluminium. Read in conjunction with window schedule and detailed specification (section 4).

**Lead Dormer Construction BDA01-14 inc. and BDB0-02**

Purpose made insulated glass fibre composite structure with simulated lead finish. Specialist manufacturer, Banbury Innovations tel 01142 420480. All to be carried out STRICTLY to manufacturer's instructions with Code 4 lead fixings into pitched roof structure.

**Cast Stone Feature (F1)**

Refer to drawing AL(42)007

**Cast Stone Quoins**

Refer to drawing AL(42)007

**Flat Roof Construction (over Lounges)**

Single Ply Sarnafil membrane to be fixed to 120mm Celotex XPS insulation laid on 20mm ply deck. Roof structure treated see joints to BE detail. 1000 Gauge Vapour Control Layer between insulation and plywood deck. All to be carried out STRICTLY to manufacturer's instructions.

**Terrace Construction**

Manufacturing slabs laid on spacers above terrace membrane. Single Ply Sarnafil membrane to be fixed to 200mm Celotex XPS insulation laid on 150mm concrete slabs achieving a minimum U-value of 0.18w/m2K. 1000 Gauge vapour control layer between insulation and concrete deck. All to be carried out STRICTLY to manufacturer's instructions.

**Sliding Doors to Lounges (eg ED12)**

Powder coated double glazed sliding aluminium frames by Corner Architectural Aluminium. Read in conjunction with window schedule (drawing AL(42)007) and detailed specification (section 4).

**Balustrade to Terrace**

Grating Glass modular system to manufacturer's design installed fully in accordance with manufacturer's instructions. Read in conjunction with detailed specification (section 4).

**Spandrel panels to Lounges**

Timber cladding to detail (see detail AD(2)1015).

**Glazing System to Lounges (eg W42 and W137)**

Powder coated double glazed aluminium frames by Corner Architectural Aluminium. Read in conjunction with window schedule (drawing AL(42)007) and detailed specification (section 4).

**Bedroom Window Frames (eg W309, W109, W209)**

Timber sliding sash windows by approved manufacturer using white Profile 23 UPVC sections. Read in conjunction with window schedule (drawing AL(42)007) and detailed specification (section 4).

**Rainwater Downpipes (eg R09, R10)**

Cast iron rainwater pipes and fittings Alumac Heritage range by Alumac Exterior Building Products St. Helens WA8 4JG or other approved manufacturer.

**External Wall Construction**

100mm manufactured stone 110mm vertical masonry laid 100mm cavity. 100mm plaster to cavity. CM1000 insulation to provide min U-value of 0.20w/m2K. Cast stone wall ties. 100mm dense blockwork internal leaf to BE design (lead strength). 12.5mm British Gypsum plasterboard on 6mm slabs with 3mm skim finish.

**Lead Dormer Construction (egs. W201 and W232)**

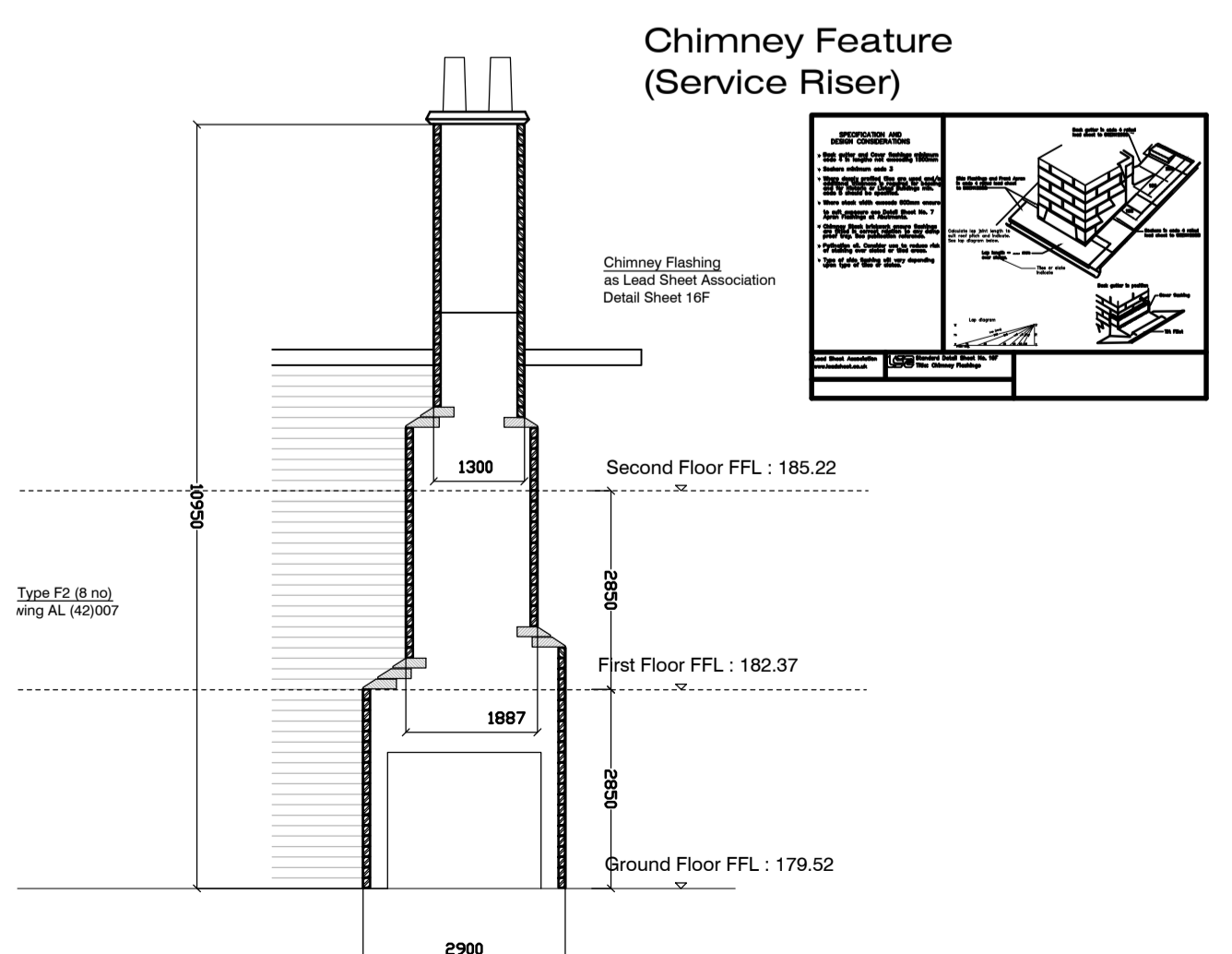
Purpose made insulated glass fibre composite structure with simulated lead finish. Specialist manufacturer, Banbury Innovations tel 01142 420480. All to be carried out STRICTLY to manufacturer's instructions with Code 4 lead fixings into pitched roof structure.

West Elevation



DWA Architects Ltd  
Pottan House  
49 Wilson Pottan Street  
Warrington  
WA1 1FG  
Telephone  
01925 444420  
Facsimile  
01925 444404  
Website  
www.dwa-architects.co.uk

East Elevation

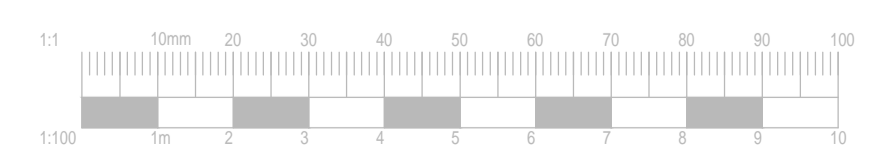


Client  
**Capstone Care**

Project  
**53 Bed Dementia Unit, Walshaw Residential Care Home, Tottington**

Drawing Title  
**Elevations (2 of 2)**

Scale: 1:100@ A1  
Date: 22/04/13  
Drawn by: CMB  
Checked by: RDH  
Job No.: C7702  
Drawing No.: AL(13)002  
Rev.: Q

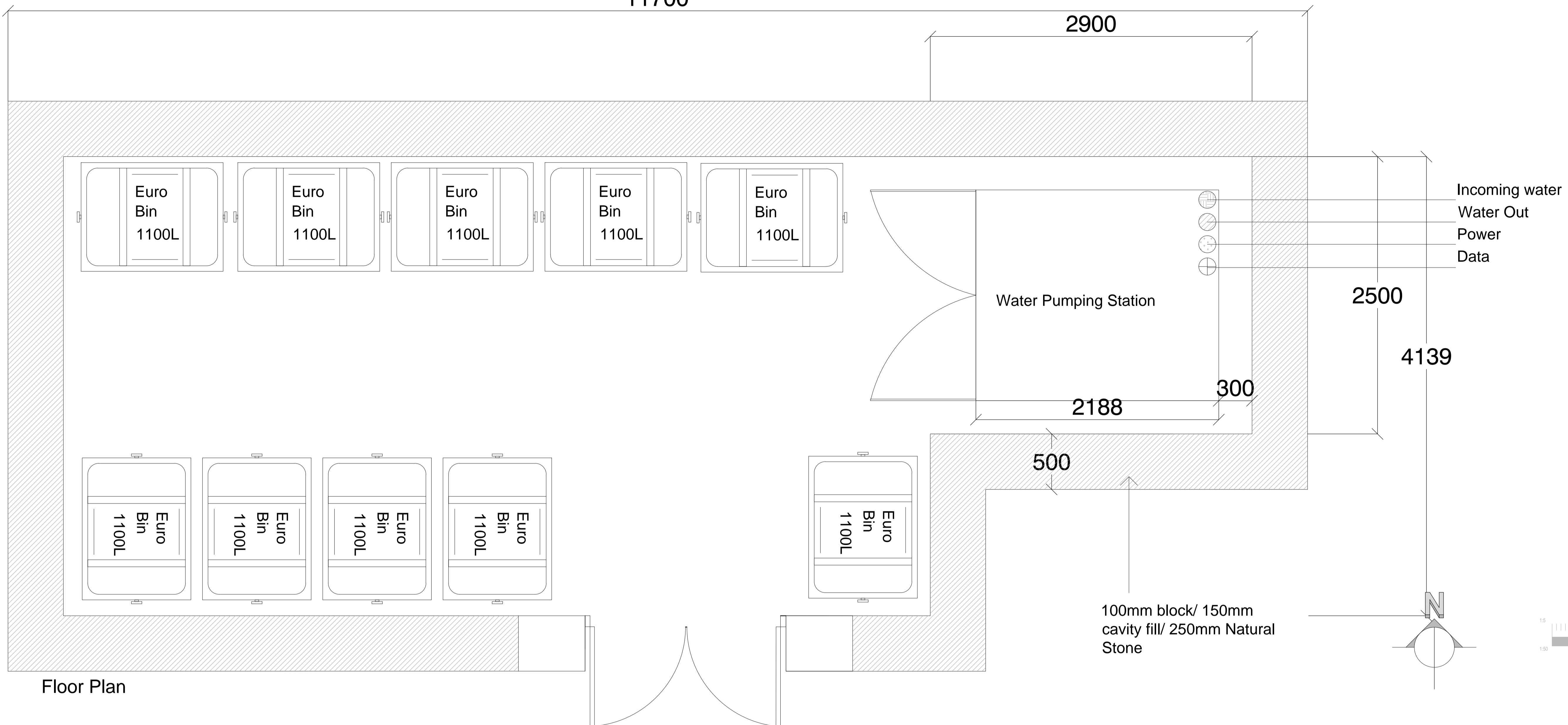


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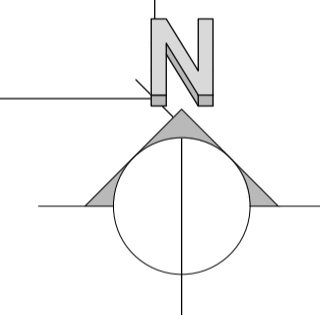
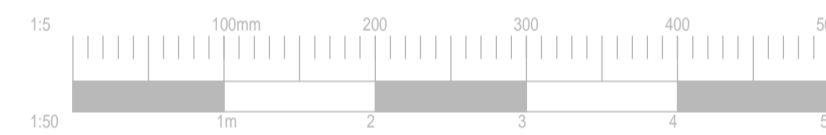
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REV	DATE	REVISION	INITIALS	CHECK
A	29.07.13	General Update	CMB	
B	04.10.13	TENDER ISSUE	CMB	
C	20.12.13	Doors and door refs. updated	CMB	
D	20.12.13	Construction Issue	CMB	
E	10.11.15	General Update	JQ	CMB
F	18.11.15	General Update	JQ	CMB
G	27.11.15	General Update	JQ	CMB
H	23.05.16	General Update	JQ	CMB



Floor Plan



DWA Architects Ltd  
 Patten House  
 49 Wilson Patten Street  
 Warrington  
 WA1 1PG  
 Telephone  
 01925 444420  
 Website  
 www.dwa-architects.co.uk

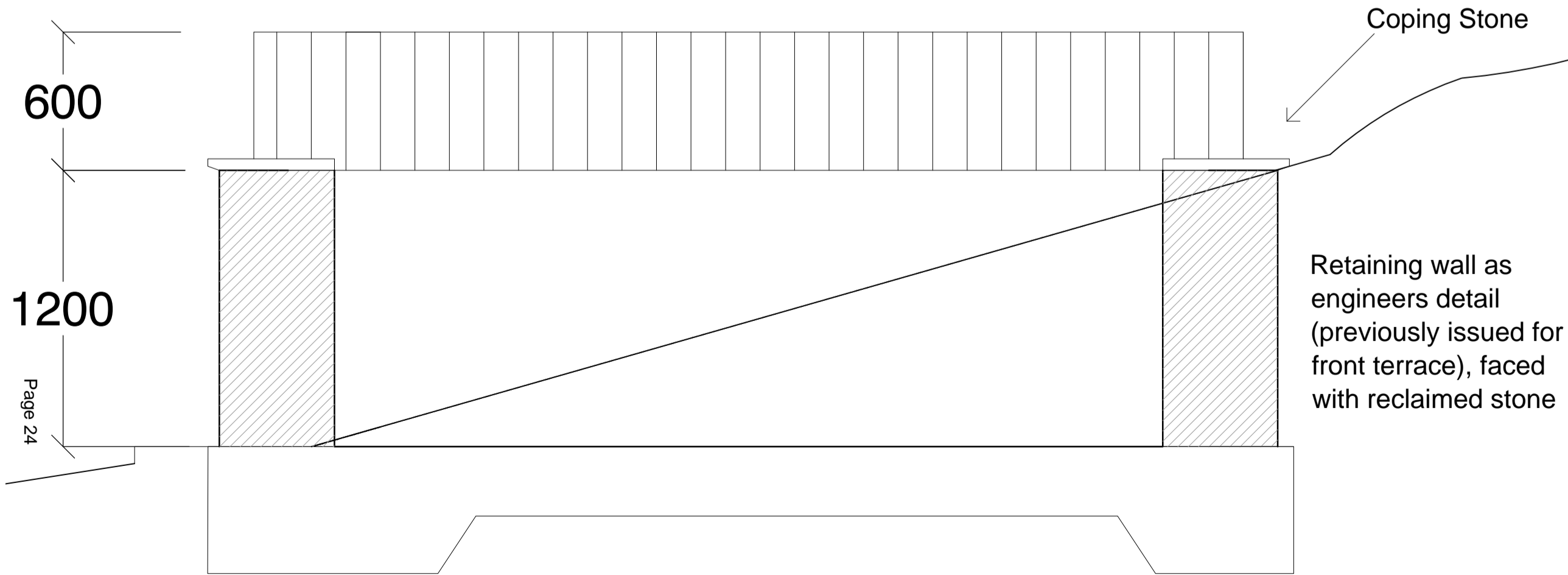


Client  
**Capstone Care**

Project  
**53 Bed Dementia Unit,  
 Walshaw Residential Care Home,  
 Tottington**  
 Drawing Title  
**Proposed Outbuilding  
 Re-cycle Store**

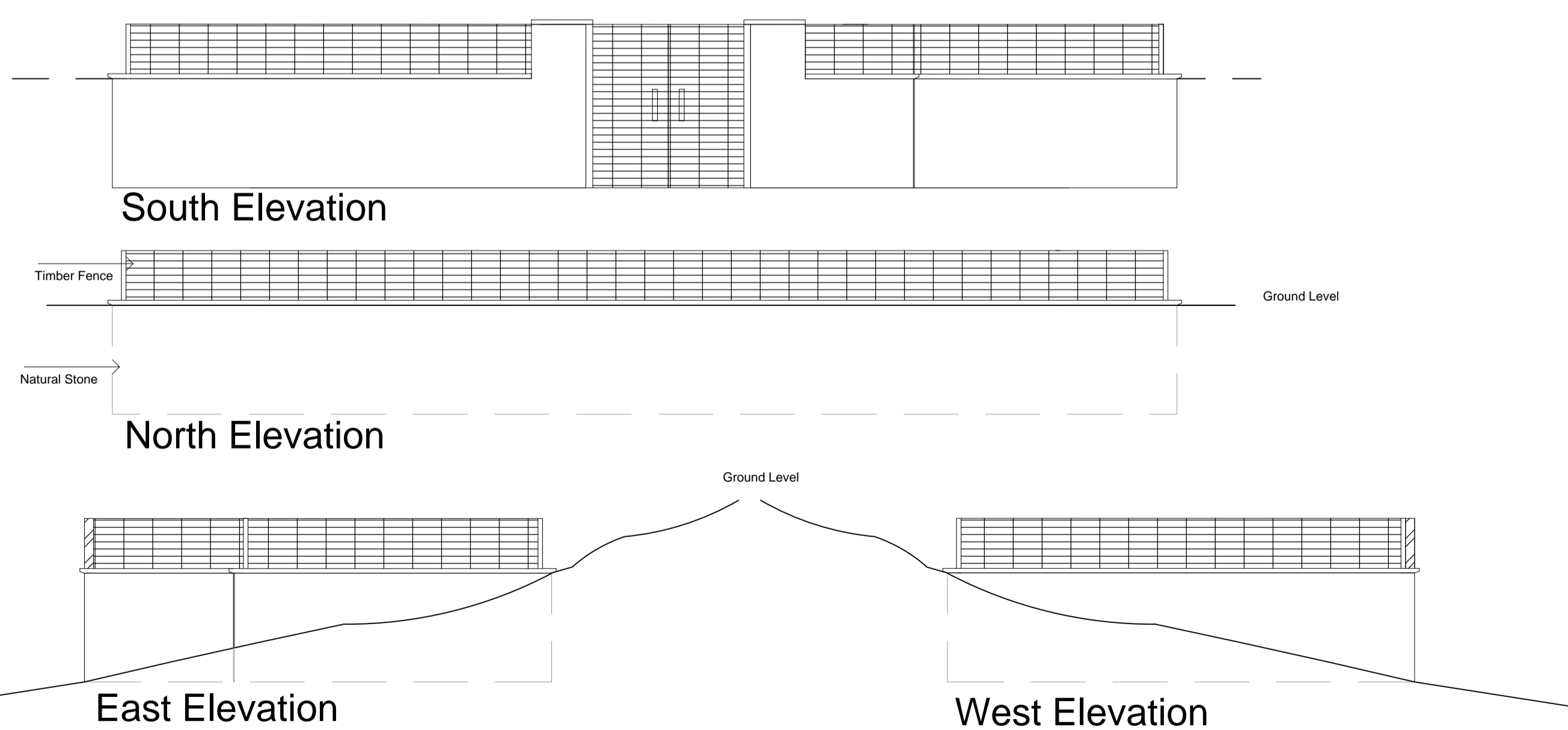
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**CMB**

Job No.  
**C7702**  
 Drawing No.  
**AL(51)005**  
 Rev.  
**H**



Section AA 1:20

Page 24



1:50

**Ward:** Ramsbottom + Tottington - Tottington

Item 02

**Applicant:** Capstone Care Ltd

**Location:** Walshaw Hall, Bradshaw Road, Walshaw, Tottington, Bury, BL8 3PJ

**Proposal:** Surfacing of existing car park to existing care home, including kerbs and edgings and replacement of existing external lighting

**Application Ref:** 60183/Full

**Target Date:** 10/08/2016

**Recommendation:** Approve with Conditions

### **Description**

The site is located to the north of Walshaw village and is within the Green Belt. The site contains a building, which is used as a specialist care home for 50 residents and an extension has recently been completed for use as a care home for dementia sufferers. The building and extension, which is constructed from stone and slate, is located centrally within the site and the original building is on the draft local list. The surrounding grounds consist predominantly of woodland with manicured gardens and there is a Tree Preservation Order (TPO) covering all trees within the site. Access to the site is from Bradshaw Road and there are three car parks:

- a small car park to the south of the building
- a larger car park to the north of the building
- a larger car park to the east

The site is bounded by open fields to the west and south. Bradshaw Road forms the boundary to the north with open fields beyond. There are 2 residential properties, which are located adjacent to the eastern boundary with open fields beyond.

The development involves the surfacing of the existing car park to the east of the building, including kerbs and edging and the replacement of the external lighting. The car park has been formerly demarcated and re-surfaced in tarmac. 6 street lighting columns have been erected on the perimeter of the car park and are 6 metres in height and are painted black.

### **Relevant Planning History**

35009 - 16 bedroom extension at Walshaw Hall, Bradshaw Road, Tottington. Approved with conditions - 16 February 1999.

55803 - Proposed new 53 bed unit, 3 storeys high adjacent to existing residential home at Walshaw Hall, Bradshaw Road, Tottington. Approved with conditions - 23 January 2013

60181 - Variation of condition 2 (approved plans) of planning permission ref. 55803 for proposed new 53 bed unit, 3 storeys high adjacent to existing residential home: Various amendments to the scheme including window and door position, number of bed spaces and the relocation of on site refuse/recycling store and its construction detail at Walshaw Hall, Bradshaw Road, Tottington. Received - 15 June 2016. Elsewhere on this agenda.

### **Enforcement**

15/0133 - Erection of sub-station at Walshaw Hall, Bradshaw Road, Walshaw. Case closed - 16 April 2015

The sub station was being proposed by Electricity North West and was permitted development.

16/0168 - Alterations to existing car park at Walshaw Hall, Bradshaw Road, Walshaw.



Application received - 27 May 2016.

### **Publicity**

The neighbouring properties were notified by means of a letter on 17 June 2016.

2 letters have been received from the occupiers of The Coach House and the Lodge, which have raised the following issues:

- We were told at the start of the project that there was no intention to develop the existing car park. We as neighbours only found out about the car park construction once it had started and the lighting scheme became evident early after resurfacing.
- There is a supermarket style car parking area, which is not in keeping with the previous woodland 'Green Belt' aspect.
- We request that the secondary lane/access should be restored and the dry stone wall repaired. We have a statutory declaration from the previous owner stating that there has always been an uninterrupted right of way over this secondary access and existing car park. The new kerb stones block this access.
- We believe that the new car parking area lighting scheme creates too much light pollution to the area and is an infringement on our legal rights under the covenants in our deeds to natural light.
- Impact upon the local wildlife
- The car park was fully re-tarmaced in February 2016 and the 6 lighting columns were turned on in March.
- The previous lighting is still in situ on 2 separate trees in the form of 2 floodlights. the 6 columns have supplemented the existing lighting and not replaced them.
- The height of the lights is something you would see in prisons or on a fully lit 5 a side pitch and are totally out of character with the Green Belt status of Walshaw Hall.
- The lighting columns are not required given the existing lighting is adequate.
- The 6 lighting columns are visible during the day and shine all night into our kitchen (Lodge) and bedroom.
- There has never been more than 2 cars parked here at night when the lights are on.
- The car park layout is more compatible with new supermarkets than a local heritage site.
- We find it insulting that development work has been done and lights put up without permission causing us an instant and ongoing nuisance, eyesore and an infringement of the covenants in our deeds.
- The application was submitted on 27 May and Mr Fowler's letter stated that the applicant had until 20 May to submit. Why is this application being considered?
- We have already informed the Planning Control Committee Councillors, Tottington Councillors, our MP, the Secretary of State, the Minister of State, Labour's Shadow Secretary of State and Shadow Minister of State of the background to these matters and of our opposition to any retrospective permission being given and our valid reasons why.

The objectors have been notified of the Planning Control Committee meeting.

### **Consultations**

**Traffic Section** - No objections, subject to the inclusion of a condition relating to car parking.

**Designforsecurity** - No comments.

### **Unitary Development Plan and Policies**

EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN7	Pollution Control
EN7/5	Waste Water Management

EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
EN9/1	Special Landscape Areas
OL1/5	Mineral Extraction and Other Development in the Green Belt
OL7/2	West Pennine Moors
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
CF1/1	Location of New Community Facilities
CF3	Social Services
CF3/1	Residential Care Homes and Nursing Homes
CF4	Healthcare Facilities
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle (Green Belt)** - Paragraph 90 of the NPPF states that other forms of development are not inappropriate in the Green Belt provided they preserve the openness of the Green Belt and do not conflict with the purposes of including land in Green Belt. These include:

- mineral extraction;
- engineering operations;
- local transport infrastructure which can demonstrate a requirement for a Green Belt location;
- the re-use of buildings provided that the buildings are of permanent and substantial construction; and
- development brought forward under a Community Right to Build Order.

Policy OL1/5 states that within the Green Belt other development, not including buildings, will be inappropriate unless:

- it maintains openness and does not conflict with the purposes of including land in the Green Belt; or
- in the case of mineral extraction, it does not conflict with the purposes of including land in the Green Belt, and high environmental standards will be maintained and the site well restored.

Proposals for other development not falling into one of the two categories is inappropriate development and is, by definition, harmful to the Green Belt. Any development proposal considered to involve inappropriate development will only be permitted in very special circumstances.

The site is located within the Green Belt and the proposed development would constitute a engineering operation, which would be appropriate development in the Green Belt. The proposed car park has been re-surfaced using tarmac, which is not normally considered to be acceptable in a Green Belt location. However, the site is bounded by mature trees, which are covered by a Tree Preservation Order and vegetation and views of the car park are restricted to from within the application site. As such, given the above, the proposed development would not have an adverse impact upon the openness and character of the Green Belt and would be in accordance with Policy OL1/5 of the Bury Unitary Development Plan and the NPPF.

**Design and layout** - The proposed development would occupy the same area as the previous car park. The proposed area has been re-surfaced using tarmac and the car

parking spaces demarcated. The lighting columns are 6 metres in height and would be viewed against the backdrop of the existing trees, which are protected by a Tree Preservation Order. As such, the proposed lighting columns would not be a prominent feature within the streetscene. Therefore, the proposed development would be in accordance with Policy EN1/2 of the Bury Unitary Development Plan.

**Impact upon residential amenity** - The proposed car park and lighting columns would be 53 metres from the Lodge and 29.2 metres from the Coach House at the closest points respectively. Given that the existing trees are protected by a Tree Preservation Order and the existing protected vegetation would be retained, it is considered that the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

**Highways issues** - The proposed development would utilise the existing access, which would be acceptable in terms of visibility. The Traffic Section has no objections, subject to the inclusion of a condition relating to car parking. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policy EN1/2 of the Bury Unitary Development Plan.

### **Response to objectors**

- The issues relating to the impact upon the Green Belt, light pollution, impact upon residential amenity have been addressed in the main report.
- The LPA has an obligation to determine any application which is submitted. The regulations are clear that a retrospective application cannot be refused on the basis it is retrospective. The application came in within a 'reasonable' time set out and required by the Council.
- A condition will be added requiring the previous lighting is to be removed within 1 month of the date of the decision, if so approved.
- The issues relating to the breach of the deeds for the property and rights of access are not material planning considerations and are private matters.
- It is not relevant to the determination of this application concerning its scope and content. The fact is that the application needs to be determined on its own merits.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

### **Conditions/ Reasons**

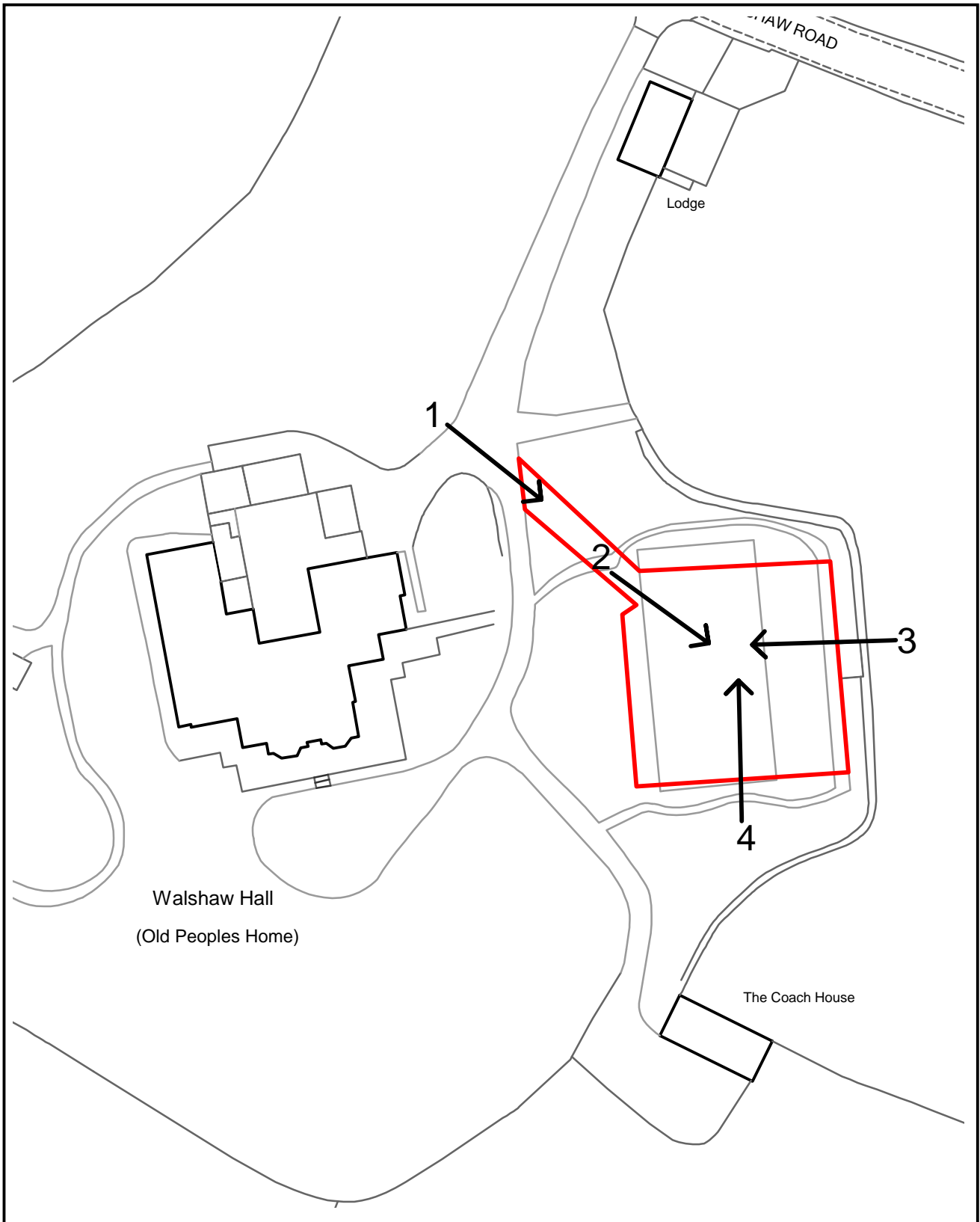
1. This decision relates to drawings numbered AL(11)\_002, AL(51)002 O, AL(11)\_001 B and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
2. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the extension hereby approved being brought into use.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.



3. All the pre-existing, external lighting affixed to trees, except the 6 lighting columns hereby approved shall be removed from site to the written satisfaction of the Local Planning Authority within 1 month of the date of the decision.  
Reason: In the interests of the visual amenity pursuant to Policy OL1/5 – Mineral Extraction and Other Development in the Green Belt of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 60183**

**ADDRESS: Walshaw Hall  
Bradshaw Road  
Tottington**

**Planning, Environmental and Regulatory Services**



**(C) Crown Copyright and database right (2013). Ordnance Survey 100023063.**

60183

Photo 1



Photo 2





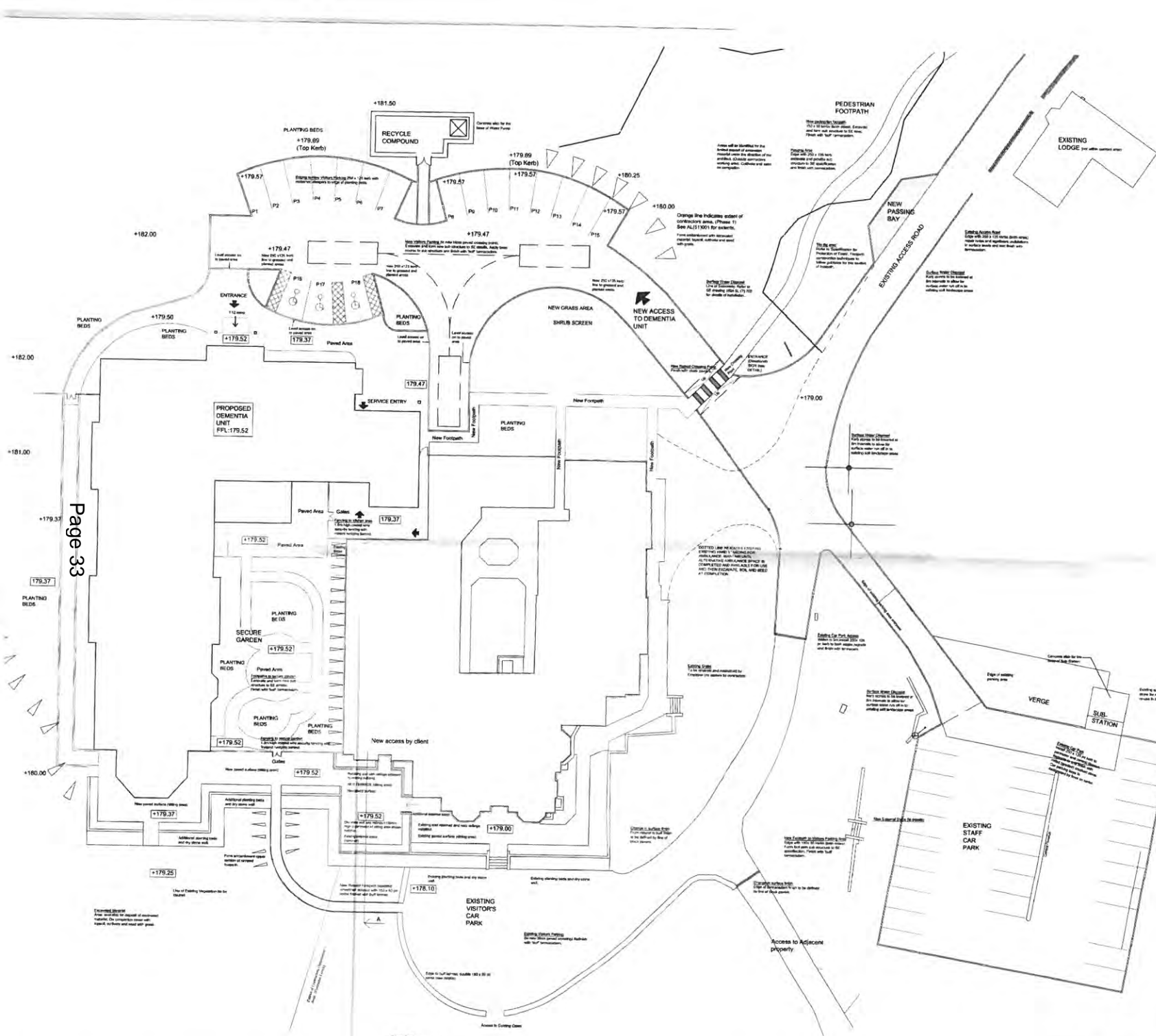
60183

Photo 3



Photo 4





Page 33

**Notes**  
 Do not scale. Use figured dimensions only.  
 All dimensions to be verified on site prior to the commencement of any work or the production of any other drawing. All discrepancies to be reported to the architect.  
 This drawing is to be read in conjunction with all related Architect's and Engineer's drawings and any other relevant information.  
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REV	DATE	REVISION	INITIALS
P1	05.07.12	Issue for coverings	JPJ
P2	08.07.12	Additional levels for cobb system	CMB
P3	18.07.12	Additional access	CMB
D	18.08.12	Revisedation plan and landscape detail	CMB
E	23.08.12	Revisedation Entrance sign sheet	CMB
F	18.08.12	Update after client meeting	CMB
G	03.09.12	Update after client meeting	CMB
H	04.09.12	For Tender issue	CMB
J	20.12.12	Tree survey update	CMB
K	18.09.14	Construction issue	CMB
L	08.02.15	Site plan amended when included in accordance with comments received from CPUL	JPJ
M	10.11.15	Recycle sheet revised	JO
N	27.11.15	Recycle sheet updated	JO
O	27.11.15	As Built	JO

READ IN CONJUNCTION WITH DRAWING C7702 AL(51)007 SHOWING DETAILS OF ENTRANCE, ACCESS ROAD AND CONTRACTORS COMPOUND etc

READ IN CONJUNCTION WITH DRAWING C7702 AL(51)022, AL(51)023 & AL(51)024 SHOWING FURTHER DETAILS OF ENTRANCE, ACCESS ROAD AND CAR PARKS (EXISTING & PROPOSED)

READ IN CONJUNCTION WITH DRAWING C7702 AL(51)003 DEPICTING PROPOSED BUILDING SETTING OUT CO-ORDINATES

FOR LANDSCAPING MATERIAL SPECIFICATION REFER TO LANDSCAPE DRAWING - C7702 - AL(51)004 REV C



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Client  
**Capstone Care**

Project  
**53 Bed Dementia Unit, Walshaw Residential Care Home, Tottington**

Drawing Title  
**Proposed Site Plan**

Scale  
**1:200 @ A1**

Date  
**25/08/13**

Drawn by  
**CMB**

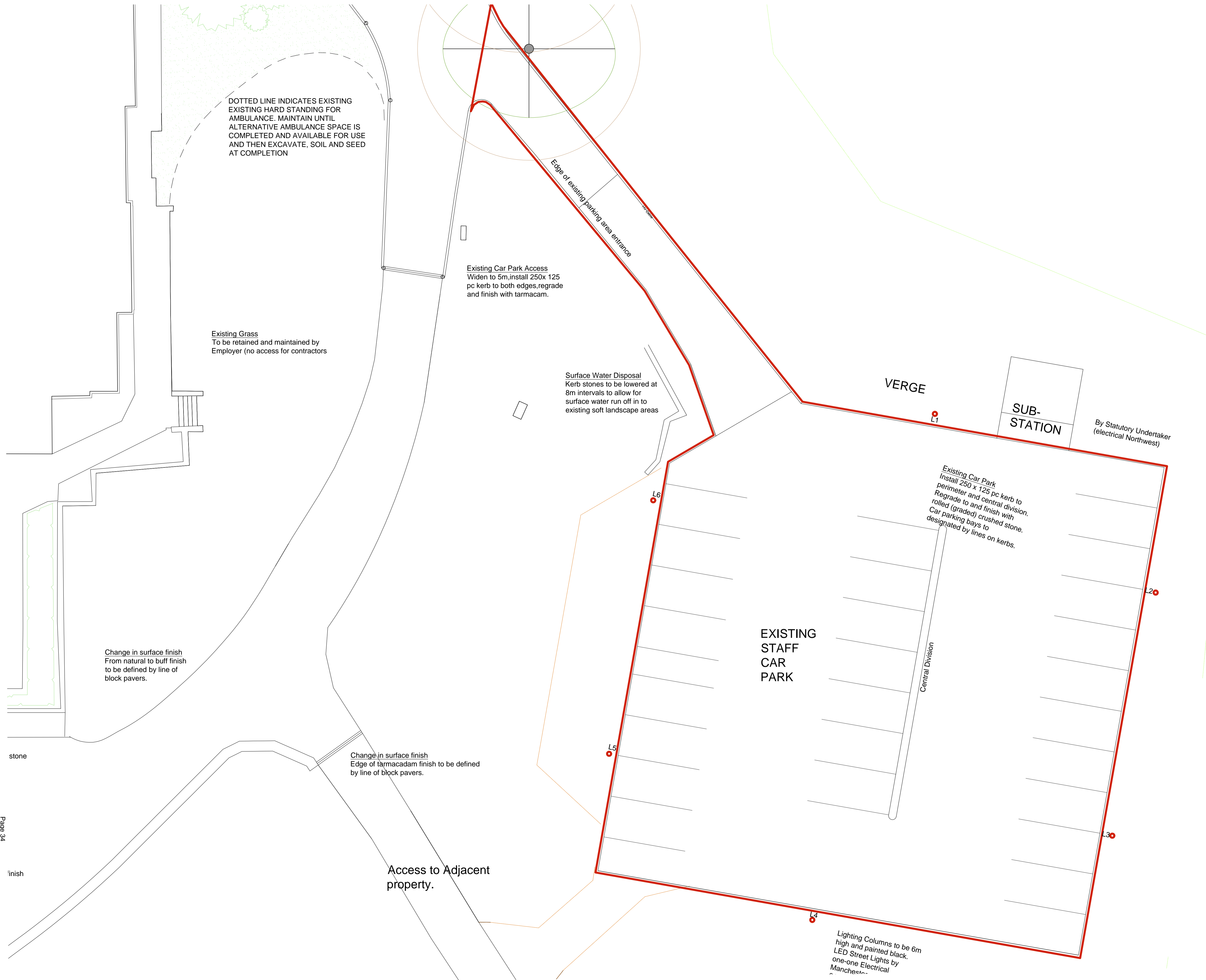
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**JPJ**

Job No.  
**C7702**

Drawing No.  
**AL(51)002**

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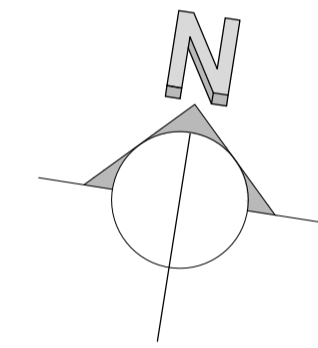
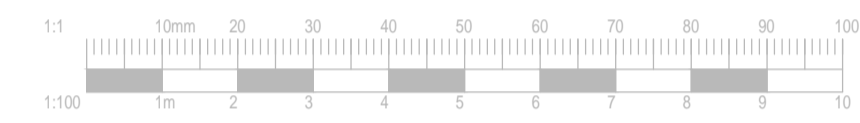
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REV	DATE	REVISION	INITIALS	CHECK
A	27/05/16	Lighting Columns Added	JQ	CMB
B	15/06/16	Lighting Spec Added	JQ	CMB



**DWA ARCHITECTS**  
**DWA**

DWA Architects Ltd  
Patten House  
49 Wilson Patten Street  
Warrington  
WA1 1PC  
Telephone  
01925 444420  
Website  
www.dwa-architects.co.uk



Client  
**Capstone Care**

Project  
**Walshaw Hall**

Drawing Title  
**Existing Car Park  
As Built Drawing**

Scale **1:100 @ A1** Date **17/05/16**  
Drawn by **JQ** Checked by **CMB**

Job No. **C7704** Drawing No. **AL(11)\_001** Rev. **B**

stone  
finish  
Page 34

Picture 1  
January 2013



July 2016





Picture 2  
January 2013



July 2016





Picture 3

January 2013



July 2016



**Ward:** Ramsbottom and Tottington -  
Ramsbottom

Item 03

**Applicant:** Eccleston Homes Ltd & Turnbull & Stockdale Ltd

**Location:** Croft End Mill, Bolton Road North, Stubbins, Bury, BL0 0NA

**Proposal:** Demolition of existing buildings and erection of 11 no. dwellings with associated garages and parking along with associated engineering works including the infilling of the filter beds

**Application Ref:** 60212/Full

**Target Date:** 06/09/2016

**Recommendation:** Approve with Conditions

### **Description**

The application site contains a stone and brick built mill with filter beds, which are located on the opposite side of Dearden Brook. The brook passes through the middle of the site and forms the boundary between Bury Metropolitan Borough Council and Rossendale Borough Council. The filter beds and associated vegetation are located in the borough of Bury and the remainder of the built development is in Rossendale. The mill building is two storeys in height with a slate roof and is accessed from Bolton Road North, which leads to a small car park adjacent to the brook.

There is an access to the south west of the site, which is a Public Right of Way and the River Irwell is beyond. There are mature trees to the east with open fields beyond. There are residential dwellings to the north east and open fields to the north west.

The proposed development involves the demolition of the existing buildings and the erection of 11 dwellings with associated garages and the infilling of the filter beds. The proposed dwellings would be two/three storeys in height and would be built from stone with a slate roof. The proposed dwellings would be accessed from a new central access off Bolton Road North.

The filter beds would be infilled using inert material and the area landscaped. The filter beds would be accessed from within the site.

This application relates to the works within Bury and a second application has been submitted to Rossendale Borough Council for the works within Rossendale.

For the avoidance of doubt, the works being assessed are the infilling of the filter beds and the landscaping to the south of the brook. This area is marked in yellow on the aerial photograph of the site.

### **Relevant Planning History**

36187 - Factory extension to rear to provide printing facility and storage at Croft End Mill, Bolton Road North, Stubbins.

60275 - Article 18 consultation from Rossendale Council (ref 2016/0228) - Demolition of existing buildings, erection of 11 residential dwellings with associated garages and parking along with associated engineering works including the infilling of the filter beds at Croft End Mill, Bolton Road North, Edenfield. Raise no objections - 4 August 2016.

Rossendale

2016/0228 - Demolition of existing buildings, erection of 11 residential dwellings with

associated garages and parking along with associated engineering works including the infilling of the filter beds at Croft End Mill, Bolton Road North, Edenfield. Received - 6 June 2016.

### **Publicity**

The neighbouring properties were notified by means of a letter on 16 June 2016 and a press notice was published in the Bury Times on 21 June 2016. Site notices were posted on 21 June 2016.

2 letters have been received from Ramsbottom Heritage Society, which have raised the following issues:

- Our research suggests that Croft End is an historically important site worthy of preservation in part or whole.
- As parts of the site are 215 years old, query why no heritage statement was provided.
- Despite the fact that Irwell Valley constitutes the birthplace of much of the 18th, 19th and 20th century textile trades, a considerable number of historical sites have disappeared over recent years. In contrast Croft End has survived intact, completely weatherproof and despite references to it being derelict, is actually still in use in parts.
- A local developer has stated that the building is ideal for conversion and would provide a two storey building with a riverside setting.
- The continual loss of lodges in Rossendale is a matter that has been raised elsewhere together with its environmental and ecological implications.
- The Ordnance Survey map from 1847 clearly shows the L-shape of what is now Croft End mill as part of the Rose bank printing and bleaching complex.
- Various photographs have been submitted, which show parts of the mill building dating from 1817 and 1847.
- Parts of the mill include local vernacular features, carried over into the industrial age from traditional local building practice. For example the watershot technique, where each successive course of stoneworks is tipped slightly outwards, but set about half an inch behind the lower course.
- This was a particular feature of Pennine vernacular architecture, rarely seen after 1840s and designed to allow rainwater to drip out of the stonework. There are very few surviving mills in the area with watershot stonework.
- One neat and easily overlooked feature, common on vernacular stone buildings situated on roads which carried wheeled traffic, is this carefully carved curvature.
- The mill contained a 19th century extension, mimicking the original but in Accrington brick.
- The empty lodge and its surroundings have been rapidly overtaken by nature.
- The setted cartway with large reinforcing flagstones on the brook bridge was shown on the 1827 survey.
- The settling tanks are present and rarely survive any kind of redevelopment in this area.
- The fabric printing company, Turnbull and Stockdale printed cloth and created their own designs on their own cloth. Many were used in the Cunard liners and even in the homes of the Royal family.
- Turnbull and Stockdale had premises at Croft End Bleachworks, Edenwood Mill, Rosebank Printing works, Chatterton Weaving Shed and Cuba Mill. There were sales offices in London, Birmingham, Glasgow, Belfast and Manchester.
- The company directors supported local organisations in Edenfield, Stubbins and Ramsbottom.

The objector has been notified of the Planning Control Committee meeting.

### **Consultations**

**Traffic Section** - No objections in principle and further comments will be reported in the Supplementary Report.

**Drainage Section** - Comments awaited and will be reported in the Supplementary Report.

**Environmental Health - Contaminated Land** - No objections, subject to the inclusion of conditions relating to contaminated land.

**GM Ecology Unit** - No objections, subject to the inclusion of conditions relating to nesting birds, Himalayan Balsam, landscaping and drainage.

**Environment Agency** - Additional information received. Further comments will be reported in the Supplementary Report.

**United Utilities** - No objections, subject to the inclusion of conditions relating to fowl and surface water drainage.

**Rossendale Borough Council** - Comments awaited and will be reported in the Supplementary Report.

**Minerals and Waste Planning Unit** - Comments awaited and will be reported in the Supplementary Report.

### **Unitary Development Plan and Policies**

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H3/1	Assessing Non-Conforming Uses
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN2	Conservation and Listed Buildings
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/3	Water Pollution
EN7/5	Waste Water Management
EN8/2	Woodland and Tree Planting
OL1/5	Mineral Extraction and Other Development in the Green Belt
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
MW3/1	Derelict or Degraded Land (Waste)
MW4/1	Assessing Waste Disposal Proposals
MW4/2	Development Control Conditions (Waste)
MW4/5	Land Contamination
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle (Waste)** - Policy MW3/1 states that when considering proposals for new or extensions to existing waste disposal sites, the Council will, without prejudice to other policies and proposals of the UDP, give favourable consideration to proposals which result in the reclamation of derelict or degraded land.

Policy MW4/1 states that a proposal for new or extensions to existing waste disposal sites or facilities will be accepted in principle when the following criteria are satisfied:

- It will not have an unacceptable impact on dwellings or on other environmentally sensitive properties in terms of visual amenity, noise, dust, air pollution, surface water or groundwater pollution, smell, vibration or other nuisance;
- It will not have an unacceptable effect on land drainage, water supply or the water resources of the area;
- It is acceptable in terms of access, traffic generation and road safety;
- It will not have a detrimental impact on the viability of agricultural holdings or lead to the unacceptable loss of agricultural land, taking into account the quality of restoration likely to be achieved following the cessation of waste disposal;
- It will not have an unacceptable effect on the setting of listed buildings, ancient monuments or conservation areas;
- It will not have a detrimental impact on areas of recreational use or potential, areas of special landscape, archaeological or geological value, river valleys, areas of ecological or biological importance or any other area of a similar nature protected by other policies of the UDP;
- It would not sterilise land with mineral deposits, if mineral extraction is considered to be a viable and appropriate use of the land;
- It includes a satisfactory scheme of restoration and, where appropriate, aftercare;
- It makes satisfactory provision for screening and landscaping of the site whilst works are in progress;
- In the case of extensive sites, it includes provision for progressive working of the site to minimise the area of working at any particular time;
- It includes a satisfactory scheme of aftercare in the case of restoration to agriculture, forestry or amenity use;
- It makes satisfactory provision for leachate and landfill gas controls and dispersal during and after the completion of the tipping operations.

The proposed development involves the infilling of the filter beds to create a level area and a pond. The proposed works would not impact upon agricultural land and would not sterilise the land for mineral deposits. The proposed development would not impact upon areas of recreational use and the issues relating to amenity and traffic generation will be addressed later in the report. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policies MW3/1 and MW4/1 of the Bury Unitary Development Plan.

**Principle (Green Belt)** - Paragraph 90 of the NPPF states that certain other forms of development are also not inappropriate in the Green Belt provided they preserve the openness of the Green Belt and do not conflict with the purposes of including land in Green Belt. These are:

- mineral extraction;
- engineering operations;
- local transport infrastructure which can demonstrate a requirement for a Green Belt location;
- the re-use of buildings provided that the buildings are of permanent and substantial construction; and
- development brought forward under a Community Right to Build Order.

Policy OL1/5 states that within the Green Belt, other development will be inappropriate unless it maintains openness and would not conflict with the purposes of including land within the Green Belt.

The proposed infilling works would be an engineering operation and would be appropriate development within the Green Belt. The proposed infilling and landscaping works would maintain the openness and character of the Green Belt. Therefore, the proposed development would be in accordance with Policy OL1/5 of the Bury Unitary Development Plan and the NPPF.

**Impact upon surrounding area** - The proposed infilling works would create a level area to

facilitate the creation of a pond and associated landscaping as part of a residential development. The proposed material would be inert, such as crushed brick, concrete and stone, which would not decompose and as such, would not cause harm to the amenity of the neighbouring properties.

The proposed landscaping works would include the provision of a pond, maintenance access, trees, wildflowers, water and scrub planting. The proposed works would be appropriate for the area and would not have an adverse impact upon the character or appearance of the area.

Access to the filter beds would be taken from within the site with plant and material being lifted over the watercourse directly onto the filter beds. It is acknowledged that there would be some adverse impact upon the amenity of the neighbouring properties through noise and disturbance. However, the potential for noise and disturbance would be mitigated by the restriction of the hours of operation from 08.00 to 17.00 on Mondays to Fridays.

The proposed infilling works would take a period of 6 months to complete and it is considered that the improvement to the site would outweigh the disturbance to the amenity of the neighbouring properties during the hours of operation.

Therefore, it is considered that the proposed development would be in accordance with Policies MW3/1 and MW4/1 of the Bury Unitary Development Plan.

**Ecology** - An ecological appraisal was submitted with the application. There is potential for otter, water vole and white clawed crayfish to be present in Dearden Brook or the River Irwell and any impacts can be mitigated through the submission of a Construction and Environmental Management Plan.

Both the River Irwell and Dearden Brook are main rivers and are subject to the Water Framework Directive. The Water Framework Directive requires environmental objectives be set for all surface and ground waters to enable them to achieve good status or potential for heavily modified water bodies by a defined date. One objective is to prevent further deterioration which can include changes to flow pattern, width and depth of channel, sediment availability/transport and ecology and biology. GM Ecology Unit has no objections to the proposed development, subject to the inclusion of conditions relating to nesting birds, Himalayan Balsam, landscaping and drainage. Therefore, the proposed development would not have a significant adverse impact upon a protected species or ecological feature and would be in accordance with Policies EN6 and EN6/3 of the Bury Unitary Development Plan and the NPPF.

**Highways issues** - The applicant has confirmed that access to the filter beds would be taken from within the site. All plant and material would be lifted over the watercourse directly onto the filter beds and as such, there would be no impact upon the Public Right of Way to the southwest of the site. The Traffic Section has no objections to the principle of the proposed development and further comments will be reported in the Supplementary Report.

#### **Response to objectors**

The ecological impact of the loss of the filter beds has been addressed in the report above. The implications of the loss of the mill building, with regard to its historic importance is a matter for Rossendale Council to consider.

#### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were



incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

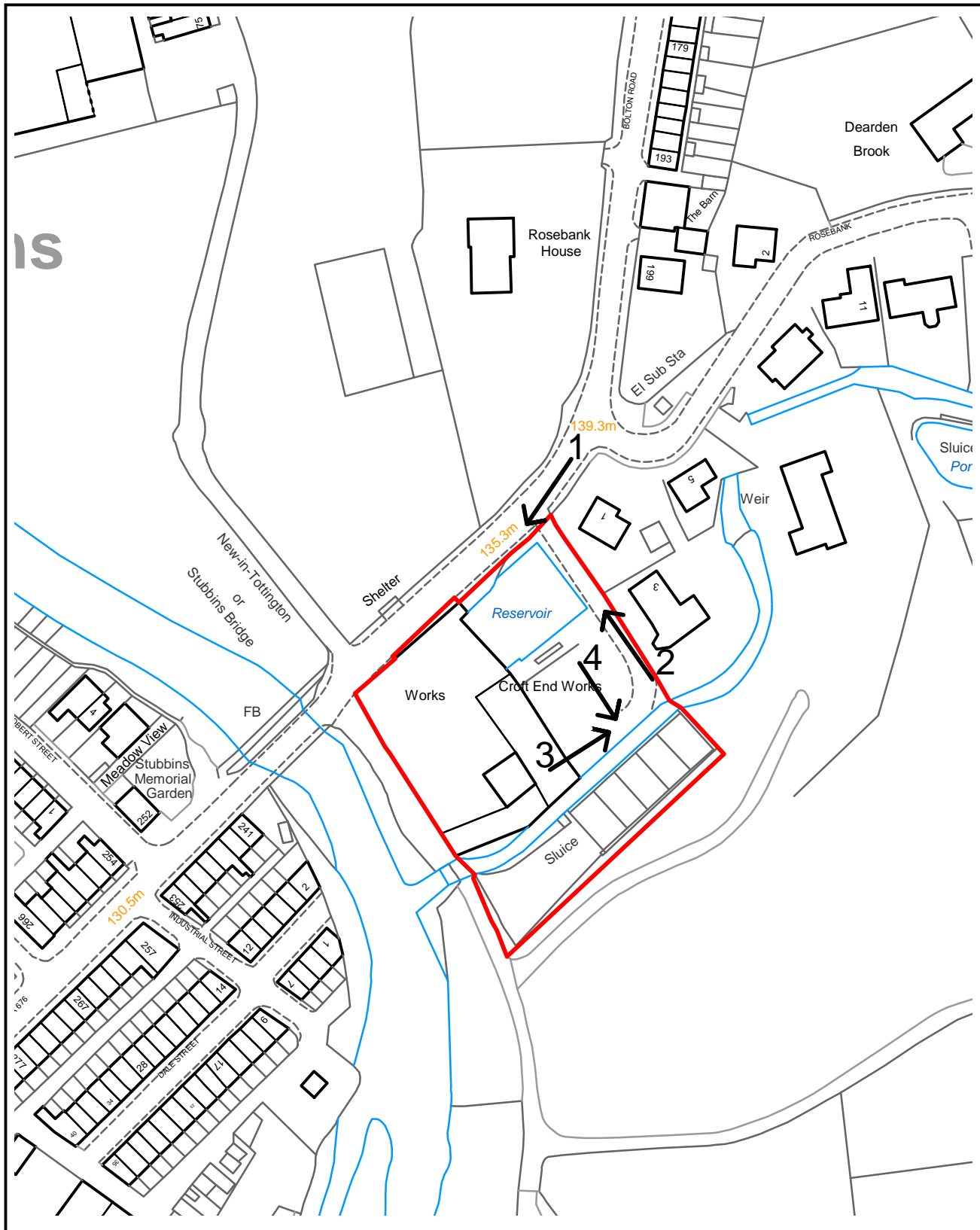
1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 101, EH025/TOO, 102, 103, F06, 6054 01-02, P.673.16.02, P.673.16.03 and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
  - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
  - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
  - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.  
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. No development shall commence unless or until a Construction and Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. Only the approved CEMP shall be implemented before construction works commence and shall be maintained for the duration of the development hereby approved.  
Reason. No information has been provided and to protect Dearden Brook and the River Irwell from pollution pursuant to Section 11 of the National Planning Policy Framework and Policy EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan.
6. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year.  
Reason. In order to ensure that no harm is caused to a Protected Species

pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. No development, site clearance or earth moving shall take place or material or machinery brought on site, unless or until a method statement to protect the Dearden Brook and River Irwell from accidental spillages, dust and debris has been submitted to and approved in writing by the Local Planning Authority. Only the approved method statement will be implemented and must be maintained for the duration of the construction period in accordance with the approved details.  
Reason. No information has been provided and to protect Dearden Brook and the River Irwell from pollution pursuant to Section 11 of the National Planning Policy Framework and Policy EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan.
8. The landscaping scheme hereby approved shall be implemented to the written satisfaction of the Local Planning Authority not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.  
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
9. No landfilling or restoration shall take place outside the hours of:  
0730 to 1830 hours, Monday to Fridays  
0800 to 1300 hours Saturdays.  
No such development or restoration shall take place at any time on Sundays or Public Holidays.  
Reason In the interests of the amenities of the area pursuant to Policies MW4/1 - Assessing Waste Disposal proposals and MW4/2 - Development Control Conditions (Waste) of the Bury Unitary Development Plan.
10. All vehicles transporting minerals, of a size less than 100mm in any dimension, from the site shall be securely sheeted.  
Reason: In the interests of highway safety and the amenities of the area pursuant to Policies MW4/1 - Assessing Waste Disposal proposals and MW4/2 - Development Control Conditions (Waste) of the Bury Unitary Development Plan.
11. The types of reversing alarms to be used on the vehicles and equipment associated with the development shall be agreed with the Local Planning Authority prior to the use on the site. Only the approved alarms shall be used on site.  
Reason - In the interests of the amenity of the area pursuant to Policies MW4/1 - Assessing Waste Disposal proposals, MW4/2 - Development Control Conditions (Waste) of the Bury Unitary Development Plan.
12. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.  
Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.



# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

APP. NO 60212

ADDRESS: Croft End Mill, Bolton Road North  
Ramsbottom

Planning, Environmental and Regulatory Services

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60212

Photo 1



Photo 2





60212

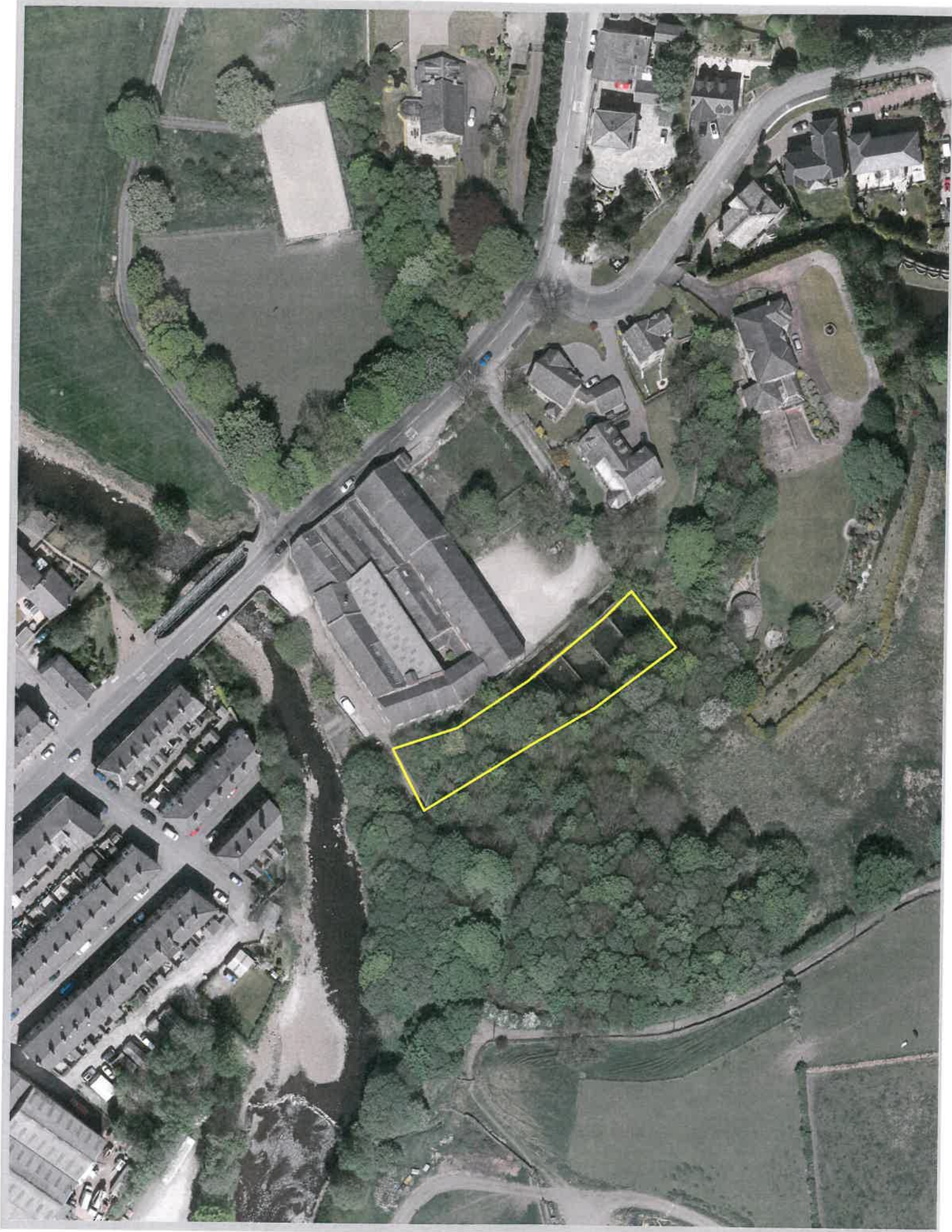
Photo 3



Photo 4





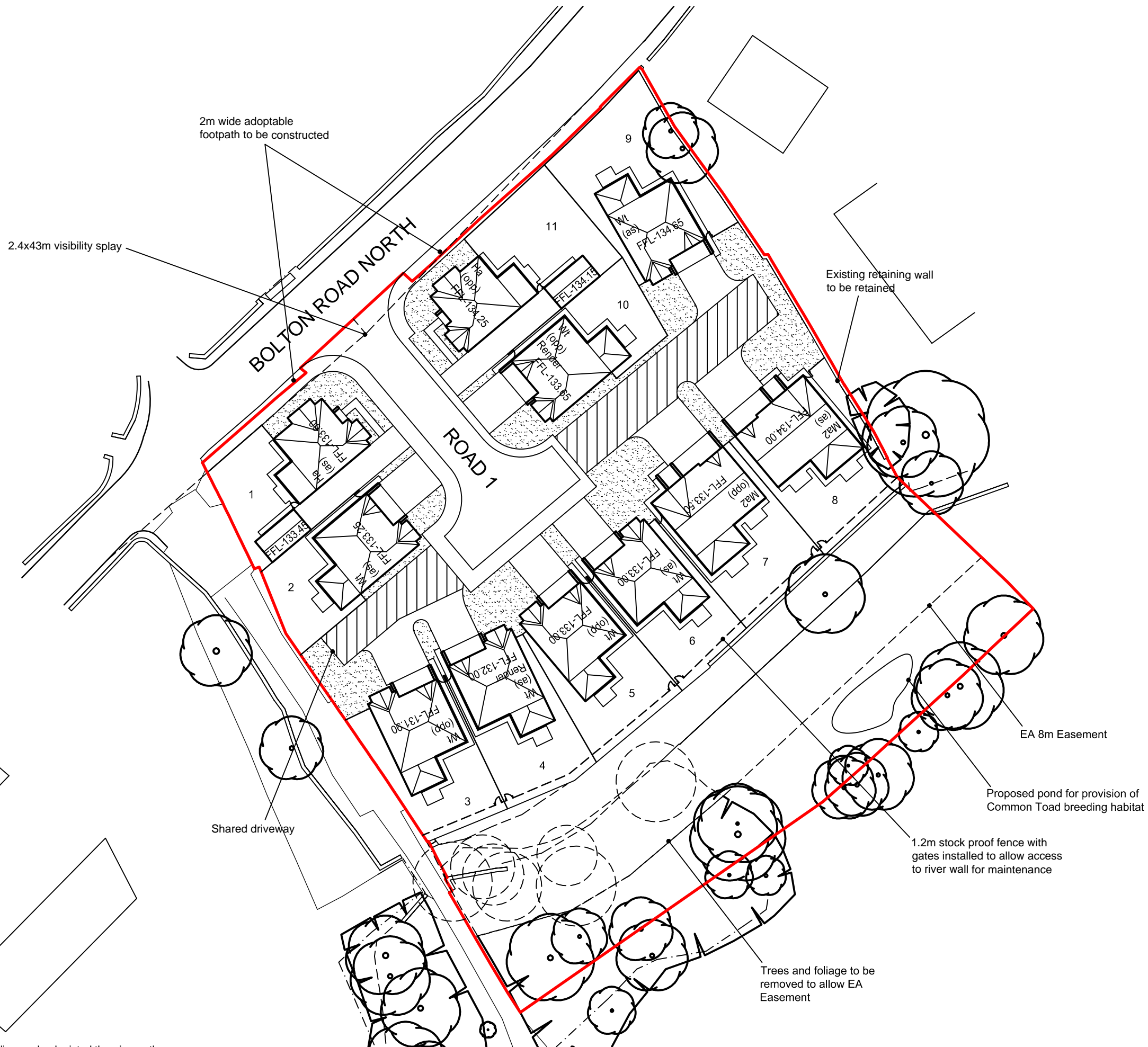
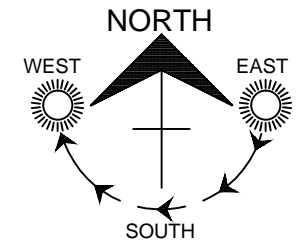




- NOTE:
- DO NOT SCALE FROM THIS DRAWING.
  - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE EXECUTION OF ANY WORK.
  - ANY DISCREPANCY TO BE FOUND TO EXIST BETWEEN DRAWINGS AND/OR DOCUMENTS IT SHOULD BE REPORTED TO THE TECHNICAL DEPARTMENT IMMEDIATELY.

SCHEDULE OF ACCOMODATION				
HAIGH	4 BED DETACHED HOUSE	1492sqft	2	2984sqft
WHITTINGTON	4 BED DETACHED HOUSE	1610sqft	7	11270sqft
MAWDESLEY 2	5 BED DETACHED HOUSE	1799sqft	2	3598sqft
<b>TOTAL</b>			<b>11</b>	<b>17852sqft</b>

SITE AREA: 1.11 Acres  
 SITE DENSITY: 9.91 Units/Acre  
 TOTAL FOOTAGE: 17852 Sqft  
 SITE FOOTAGE: 16083 Sqft/Acre



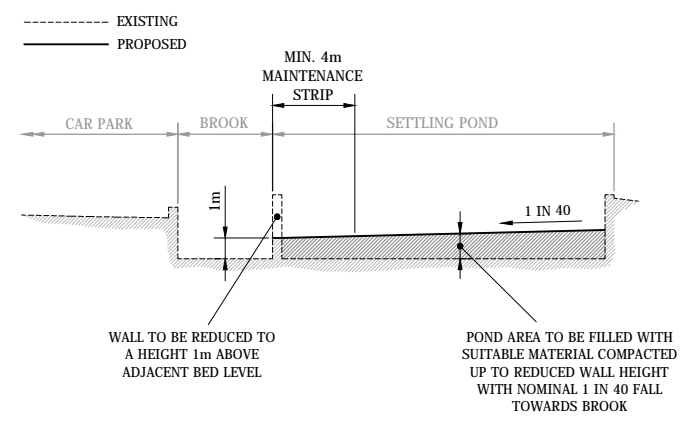
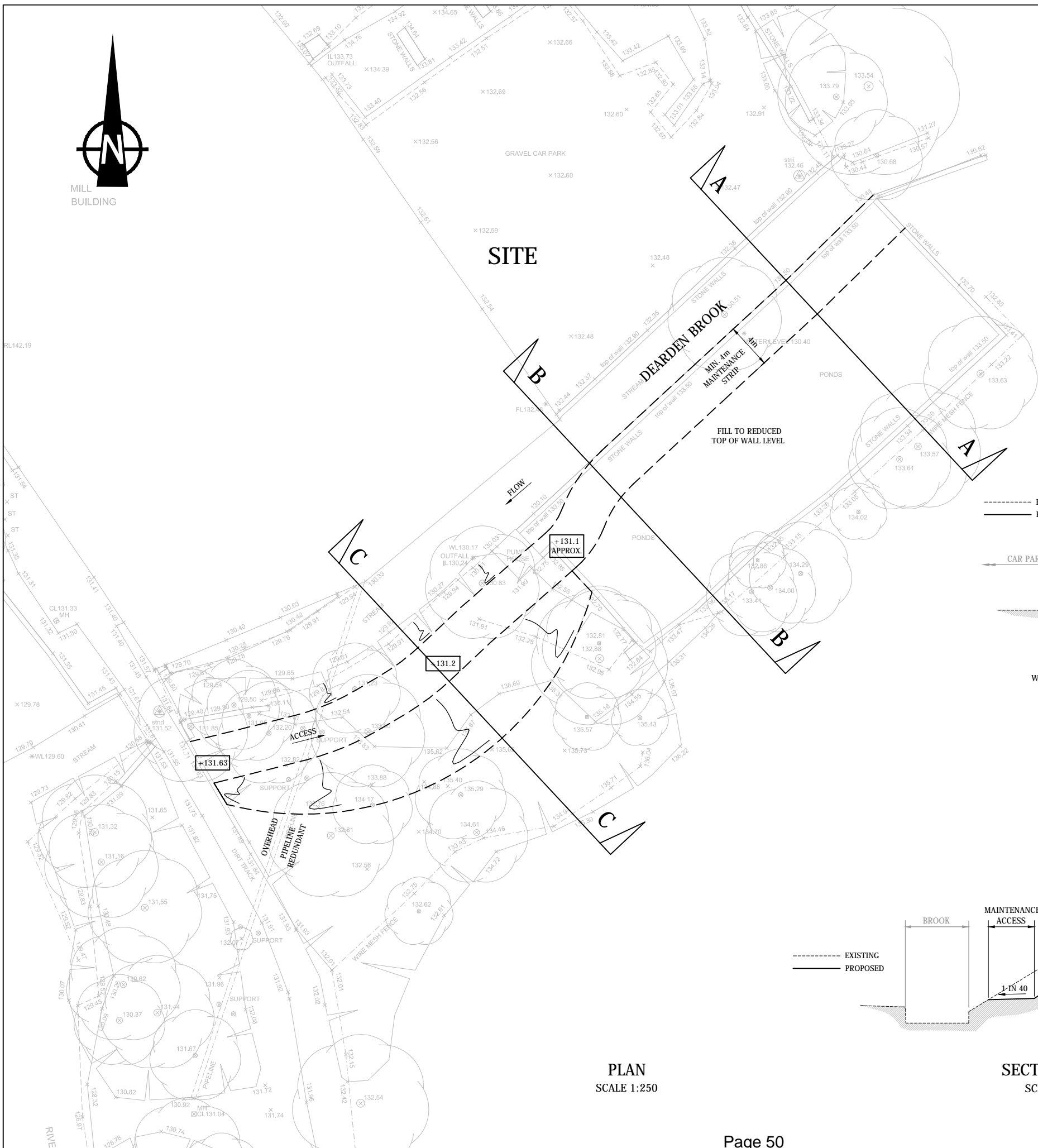
REV.	DESCRIPTION	INT.	DATE



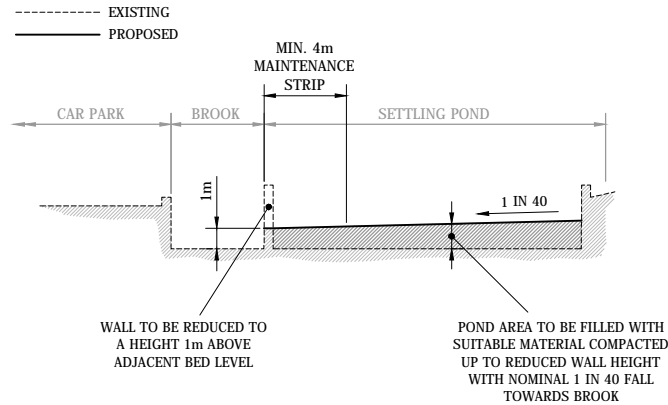
PROJECT  
**CROFT END MILL,  
 BOLTON ROAD NORTH,  
 STUBBINS**

DRAWING TITLE  
**PLANNING LAYOUT**

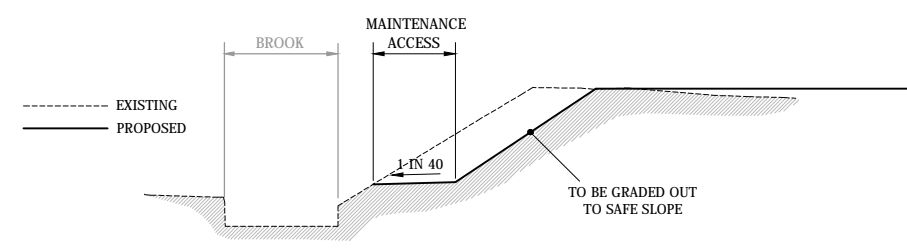
JOB NUMBER	012	REV	
DRAWING NUMBER	102		
DRAWN	JSM	31.03.16	SCALE
CHECKED	-	-	1:500
			<b>A3</b>



SECTION A - A  
SCALE 1:250



SECTION B - B  
SCALE 1:250



SECTION C - C  
SCALE 1:250

PLAN  
SCALE 1:250

Rev	REVISION	By	Date

ECCLESTON HOMES

BOLTON ROAD NORTH  
RAMSBOTTOM

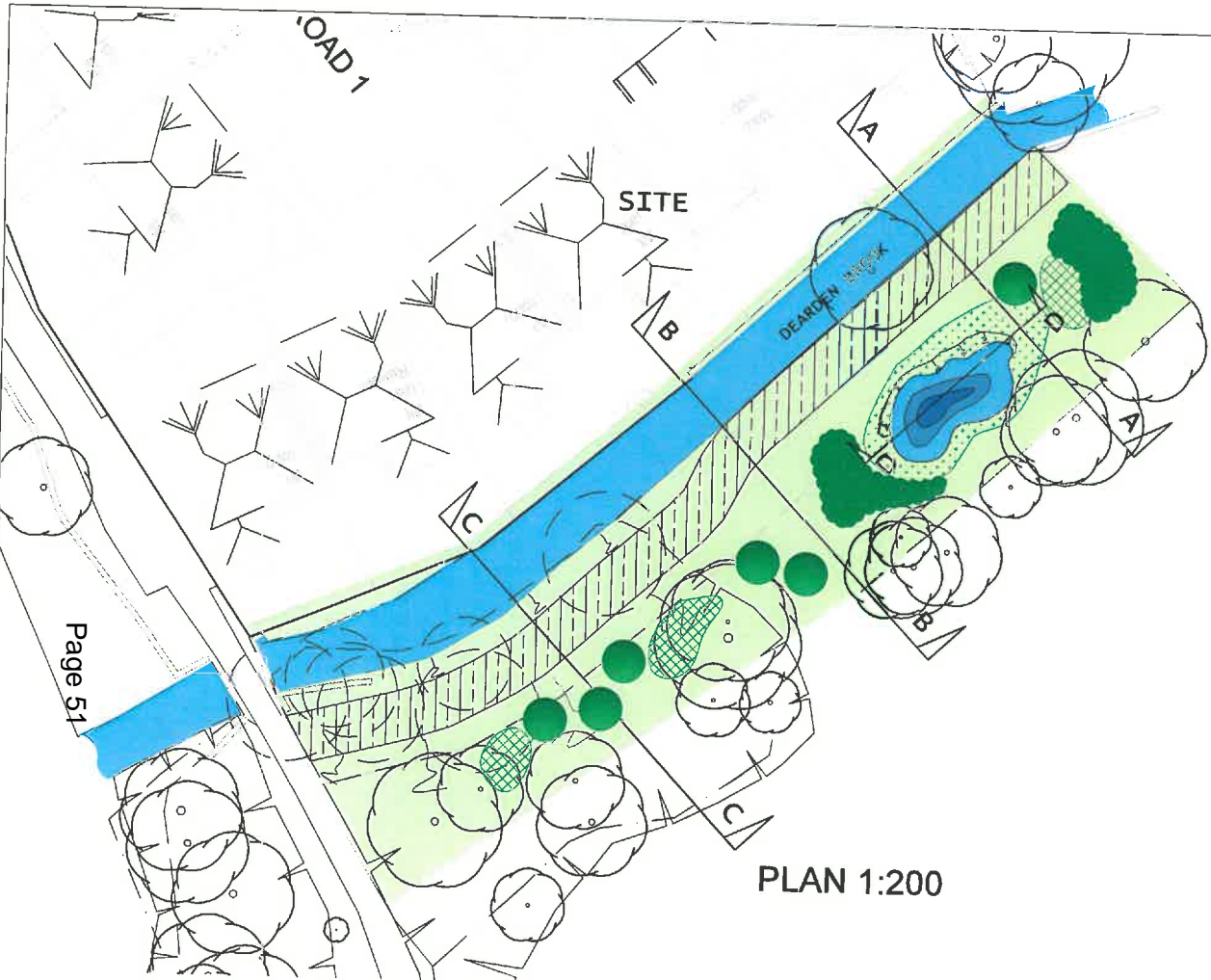
BANK WORKS TO DEARDEN BROOK



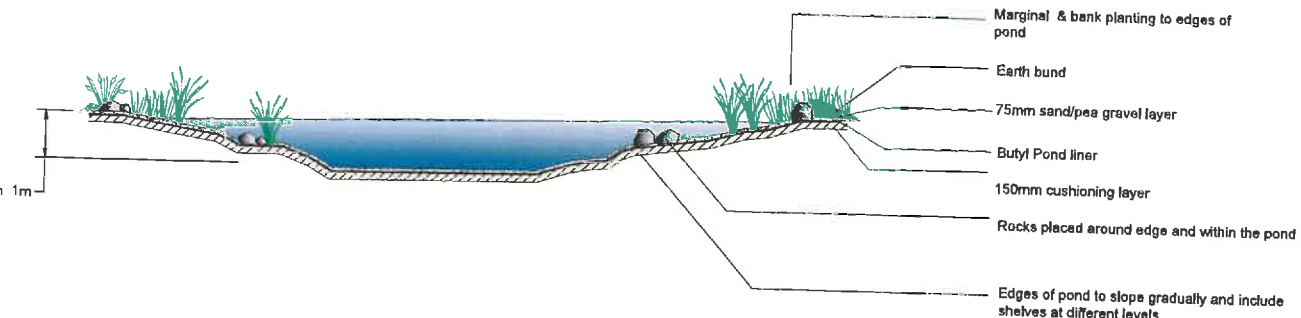
THE GENESIS CENTRE, SCIENCE PARK SOUTH,  
BIRCHWOOD, WARRINGTON, CHESHIRE, WA3 7BH.  
Tel: 01925 812898 Fax: 01925 838864

Job No. 6054	Drawing No. 01-02	Revision. -
Scale AS SHOWN @ A2	Date JUNE 2016	
Drawn By MG	Designed By JEL	Checked By JEL

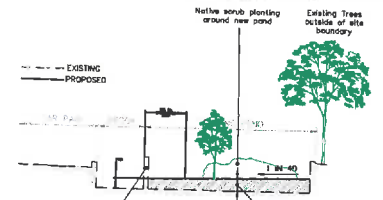
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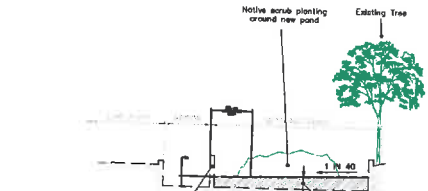
PLAN 1:200



SECTION D - D INDICATIVE POND PROFILE  
SCALE 1:50



SECTION A - A  
SCALE 1:250



SECTION B - B  
SCALE 1:250



SECTION C - C  
SCALE 1:250

DO NOT SCALE

This drawing, including the design and technical information contained on it, is the property of Ascerta. The drawing may only be used for the specific purpose for which it has been intended and may not be reproduced or copied without prior permission.

- KEY:**
- Existing trees retained and protected during the works.
  - Existing trees removed where required to allow regrading.
  - Ground leveled to create new grass access track. Sown with Gammal A22 low maintenance grass seed at 50g/m<sup>2</sup>.
  - Proposed standard trees - refer to plant schedule for detail.
  - Proposed native scrub planting - refer to plant schedule for detail.
  - Proposed marginal and wetland planting. Planted randomly in species groups 6-11.
  - Willowherb plug planting - planted in species groups 6-11.
  - Area to be seeded with Gammal WFG8. Shaded Areas at rate of 5g/m<sup>2</sup>.

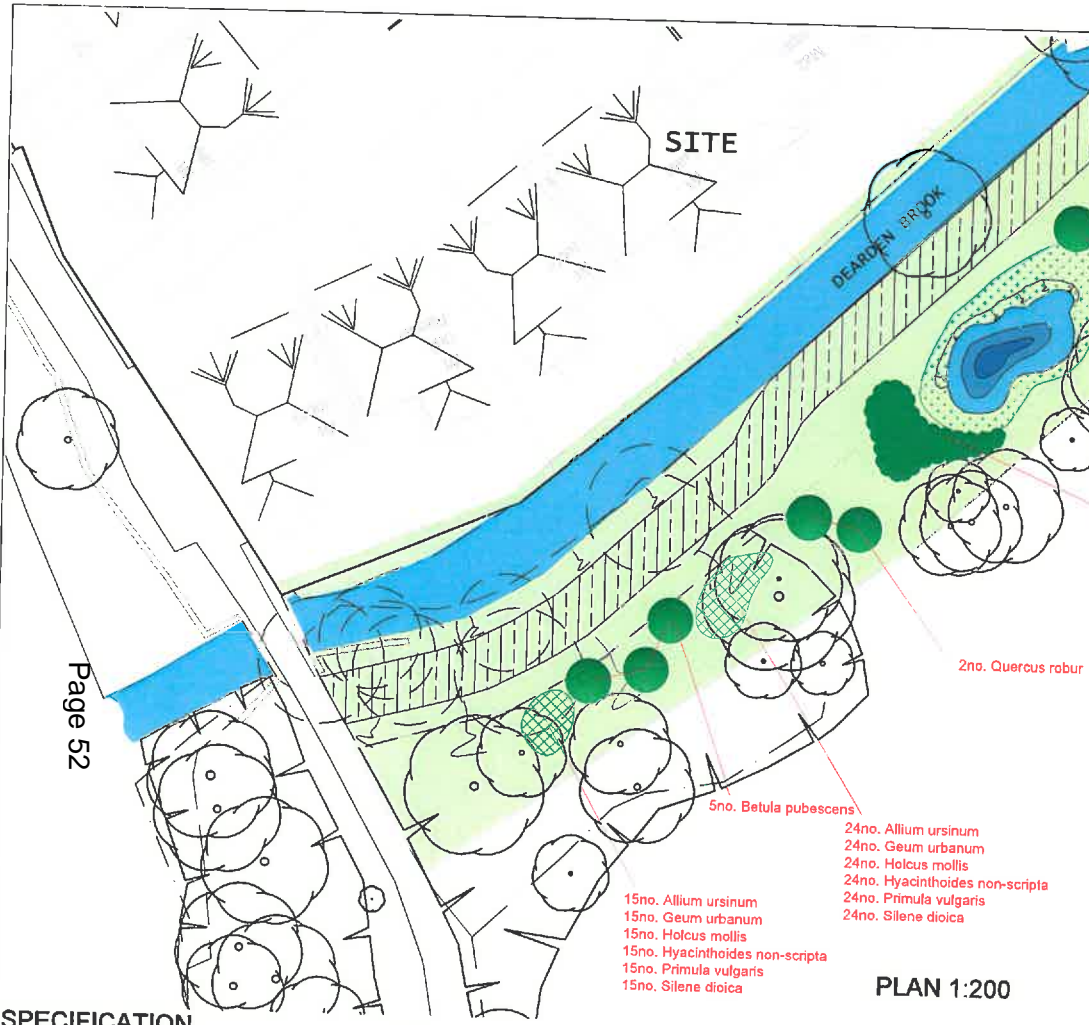
- NOTES:**
- Water tanks and sediment need to be tested and if not contaminated, sediment and some water to be re-used within the new pond. Remaining water from tanks may be pumped into river or latter of site. Any plants to be relocated.
  - If contamination is found, water and sediment will need to be treated and disposed appropriately.
  - Topsoil to be imported to areas of planting at a minimum depth of 400mm. 150mm topsoil to the access track and 150mm subsoil to be spread to rest of the area.
  - The pond to be randomly shaped as shown to provide maximum pond edge, with shallow shelves and deeper areas to increase variety of habitats.
  - Works to be carried out in winter to minimise impact on ecology.
  - Pond depth to be a minimum of 1m.
  - Where land slopes towards stream pond level to be made up with an earth bund, shaped to include an low point as an overflow.
  - Himalayan Balsam to be removed by hand and continued to be managed as part of the maintenance programme.

NOTE:  
Sections A-A, B-B and C-C are based on the engineering drawing 01-02 Bank Works for Dearden Brook produced by Lees Roudburgh

**Ascerta**  
Landscape | Trees | Ecology  
Mere One, Mere Grange  
Elton Head Road, St Helens  
Merseyside WA9 5GG  
t: 0845 463 4404 f: 0845 463 4405  
e: info@landscapetreecology.com  
www.landscapetreecology.com

CLIENT:  
Eccleston Homes  
PROJECT:  
CROFT END MILL, STUBBINS  
DRAWING TITLE:  
Landscape Proposals for Dearden Brook  
SCALE: DRAWN BY: DRAWING NO: REV:  
Verticals RV  
DATE: CHECKED BY: JULY 2016 AM P.673.16.02





8no. *Alnus glutinosa*  
 4no. *Betula pubescens*  
 12no. *Corylus avellana*  
 8no. *Crataegus monogyna*  
 4no. *Quercus robur*  
 4no. *Salix cinerea*  
 16no. *Viburnum opulus*

21no. *Allium ursinum*  
 21no. *Geum urbanum*  
 21no. *Holcus mollis*  
 21no. *Hyacinthoides non-scripta*  
 21no. *Primula vulgaris*  
 21no. *Silene dioica*

1no. *Quercus robur*

8no. *Alnus glutinosa*  
 4no. *Betula pubescens*  
 12no. *Corylus avellana*  
 8no. *Crataegus monogyna*  
 4no. *Quercus robur*  
 4no. *Salix cinerea*  
 16no. *Viburnum opulus*

2no. *Quercus robur*

5no. *Betula pubescens*  
 24no. *Allium ursinum*  
 24no. *Geum urbanum*  
 24no. *Holcus mollis*  
 24no. *Hyacinthoides non-scripta*  
 24no. *Primula vulgaris*  
 24no. *Silene dioica*

15no. *Allium ursinum*  
 15no. *Geum urbanum*  
 15no. *Holcus mollis*  
 15no. *Hyacinthoides non-scripta*  
 15no. *Primula vulgaris*  
 15no. *Silene dioica*

PLAN 1:200

**SPECIFICATION**

**1. GENERAL INFORMATION**  
 1.1 PROJECT INFORMATION  
 1.2 CLIENT  
 1.3 SITE ADDRESS  
 1.4 DRAWING NO.  
 1.5 DATE  
 1.6 SCALE  
 1.7 DRAWING NO.  
 1.8 DATE  
 1.9 SCALE

**2. MATERIALS**  
 2.1 SOILS  
 2.2 PLANTING MEDIA  
 2.3 MULCHING  
 2.4 FERTILISERS  
 2.5 IRRIGATION  
 2.6 MAINTENANCE

**3. PLANTING**  
 3.1 PREPARATION OF SITES  
 3.2 PLANTING TECHNIQUE  
 3.3 PLANTING SCHEDULE  
 3.4 PLANTING LABELS  
 3.5 PLANTING RECORDS

**4. MAINTENANCE**  
 4.1 WEEDING  
 4.2 WATERING  
 4.3 FERTILISING  
 4.4 PRUNING  
 4.5 DISEASE AND PEST CONTROL

**5. PLANTING**  
 5.1 PREPARATION OF SITES  
 5.2 PLANTING TECHNIQUE  
 5.3 PLANTING SCHEDULE  
 5.4 PLANTING LABELS  
 5.5 PLANTING RECORDS

**6. MAINTENANCE**  
 6.1 WEEDING  
 6.2 WATERING  
 6.3 FERTILISING  
 6.4 PRUNING  
 6.5 DISEASE AND PEST CONTROL

**7. PLANTING**  
 7.1 PREPARATION OF SITES  
 7.2 PLANTING TECHNIQUE  
 7.3 PLANTING SCHEDULE  
 7.4 PLANTING LABELS  
 7.5 PLANTING RECORDS

**8. MAINTENANCE**  
 8.1 WEEDING  
 8.2 WATERING  
 8.3 FERTILISING  
 8.4 PRUNING  
 8.5 DISEASE AND PEST CONTROL

**PLANT SCHEDULE**

Abbrev.	Botanical Name	Common Name	Orchid Dia. cm	Height cm	Root Zone	Specification	Cir m	Qty
	<i>Betula pubescens</i>	Downy Birch	10-12	300-350	B	2c. Feathered; 7 bris	1.00	1
	<i>Quercus robur</i>	Common Oak	10-12	300-350	B	2c. SS; clear stem 175-200cm; 4 bris	1.00	1

Abbrev.	Botanical Name	Common Name	Orchid Dia. cm	Height cm	Root Zone	Specification	No./m²	Qty
	<i>Allium ursinum</i>	Wild Garlic			0.5L	Full pot. Sept to April planting; British native-origin	5	60
	<i>Geum urbanum</i>	Wood Anemone			0.5L	Full pot. Sept to April planting; British native-origin	6	80
	<i>Holcus mollis</i>	Creeping Soft Grass			0.5L	Full pot. Sept to April planting; British native-origin	8	80
	<i>Hyacinthoides non-scripta</i>	English Bluebell			0.5L	Full pot. Sept to April planting; British native-origin	6	60
	<i>Primula vulgaris</i>	Primrose			0.5L	Full pot.	6	60
	<i>Silene dioica</i>	Red Campion			0.5L	Full pot. Sept to April planting; British native-origin	6	60

Abbrev.	Botanical Name	Common Name	Orchid Dia. cm	Height cm	Root Zone	Specification	No./m²	Qty
	<i>Callitriche sphenoloba</i>	Common Water Starwort			0.5L	Established root. Full to July planting; British native-origin	2	20
	<i>Polygonum persicaria</i>	Broad-leaved Purslane			0.5L	Established root. Sept to April planting; British native-origin	4	35
	<i>Ranunculus aquatilis</i>	Common Water Crowfoot			B	Bunches and Weights; 4-5 stems; British native-origin	1	15
	<i>Scilla maritima</i>	Japanese Anemone			0.5L	Full pot.	5	20

Abbrev.	Botanical Name	Common Name	Orchid Dia. cm	Height cm	Root Zone	Specification	No./m²	Qty
	<i>Carex paniculata</i>	Greater Tussock Sedge			0.5L	Full pot. Sept to April planting; British native-origin	3	30
	<i>Carex riparia</i>	Common Sedge			0.5L	Full pot. Sept to April planting; British native-origin	5	40
	<i>Scirpus sylvaticus</i>	Water Arrow			0.5L	Full pot. Sept to April planting; British native-origin	1	20
	<i>Lychnis viscaria</i>	Yellow Flag Iris			0.5L	Full pot.	5	30
	<i>Solidago canadensis</i>	Soft Rush			0.5L	Full pot. Sept to April planting; British native-origin	4	30
	<i>Lythrum salicaria</i>	Purple Loosestrife			0.5L	Full pot.	7	60
	<i>Sium</i>	Ringed Rock			0.5L	Full pot. Sept to April planting; British native-origin	1	40

Abbrev.	Botanical Name	Common Name	Orchid Dia. cm	Height cm	Root Zone	Specification	Cir m	Qty
	<i>Alnus glutinosa</i>	Common Alder	80-100	B	1+1; Transplant - seed raised	1.00	16	
	<i>Betula pubescens</i>	Downy Birch	80-100	B	1+1; Transplant - seed raised	1.00	0	
	<i>Corylus avellana</i>	Common Hazel	80-100	B	1+1; Transplant - seed raised; branched; 3 bris	0.55	24	
	<i>Crataegus monogyna</i>	Common Hawthorn	80-100	B	1+1; Transplant - seed raised	1.00	10	
	<i>Quercus robur</i>	Common Holly	80-100	BL	Leads with laterals	1	0	
	<i>Salix cinerea</i>	Common Oak	80-100	B	1+1; Transplant - seed raised	1.00	8	
	<i>Viburnum opulus</i>	Guelder Rose	80-100	B	1+2; Transplant - seed raised; branched; 3 bris	0.71	32	

DO NOT SCALE

This drawing, including the design and technical information contained on it, is the property of Ascerta. The drawing may only be used for the specific purpose for which it has been prepared and may not be reproduced or copied without prior permission.

- KEY:**
- Existing trees retained and protected during the works.
  - Existing trees removed where required to allow regrading.
  - Ground levelled to create new grass access track. Soam with Germinol A22 low maintenance grass seed at 50g/m<sup>2</sup>.
  - Proposed standard trees - refer to plant schedule for detail.
  - Proposed native scrub planting - refer to plant schedule for detail.
  - Proposed marginal and wetland planting. Planted randomly in species groups 5-11.
  - Wetland plug planting - planted in species groups 5-11.
  - Area to be seeded with Germinol WFOB Shaded Areas at rate of 5g/m<sup>2</sup>.

NOTE: Sections A-A, B-B and C-C are based on the engineering drawing 01-02 Bank Works to Dearden Brook.

**Ascerta**  
 Landscape | Trees | Ecology  
 Mere One, Mere Grange  
 Elton Head Road, St Helens  
 Merseyside WA9 5GG  
 t: 0845 463 4404 | e: 0845 463 4405  
 s: info@landscapetreesecology.com  
 www.landscapetreesecology.com

CLIENT: Eccleston Homes  
 PROJECT: CROFT END MILL, STUBBINS  
 DRAWING TITLE: Planting Plan  
 SCALE: Various  
 DATE: July 2016  
 DRAWING NO: P.673.16.03  
 CHECKED BY: AM  
 DESIGNED BY: RV  
 REV:



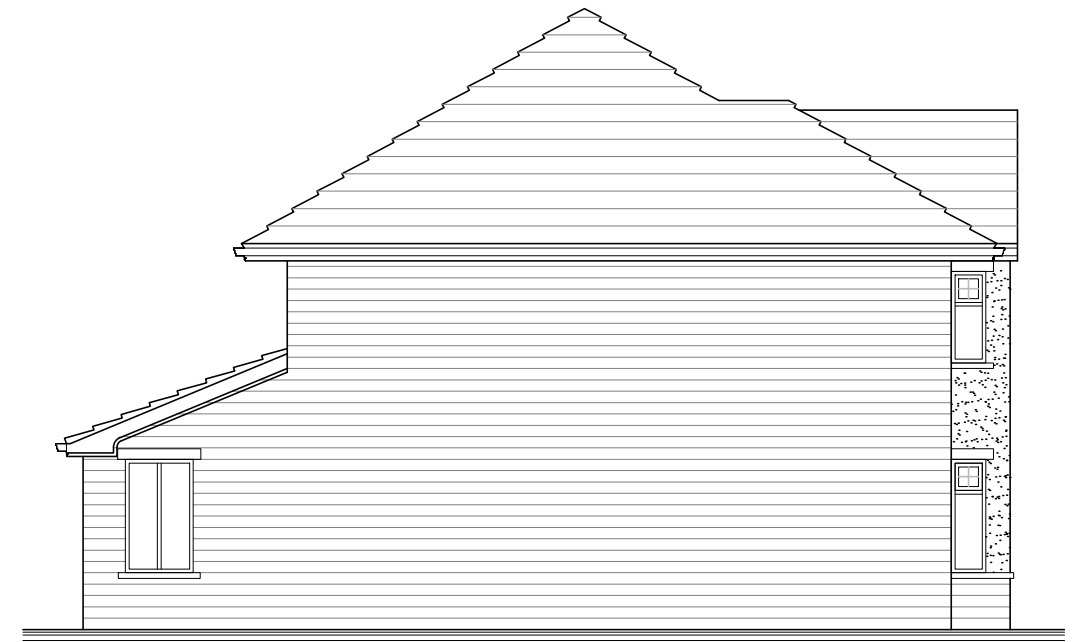


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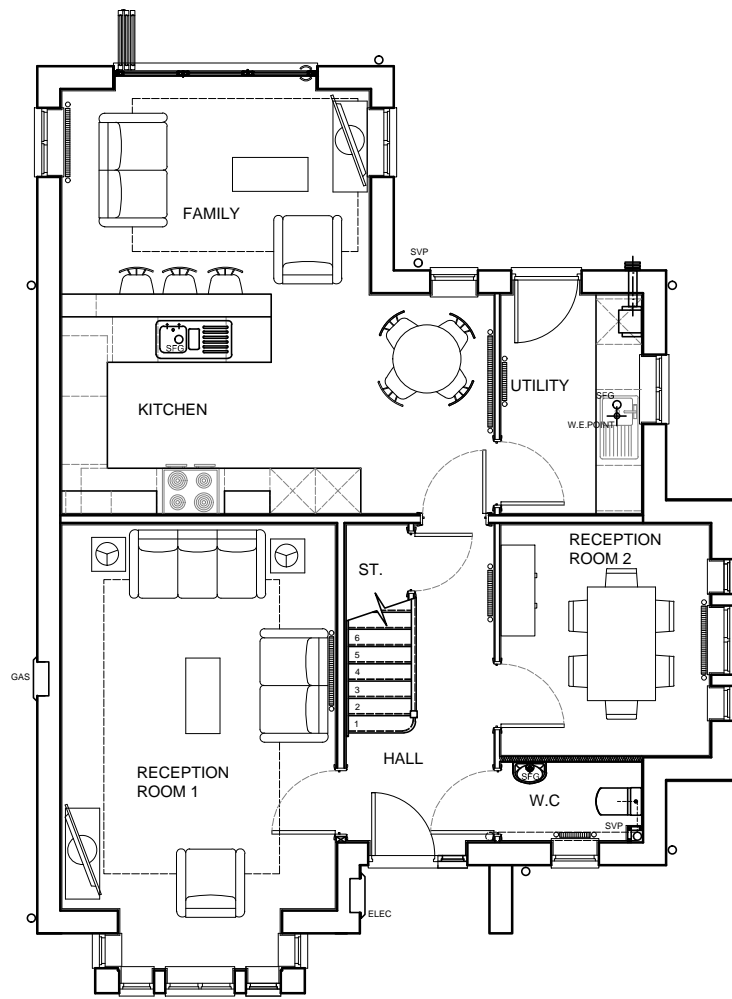
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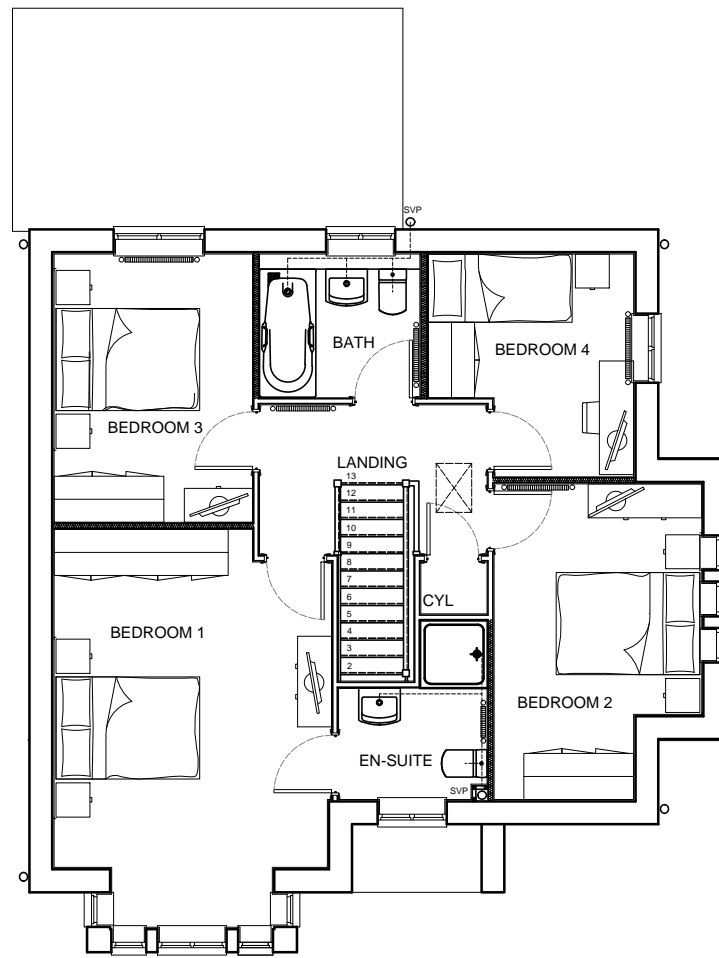
SIDE ELEVATION



SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



REAR ELEVATION

REV.	DESCRIPTION	INT.	DATE



dave gowen design LTD  
ARCHITECTURE + INTERIORS

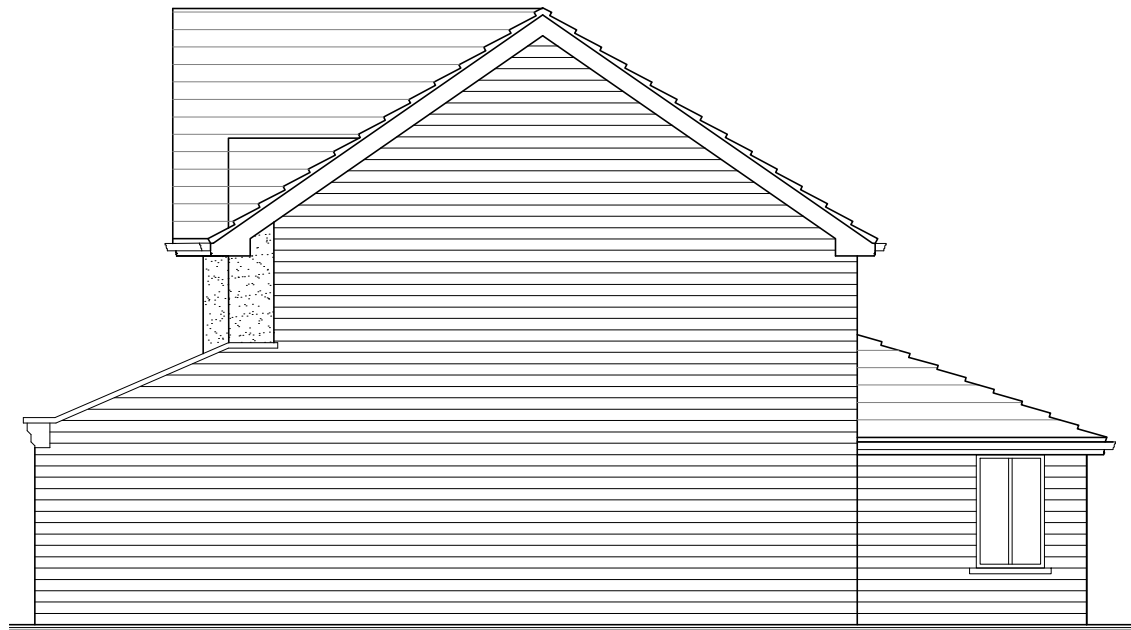
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**CROFT END MILL,  
BOLTON ROAD NORTH,  
STUBBINS**

DRAWING TITLE  
**HAIGH HOUSETYPE  
PLANNING DRAWING**

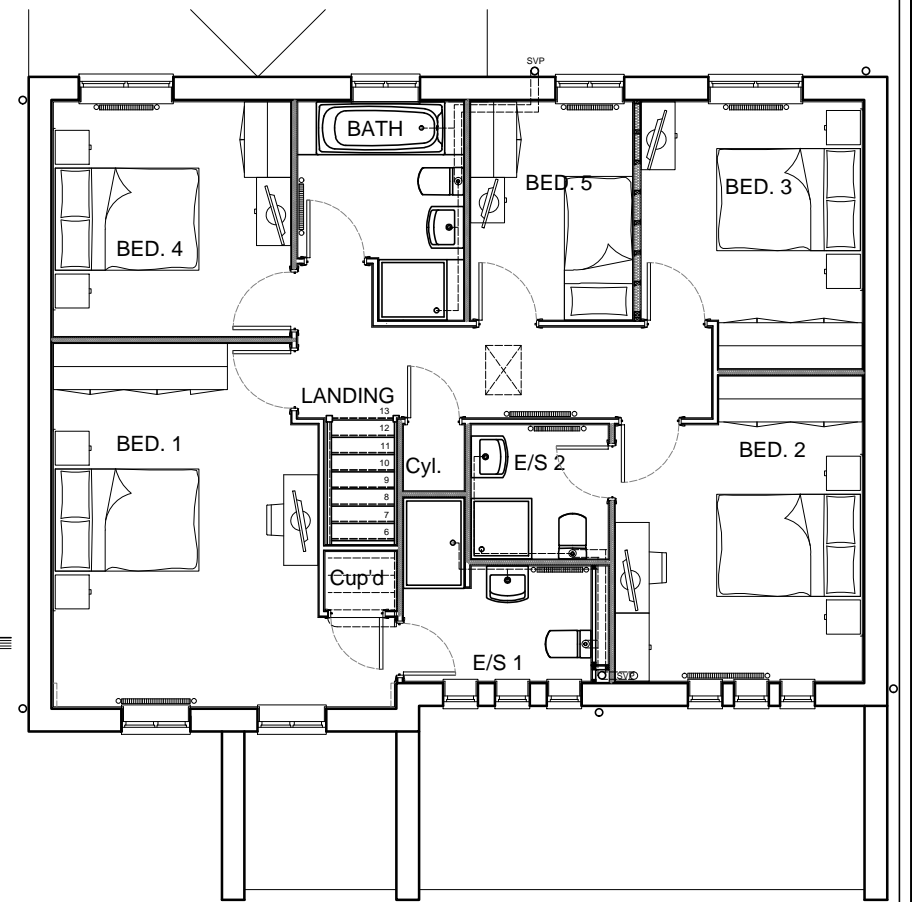
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FRONT ELEVATION



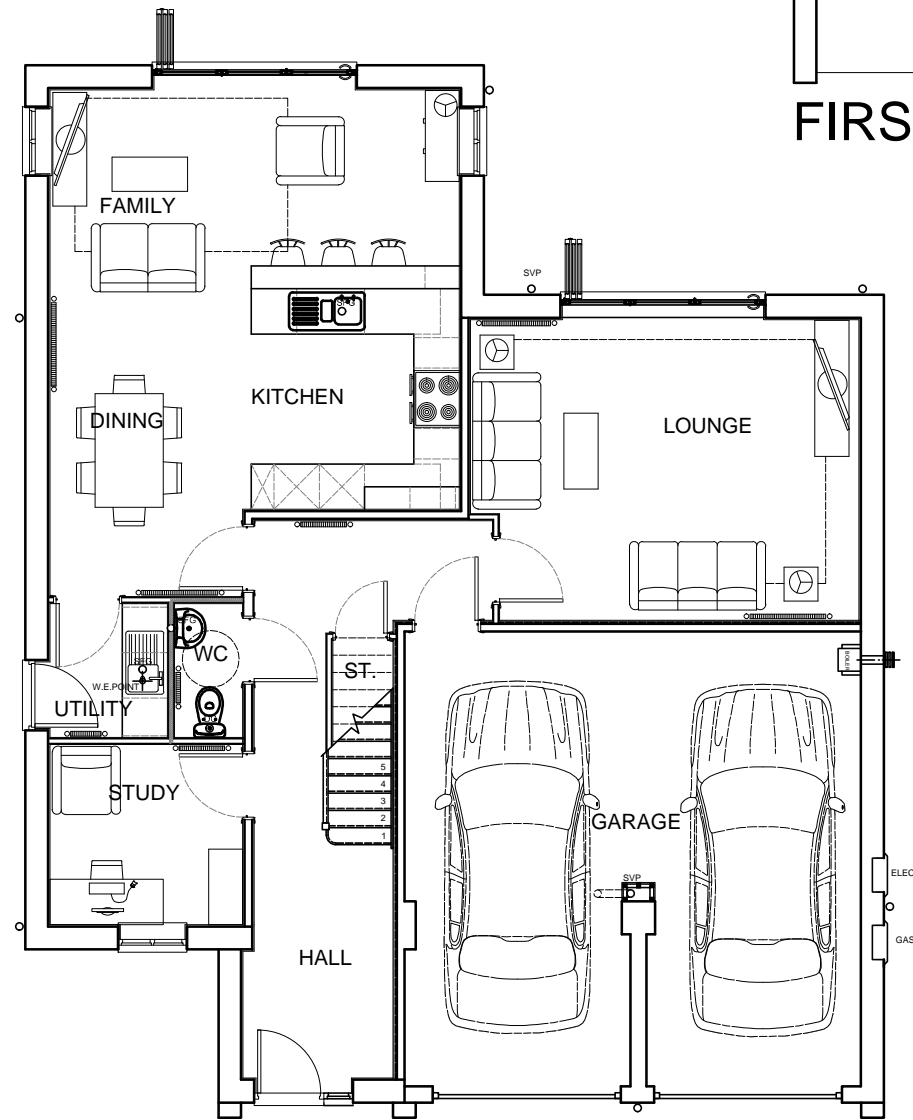
SIDE ELEVATION



FIRST FLOOR PLAN



SIDE ELEVATION



GROUND FLOOR PLAN



REAR ELEVATION

REV.	DESCRIPTION	INT.	DATE
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dave gowen design LTD  
ARCHITECTURE + INTERIORS

PROJECT  
**CROFT END MILL,  
BOLTON ROAD NORTH,  
STUBBINS**

DRAWING TITLE  
**MAWDESLEY 2 HOUSETYPE  
PLANNING DRAWING**

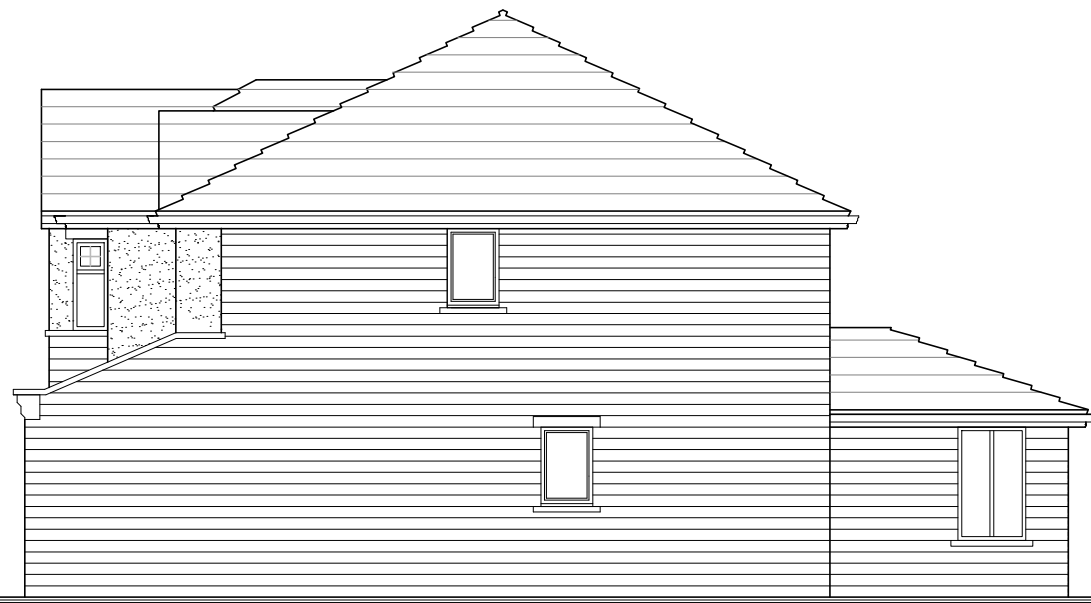
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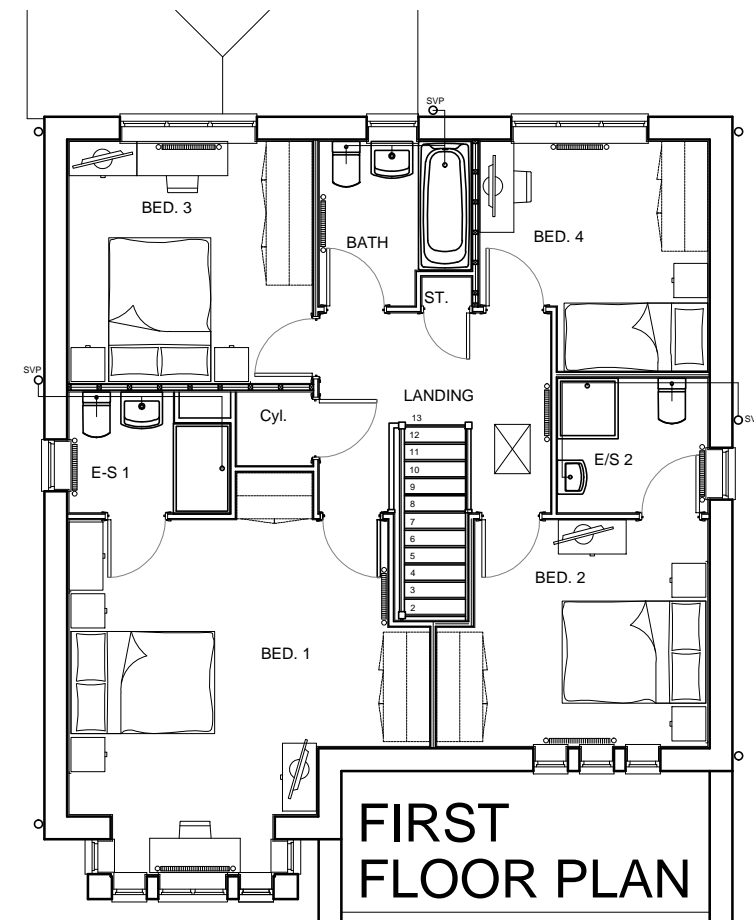


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FRONT ELEVATION



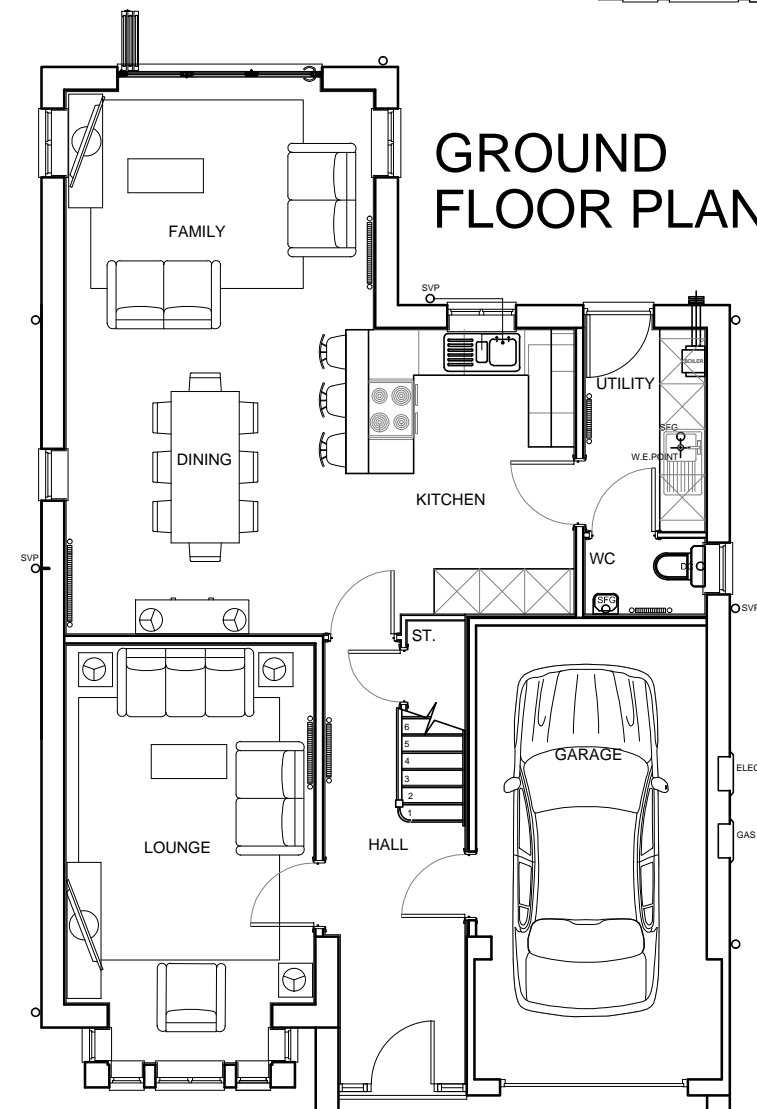
SIDE ELEVATION



FIRST FLOOR PLAN



SIDE ELEVATION



GROUND FLOOR PLAN

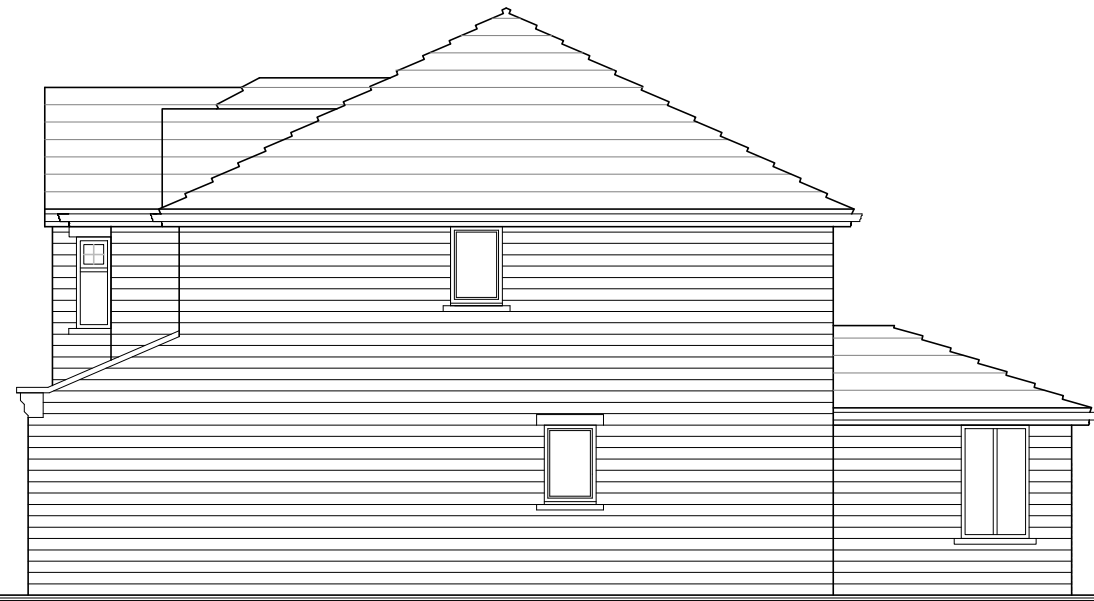


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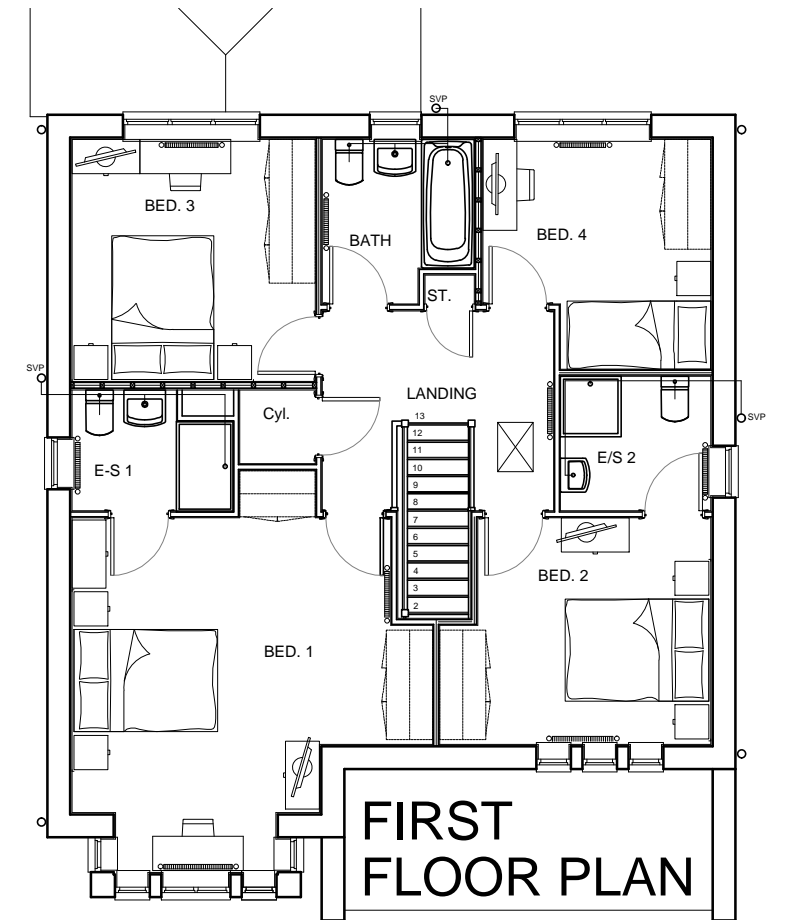
REV.	DESCRIPTION	INT.	DATE
 dave gowen design LTD ARCHITECTURE + INTERIORS			
<b>PROJECT</b> CROFT END MILL, BOLTON ROAD NORTH, STUBBINS			
<b>DRAWING TITLE</b> WHITTINGTON HOUSETYPE RENDER VERSION PLANNING DRAWING			
JOB NUMBER		-	REV
DRAWING NUMBER		WH-P-01-1	-
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			<b>A3</b>



FRONT ELEVATION



SIDE ELEVATION

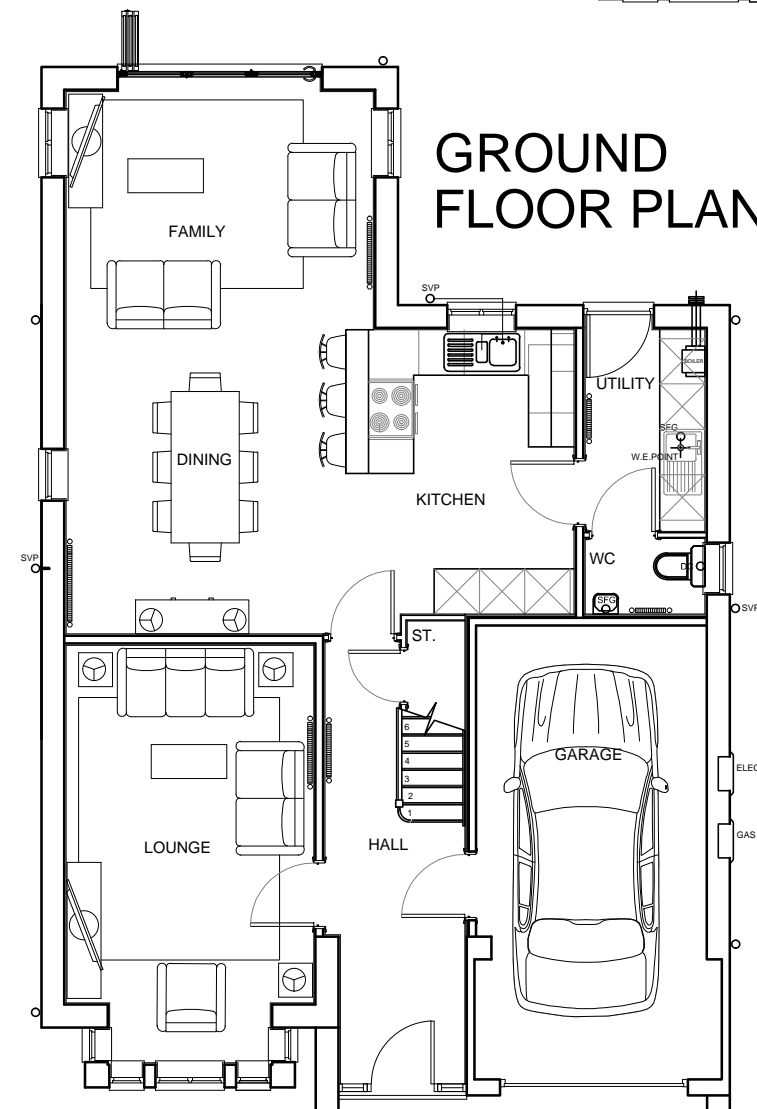


FIRST FLOOR PLAN



SIDE ELEVATION

Page 56



GROUND FLOOR PLAN



REAR ELEVATION

REV.	DESCRIPTION	INT.	DATE
 dave gowen design LTD ARCHITECTURE + INTERIORS			
PROJECT <b>CROFT END MILL,                  BOLTON ROAD NORTH,                  STUBBINS</b>			
DRAWING TITLE <b>WHITTINGTON HOUSETYPE                  STONE VERSION                  PLANNING DRAWING</b>			
JOB NUMBER		-	REV
DRAWING NUMBER		WH-P-01	-
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			<b>A3</b>

**Applicant:** Mrs Carol Spirit

**Location:** Side of 64 Polefield Hall Road, Prestwich, Manchester, M25 2WW

**Proposal:** Erection of 1 no. detached dwelling at side; New driveway/vehicular access to no. 64

**Application Ref:** 60216/Full

**Target Date:** 09/09/2016

**Recommendation:** Approve with Conditions

### **Description**

The application relates to the side garden area of 64 Polefield Hall Road. The property is a two storey red brick, semi-detached house located within an area characterised by similar styled two storey houses. There is a detached garage on the site with a driveway onto Polefield Hall Road.

The proposal involves demolishing the existing garage and erecting a 3-bed, detached two storey house adjacent to the existing house. The proposed house would have a footprint measuring 10.5m by 8m and comprise a two storey main section with a single storey wrap-around section on the east side. The single storey element would include a porch and an integral garage at the end of the driveway which would have space for two cars. A separate new driveway would be formed in front of the existing house to provide space for two cars. The new house would be constructed in red brick and tile to match the adjacent property.

### **Relevant Planning History**

00703/E - Proposed detached property in side garden of 64 Polefield Hall Road - Enquiry completed 15/07/2010

### **Publicity**

The following neighbours were notified by letter dated 15/07/16.

81 - 91(odd), 58 - 64(even) Polefield Hall Road, 110, 112 and 114 Polefield Circle, 27 - 33 Daneshill.

Objections from 29, 31 and 33 Daneshill, situated to the east of the site, The objections are summarised:

- Polefield Hall Road consists of terraced in units of 4 and semi-detached houses with no porches to the front or attached garages - the proposed property does not respect local context / street pattern or, in particular, the scale and proportions of surrounding buildings, it would be out of the character of the area, to the detriment of the local environment.
- The properties are also characterised with large spacing between them, the proposed dwelling is also extremely close to 64 Polefield Hall Road.
- Another house will mean overlooking, especially from the rear of the property on the first floor bedrooms.
- Loss of natural light to neighbours.
- The road/corner is already very dangerous. Another dwelling would mean more cars on the road and greater parking problems.
- The area has previously had a subsidence problem - so another building on unstable land could result in further problems

Those making representations have been notified of the Planning Control Committee.

### **Consultations**

Traffic Section - No objection.

Drainage Section - No objection.

Environmental Health - No objection subject to conditions relating to contaminated land.

Waste Management - No objection.

United Utilities - No objection.

### **Unitary Development Plan and Policies**

EN1/2	Townscape and Built Design
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/6	Garden and Backland Development
SPD11	Parking Standards in Bury
SPD16	Design and Layout of New Development in Bury
HT2/4	Car Parking and New Development
NPPF	National Planning Policy Framework
EN7	Pollution Control
EN7/3	Water Pollution
EN7/5	Waste Water Management
EN5/1	New Development and Flood Risk

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle** - UDP Policy H1/2 - Further Housing Development states that the Council will have regard to various factors when determining a proposal for residential development including the availability of infrastructure, the suitability of the site, the nature of the local environment and the surrounding land uses.

The application site and surroundings are within the urban area of Prestwich and is residential in character. As such the proposed development would be appropriate in land use terms and would not conflict with the surrounding uses. Furthermore it is considered that there is adequate infrastructure to support the development. Subject to compliance with other policy considerations, the proposed development would be in accordance with Policy H1/2.

The details and layout of the application will need to be considered against the criteria listed in Policies H2/1 - Form of New Residential Development and H2/2 -Layout of New Residential Development as well as guidance provided in SPD16 - Design and Layout of New Development.

Policy H2/1 The Form of New Residential Development sets out factors to be assessed, including

- height and roof style,
- impact on residential amenity,
- density and character of the locality,
- position in relation to neighbours and materials to be used.

Policy H2/2 The layout of New Residential Development relates to layout and states that proposal should take account of;

- car parking and access,
- density,

- space between dwellings,
- landscaping,

Policy EN1/2 relates to general design of a new build on the streetscene and states that proposals should not have an adverse impact on the character of the townscape.

**Visual amenity and character of the streetscape** - Although the site has a semi-detached dwelling and garage on it, with a frontage of 166m and an area measuring approximately 360sqm, the plot is sizeable and considered capable of accommodating an additional dwelling without appearing to constitute overdevelopment or be out of character within the locality. The crucial issue is the size and siting of the dwelling within the plot.

In terms of siting and massing, the proposed house would be centrally positioned on the new plot and generally in line with other properties along this side of Polefield Hall Road. With an eaves height of 5m and a maximum ridge height of 6.7m, the proposed house, with a hipped roof, would not be dissimilar in scale and height to the neighbouring properties in the vicinity.

The footprint of the dwelling would measure L10m by W8m. This would leave a rear garden of over 64sqm and a frontage width of approximately 9m.

On the east side the gap to the shared side boundary with No.33 Daneshill would be 900m to accommodate a footpath. On the west side the side of the new house would run along the shared boundary with 64 Polefield Hall Road.

The proposed dwelling with a conventional design and in line with the residential pattern, would be considered to be in keeping with the character of the streetscape.

In terms of visual amenity, the proposal is acceptable and complies with UDP Policies and guidance.

**Residential Amenity** - There are habitable room windows on the rear elevation of 33 Daneshill facing the site, but these are 10m from the single storey element and 13m from the two storey element.

Whilst the new development would be more prominent when viewed from the rear of 33 Daneshill, it is not considered that the new build would have a particularly serious impact on the residential amenity and light levels.

With regard to overlooking from the new dwelling, there are no windows on the side facing over the rear garden of 33 Daneshill. The main habitable room windows on the rear elevation would face over the garden rather than the neighbours property. There would be no serious overlooking of the neighbours to either side or to the rear.

The houses directly across Polefield Hall Road to the front are about 27m away, well in excess of the 20m minimum, direct window to window, separation distance for two storey dwellings. In this relationship, impact on light is not a significant factor.

In terms of residential amenity, the revised proposal is now considered to be acceptable and complies with UDP Policies and guidance.

**Parking and Access** The dwelling would have a separate driveway and garage to accommodate up to three cars and the existing house would have a new access and parking area formed to the front. The proposed access and parking for both the existing and proposed dwellings would be satisfactory and would be comply with UDP Policy H2/2 The Layout of New Residential Development and SPD11 relating to parking and new development.

**Drainage** - The proposed hardstanding/parking areas would be constructed with permeable

surfacing to reduce surface water run-off. A suitable condition would require a sustainable drainage plan to be submitted and approved by the Local Planning Authority prior to commencement of development.

**Waste collection** - Bins would be stored at the rear and brought to the front on collection day, a practice that is commonplace in the neighbourhood. The proposal, in terms of refuse collection is considered satisfactory. The Traffic Section has no objections, subject to conditions. The proposed development complies with UDP Policy H2/2 The Layout of New Residential Development.

**Land Contamination** - Environmental Health have no objections to the proposals and, as is usual, a condition is proposed to require a Risk Assessment and prior to commencement of works pursuant to UDP Policy EN7 Pollution.

**Objectors** - The material planning issues raised by the objectors have been addressed in the above report.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

#### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered S16-338, Sheet 1, 2, 3, 4(revised), 5(revised) and 6 and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/samples of the (materials/bricks) to be used in the external elevations, boundary structures and hardsurfacing , together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.  
Reason. Details have not been provided and in the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.  
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
5. No development shall commence unless and until:-



- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. Details have not been provided and to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. Following the provisions of Condition 5 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. The proposed vehicular access arrangements indicated on approved plan Sheet 4, incorporating the construction of a new footway crossing and all associated highway remedial works, shall be implemented to an agreed specification before the dwellings hereby approved are first occupied.

Reason. In the interest of highway safety pursuant to UDP Policies H2/2 The Layout of New Residential Development and HT6/2 Pedestrian/Vehicular Conflict.

8. The turning and parking facilities indicated on approved plans, shall be provided prior to the dwelling hereby approved being occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.

Reason: To minimise the standing and turning movements of vehicles on the highway in the interests of road safety and pursuant to UDP Policy H2/2 The Layout of New Residential Development.

9. The proposed driveways and paved areas at the front of the property shall be constructed of permeable/porous materials as set out in the Dept of Communities and Local Government publication "Guidance on the Permeable Surfacing of Front Gardens".

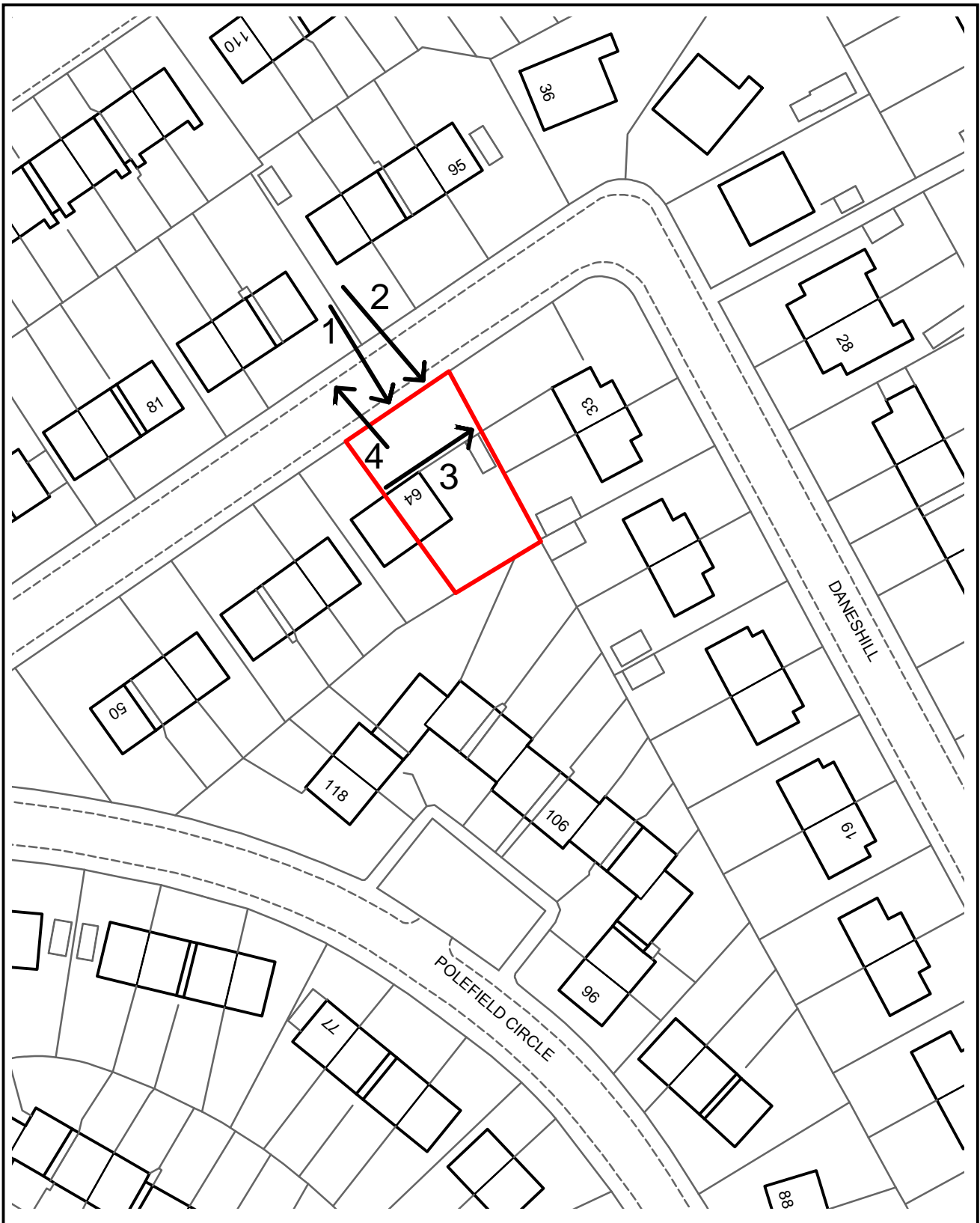
Reason. To secure the satisfactory development of the site pursuant to UDP Policy EN5/1 New Development and Flood Risk.

10. The development hereby approved shall not commence until a scheme to dispose of foul and surface water, including SUDS options, has been submitted to, and approved in writing by, the Local Planning Authority. The scheme shall be implemented as approved before the dwelling hereby approved is first occupied and thereafter maintained.

Reasons. Insufficient information has been submitted with regard to drainage and to prevent pollution of the water environment pursuant to UDP Policy EN7/3 Water Pollution.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 60216**

**ADDRESS: Side of 64 Polefield Hall Road  
Prestwich**

**Planning, Environmental and Regulatory Services**

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60216

Photo 1



Photo 2



60216

Photo 3



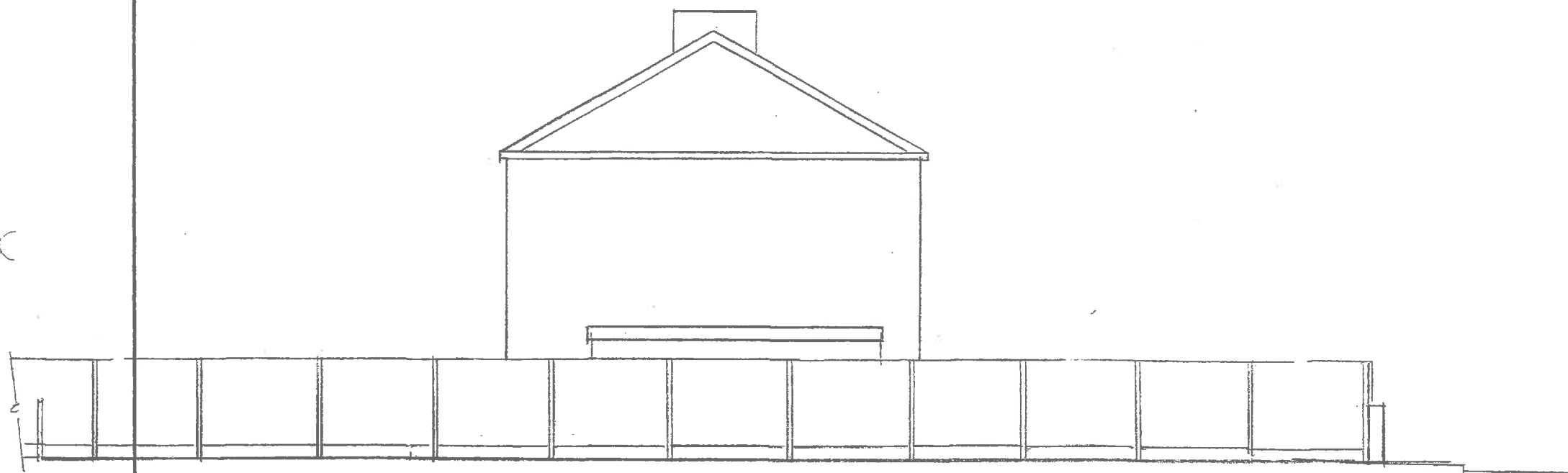
Photo 4







Existing Front Elevation



Existing Side Elevation

**Thompson Designs**  
Tel 0161 705 1458 Mob 07884 318634

Sheet 1  
Existing Elevations  
64 Polefield Hall Road  
Prestwich M25 2WW  
Scale 1 : 100 Date May 2016

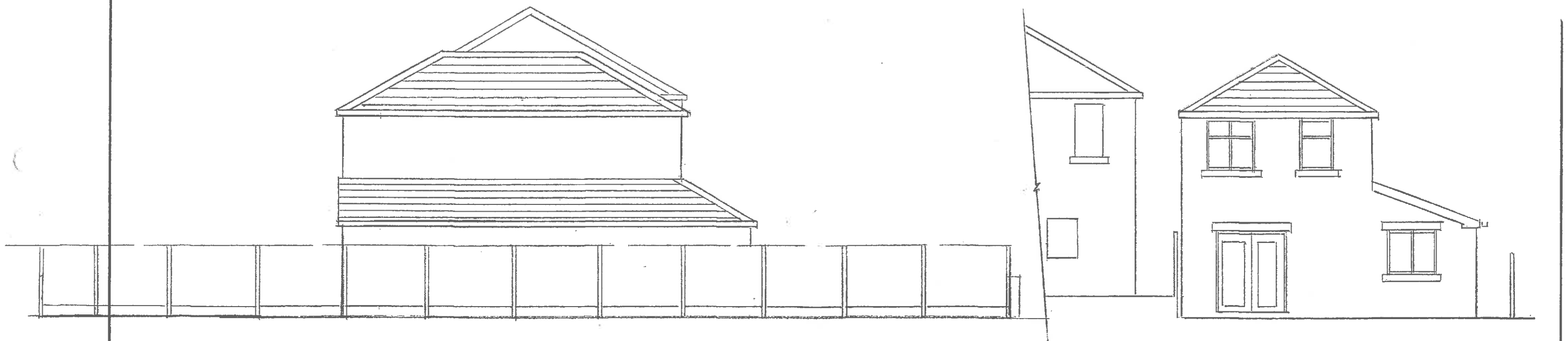


<b>Thompson Designs</b> Tel 0161 705 1458 Mob 07884 318634
Sheet 2 Existing Plans 64 Polefield Hall Road Prestwich M25 2WW Scale 1 : 100 Date May 2016



Proposed Front Elevation

Proposed Side Elevation

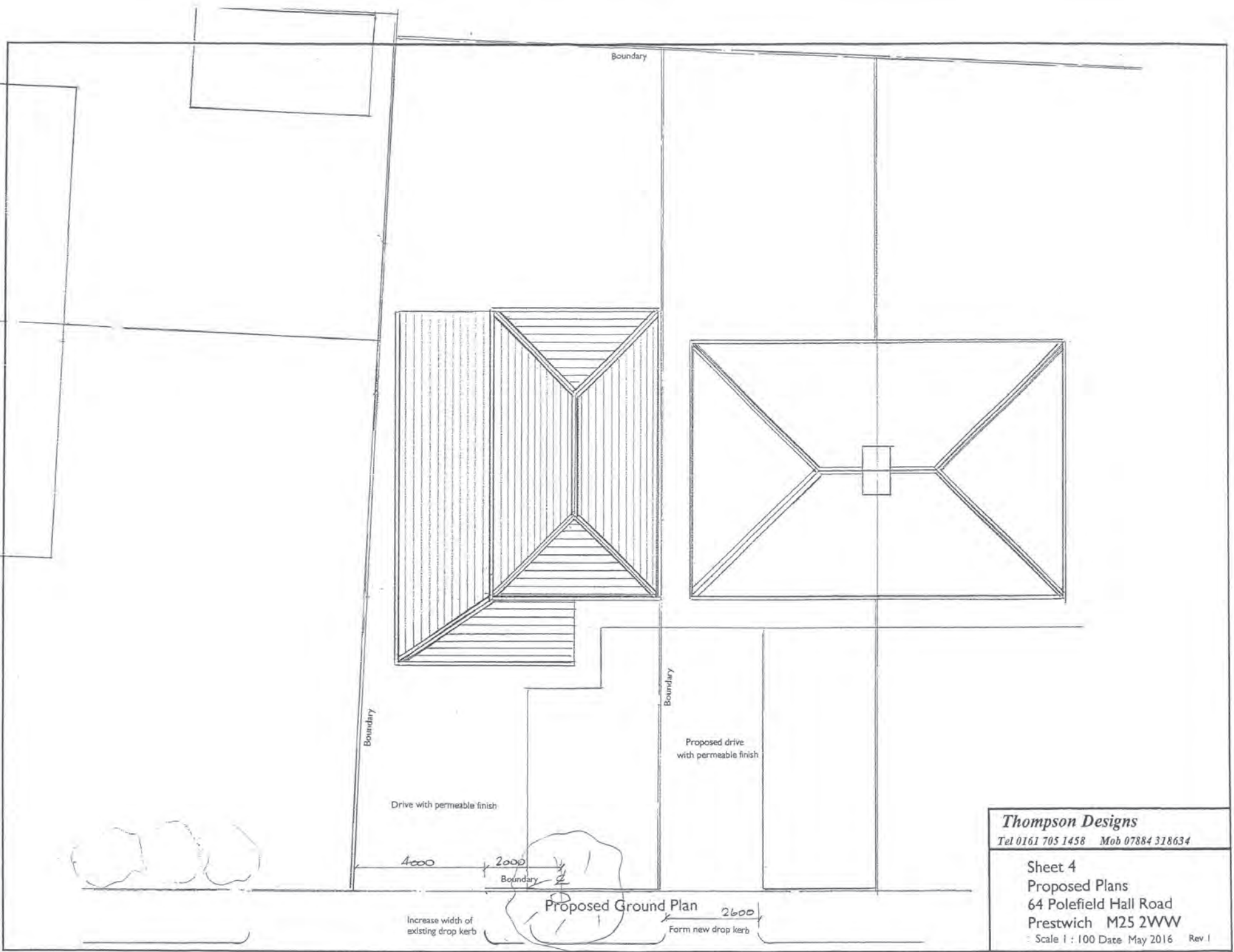


Proposed Side Elevation

**Thompson Designs**  
 Tel 0161 705 1458 Mob 07884 318634

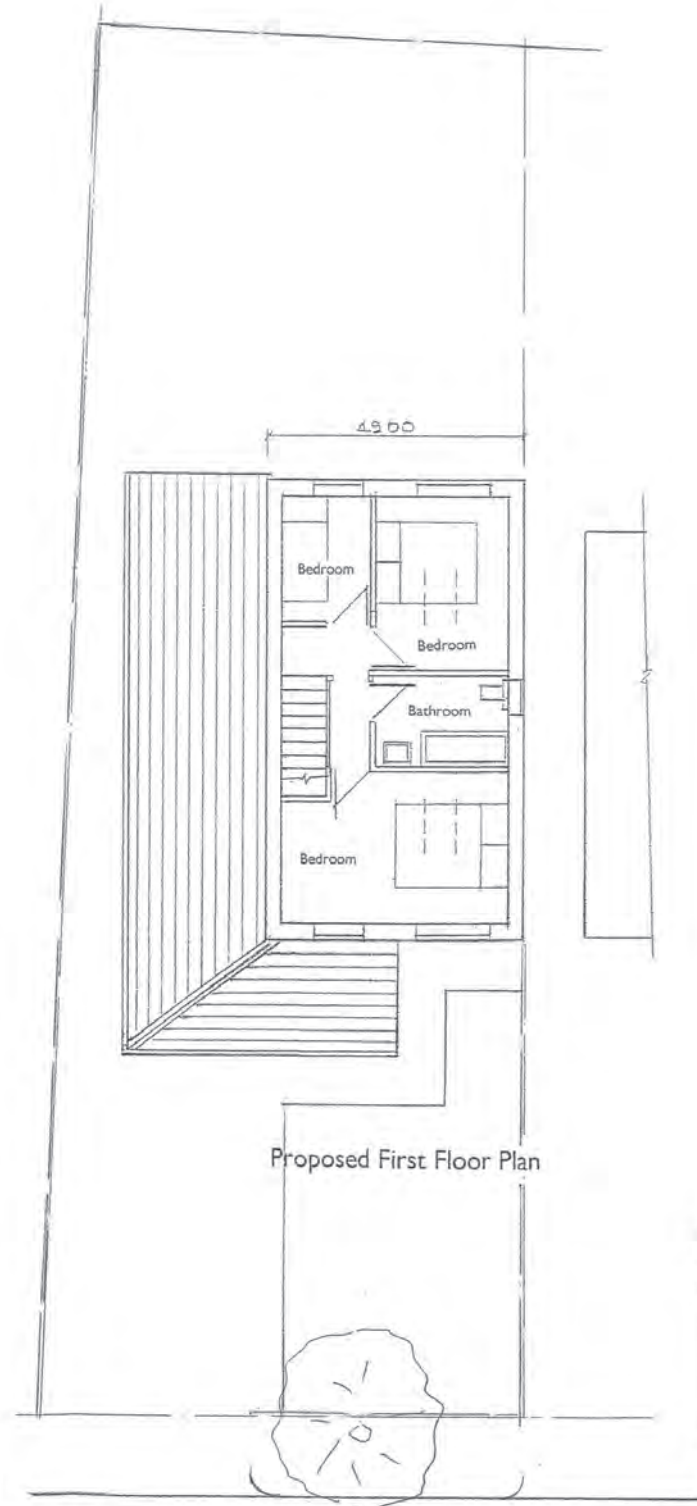
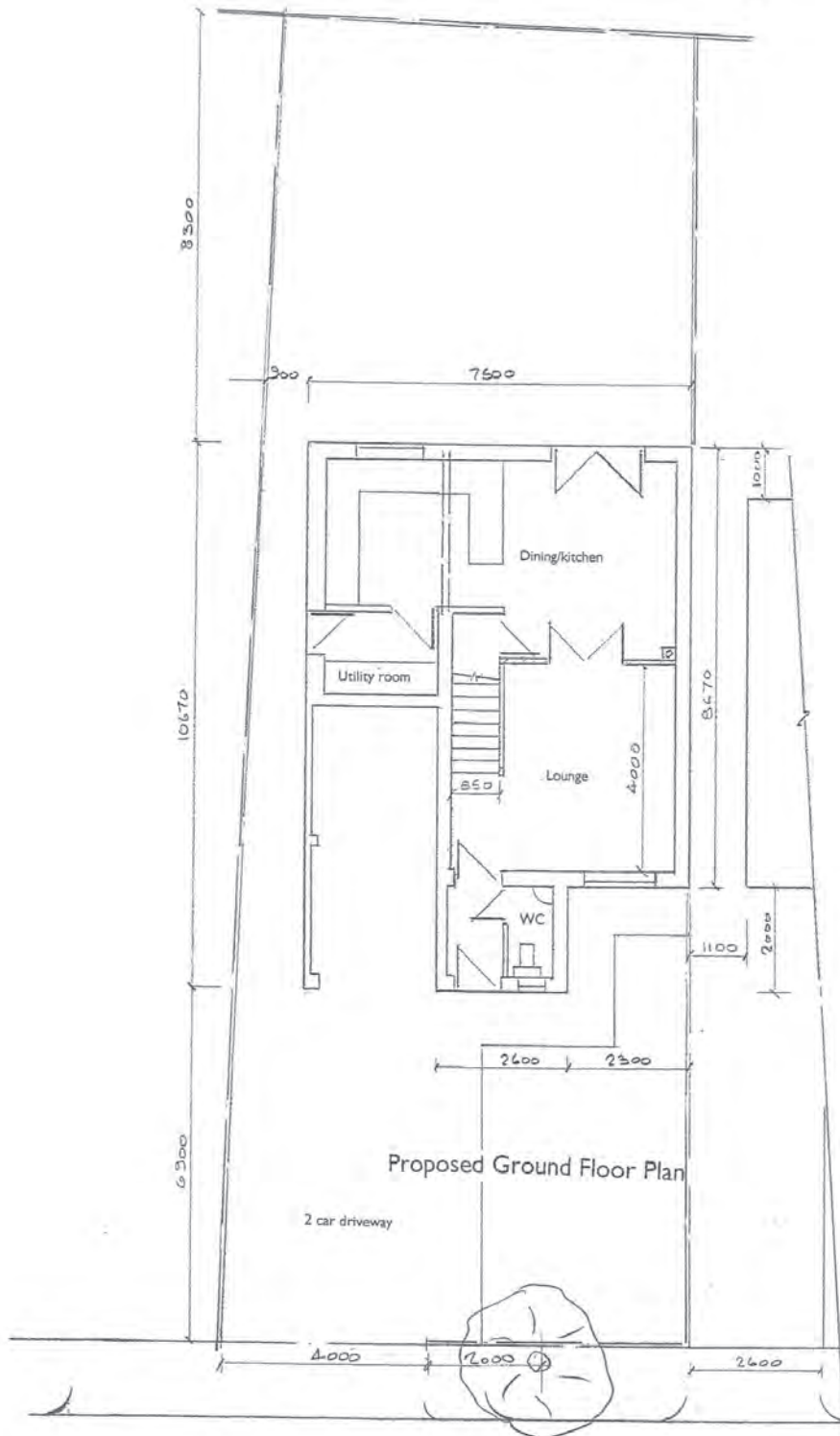
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Sheet 3  
 Proposed Elevations  
 64 Polefield Hall Road  
 Prestwich M25 2WW  
 Scale 1 : 100 Date May 2016 Rev 1



<p><b>Thompson Designs</b> Tel 0161 705 1458 Mob 07884 318634</p>
<p>Sheet 4 Proposed Plans 64 Polefield Hall Road Prestwich M25 2WW Scale 1 : 100 Date May 2016 Rev 1</p>

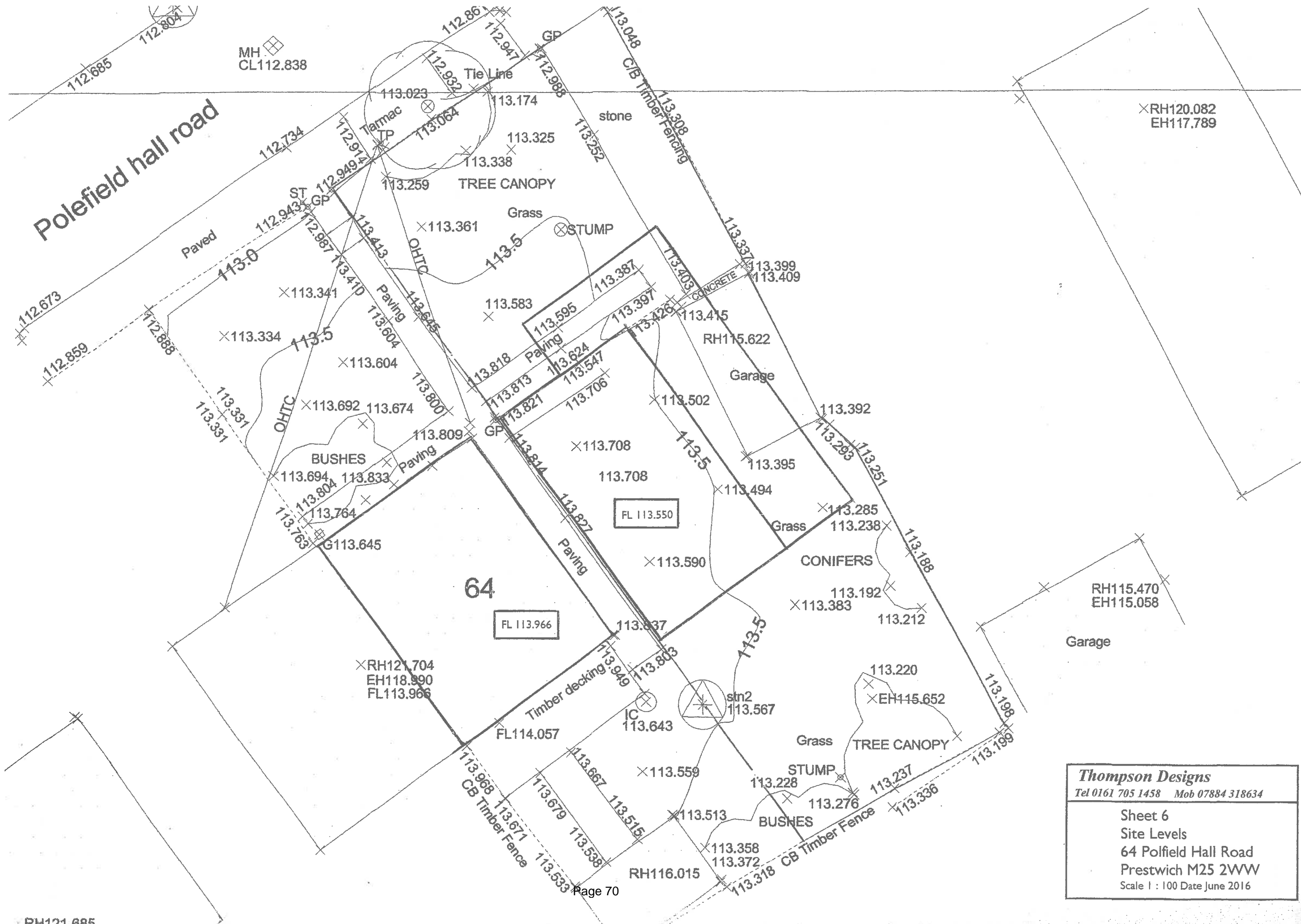




**Thompson Designs**  
Tel 0161 705 1458 Mob 07884 318634

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Sheet 5  
Proposed Plans  
64 Polefield Hall Road  
Prestwich M25 2WW  
Scale 1 : 100 Date May 2016 Rev 1



MH  
CL112.838

×RH120.082  
EH117.789

Polefield hall road

64

**Thompson Designs**  
Tel 0161 705 1458 Mob 07884 318634

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Sheet 6  
Site Levels  
64 Polefield Hall Road  
Prestwich M25 2WW  
Scale 1 : 100 Date June 2016

×RH121.685



**Ward:** Prestwich - St Mary's

Item 05

**Applicant:** Multi Tile Limited

**Location:** 558 Bury New Road, Prestwich, Manchester, M25 9ND

**Proposal:** Change of use from car repairs to tile centre (Sui generis) (storage, distribution and sale of hard wall and floor finishes and associated products), external alterations.

**Application Ref:** 60310/Full

**Target Date:** 30/08/2016

**Recommendation:** Approve with Conditions

### **Description**

The application relates to an existing vehicle service centre and repair garage (500sqm) on the east side of Bury New Road to the south of the roundabout over the M60. There are two storey semi-detached houses to the east (Highfield Road) and south (Willow Road). There is a kitchen showroom (Stuart Frazer) to the south, adjacent to the access into the site. Across Bury New Road to the west is a petrol filling station and a TGI Fridays restaurant. The access into the site would not change and this is from Willow Road.

The proposal involves converting the vehicle service centre into a Topps Tile Centre. The commercial operation involves a mix of storage and distribution and sales of tiles and related products to the trade and to a lesser degree, the general public. Given the mix of uses involved, the proposed development would be considered 'sui generis'. No external changes to the building are proposed.

There would be 16 parking spaces for staff and customers and the parking layout would be similar to the existing layout with a turning area introduced for service/delivery vehicles.

There would be 5 staff and opening hours would be:

0730 - 1800hrs Monday to Friday,

Saturday 0900 - 1800hrs,

Sunday 1000 - 1600hrs

Bank Holidays 0900 - 1700hrs.

### **Relevant Planning History**

None relevant.

### **Publicity**

The following neighbours were notified by letter dated 05/07/16 and site notice posted. 26 - 38 (even) and 31 Willow Road, 53 - 79 (odd) Highfield Road, 552 - 556 Bury New Road, 1 Glenmere Close.

One letter of objection has been received from the occupier of 30 Willow Road whose concerns are summarised below:

- increased noise from larger vehicles,
- increased traffic will add to congestion and parking problems,
- longer working hours to add to the problems.

The objector has been notified of the Planning Control Committee.

### **Consultations**

**Traffic Section** - No objection subject to conditions.



## **Unitary Development Plan and Policies**

EN1/2	Townscape and Built Design
EN1/7	Throughroutes and Gateways
S2	Control of New Retail and Non-Retail Development
S4/1	Retail Development Outside Town and District Centres
H3/1	Assessing Non-Conforming Uses
HT2/4	Car Parking and New Development
NPPF	National Planning Policy Framework
SPD14	Employment Land and Premises
SPD11	Parking Standards in Bury

## **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Policy** - The National Planning Policy Framework supports the new business development whilst retaining the main retail uses within the existing town centres.

The following Unitary Development Plan Policies are considered relevant.

EC2/2 - Employment Land and Premises Outside the Employment Generating Areas. The Council will seek the retention of existing employment land and premises outside the Employment Generating Areas except where it can be clearly demonstrated that an existing employment site or premises is no longer suited in land use terms to continued employment use. In such circumstances consideration will be given to alternative development providing it does not conflict with the character of the surrounding area and other policies and proposals of the Plan.

EC4 - Small and Growing Businesses. The Council will ensure that the needs of small and growing businesses are met by looking favourably on proposals for such developments, where these do not conflict with other policies and proposals of the Plan.

EC6/1- Assessing New Business, Industrial and Commercial Development. All new business, industrial and commercial development will be expected to be of a high standard of design and appearance and to take account of the surrounding environment, amenity and the safety of employees, visitors and adjacent occupiers. Factors to be considered when assessing proposals will include:

- a) scale, size, density, layout, height and materials;
- b) access and car parking provision;
- c) landscaping and boundary treatment;
- d) the effect on neighbouring properties;
- e) the safety of employees, visitors and adjacent occupiers.

S2 - Control of new retail and non-retail development. The Council will seek to protect and enhance the vitality and viability of the Borough's shopping centres by encouraging and controlling the type and location of retail and non-retail development to benefit the retailing activities of the centres.

HT2/4 - Car Parking and New Development. The Council will require all applications for development to make adequate provision for their car parking and servicing requirements in accordance with the Council's car parking standards.

EN1/2 - Townscape and Built Design. The Council will give favourable consideration to

proposals which do not have an unacceptable adverse effect on the particular character and townscape of the Borough's towns, villages and other settlements. Factors to be considered when assessing proposals will include:

- a) the external appearance and design of the proposal in relation to its height, scale, density and layout;
- b) the relationship of the proposal to the surrounding area;
- c) the choice and use of materials;
- d) access and other design features for the mobility impaired;
- e) the design and appearance of access, parking and service provision;
- f) landscaping, including the use of natural landscape features, and open space provision;
- g) the use of lighting.

**Impact on Town Centre** - The proposed development involves the re-use of the building as a trade counter (*sui generis*). This primarily involves storage with an ancillary display and sales counter. As this is not classed as a primary retail use (A1), the proposal would not be subject to the 'town centres first' approach. Therefore the proposed development would not have a seriously adverse impact on the vitality and viability of Prestwich Town Centre and would be in accordance with UDP Policies S1, S1/2, S2 and TC1 relating to shopping and town centres.

**Visual Amenity** - There are no external changes to the building proposed, other than signage, which are subject to separate planning controls. As such there would be no detrimental impact on the streetscape. The proposed development would comply with UDP Policy EN1/2 Townscape and Built Design.

**Residential amenity** - With houses to the south and east, the residential amenity of neighbours is an important factor in the assessment of any proposal.

Given the nature of operations (storage, display and modest ancillary direct sales) at the proposed tile centre, with relatively few staff and limited public visiting and daytime opening hours. The proposed development would have no greater impact than the existing vehicle service centre. Therefore, subject to conditional control of the opening hours, the proposed development would not have a significantly adverse impact on the amenity of the neighbouring residents.

**Access and Parking** - The access from Willow Road would remain as existing and retains the appropriate visibility at the junction.

The proposal essentially retains the existing parking arrangement with 16 parking spaces although there would be space for 4 more without interfering with the layout. With spaces for large vans/ delivery vehicles and a suitable turning area, there are no serious issues with regard to parking and access. The proposal complies with UDP Policies HT2/4, EC4 and EC6/1 relating to traffic and parking and as such the Traffic Section has no objection to the proposal.

**Objections** - The issues raised by the objector have been addressed in the above report.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

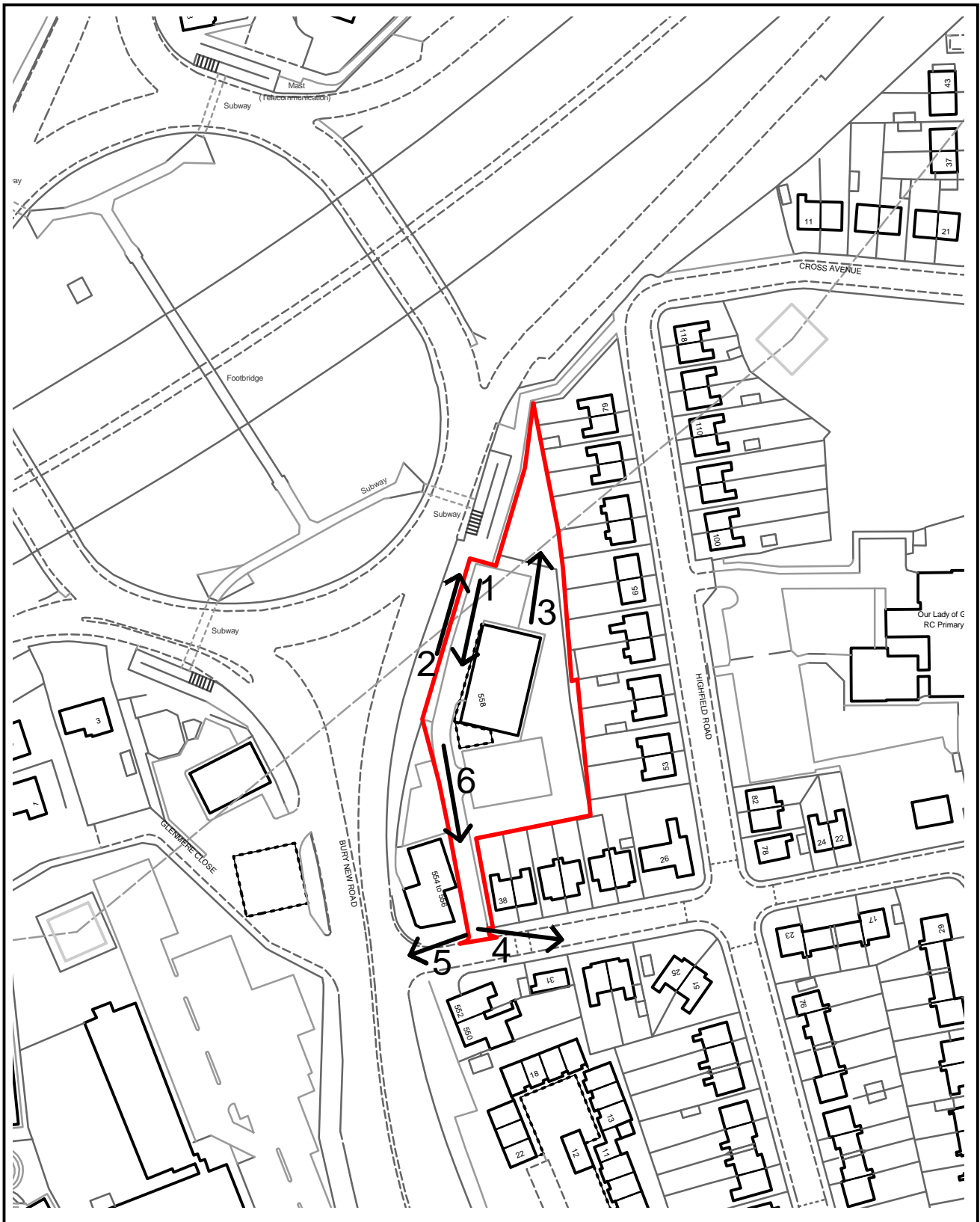
**Recommendation:** Approve with Conditions

## Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered SLP-12116, 1994-001, 002 and 003 and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The use hereby permitted shall not be open to customers outside the following times:  
Monday to Saturday 0730 - 1800hrs  
Sundays/Bank Holidays 0900 - 1700hrs  
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to UDP Policies EN7/2 Noise Pollution and EC4 Small and Growing Businesses.
4. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the extension hereby approved being brought into use.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
5. Deliveries to and from the premises shall not be permitted outside the following times:  
Monday to Saturday 0730 - 1800hrs  
Sundays/Bank Holidays 0900 - 1700hrs  
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to UDP Policies EN7/2 Noise Pollution and EC4 Small and Growing Businesses.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 60310**

**ADDRESS: 558 Bury New Road  
Prestwich**



**Planning, Environmental and Regulatory Services**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**



60310

Photo 1



Photo 2



60310

Photo 3



Photo 4



60310

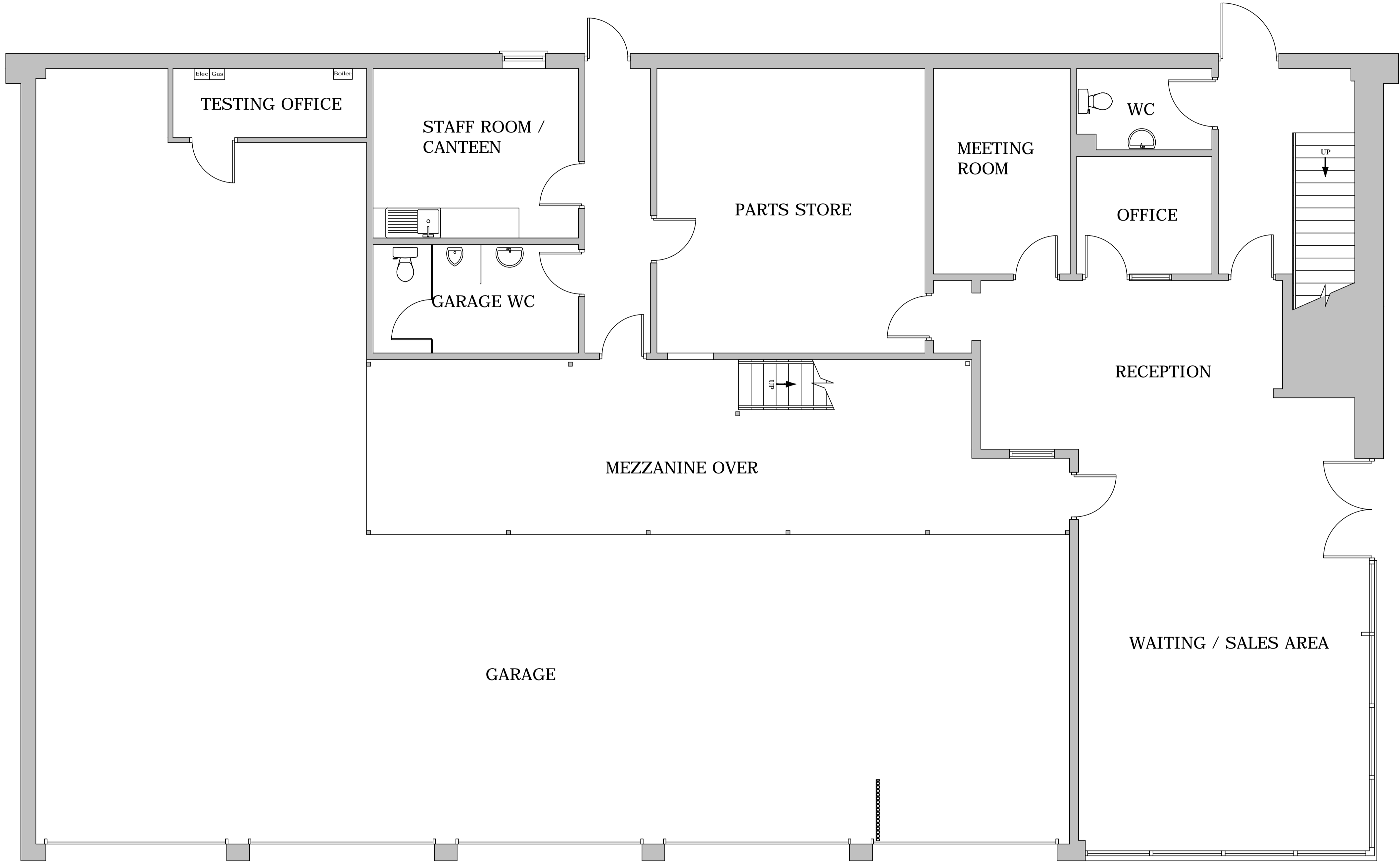
Photo 5



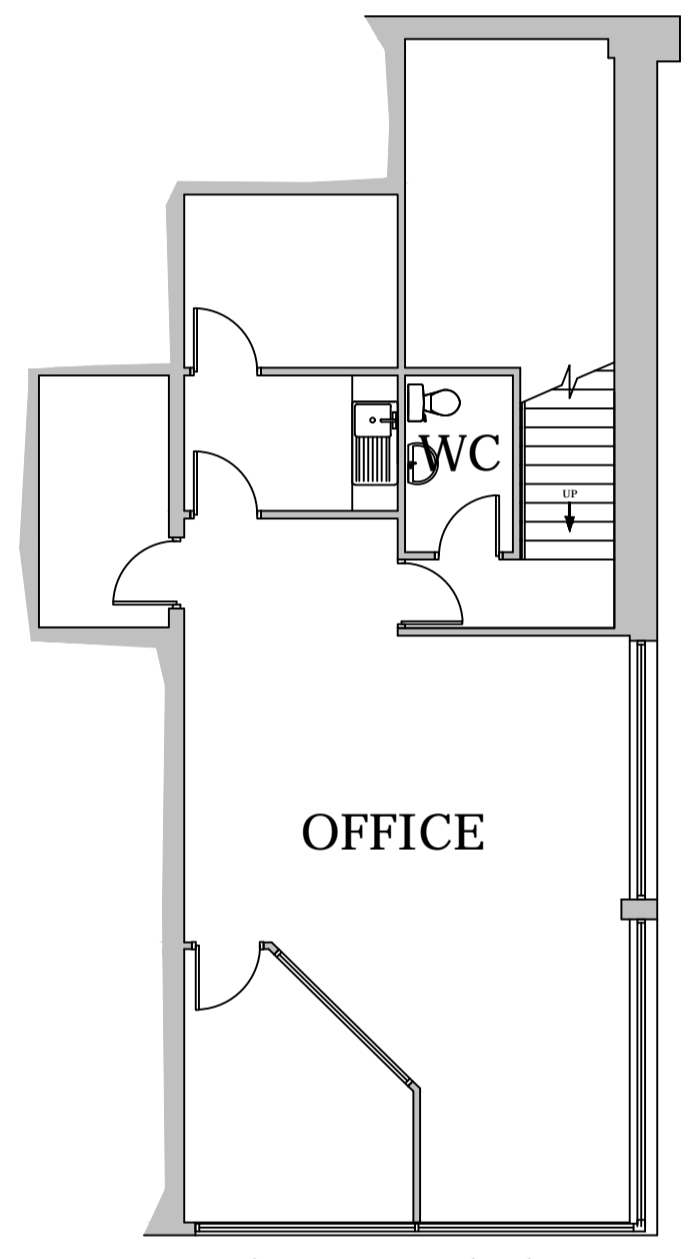
Photo 6



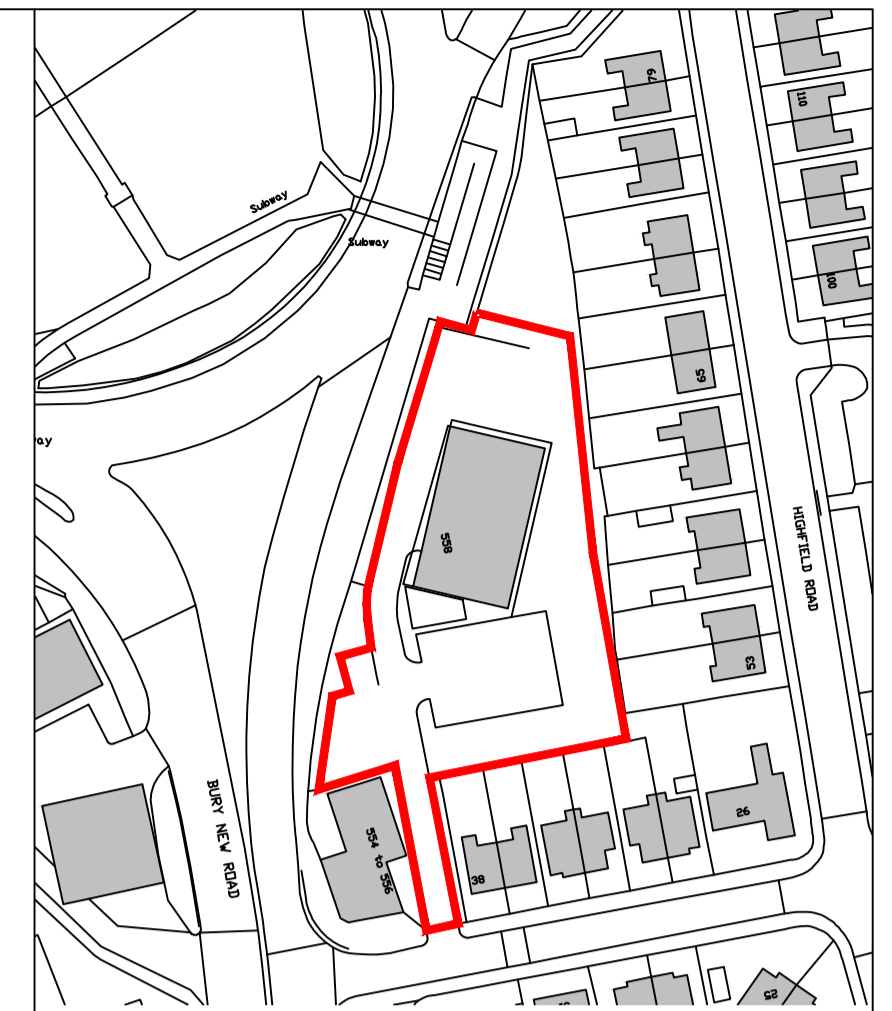




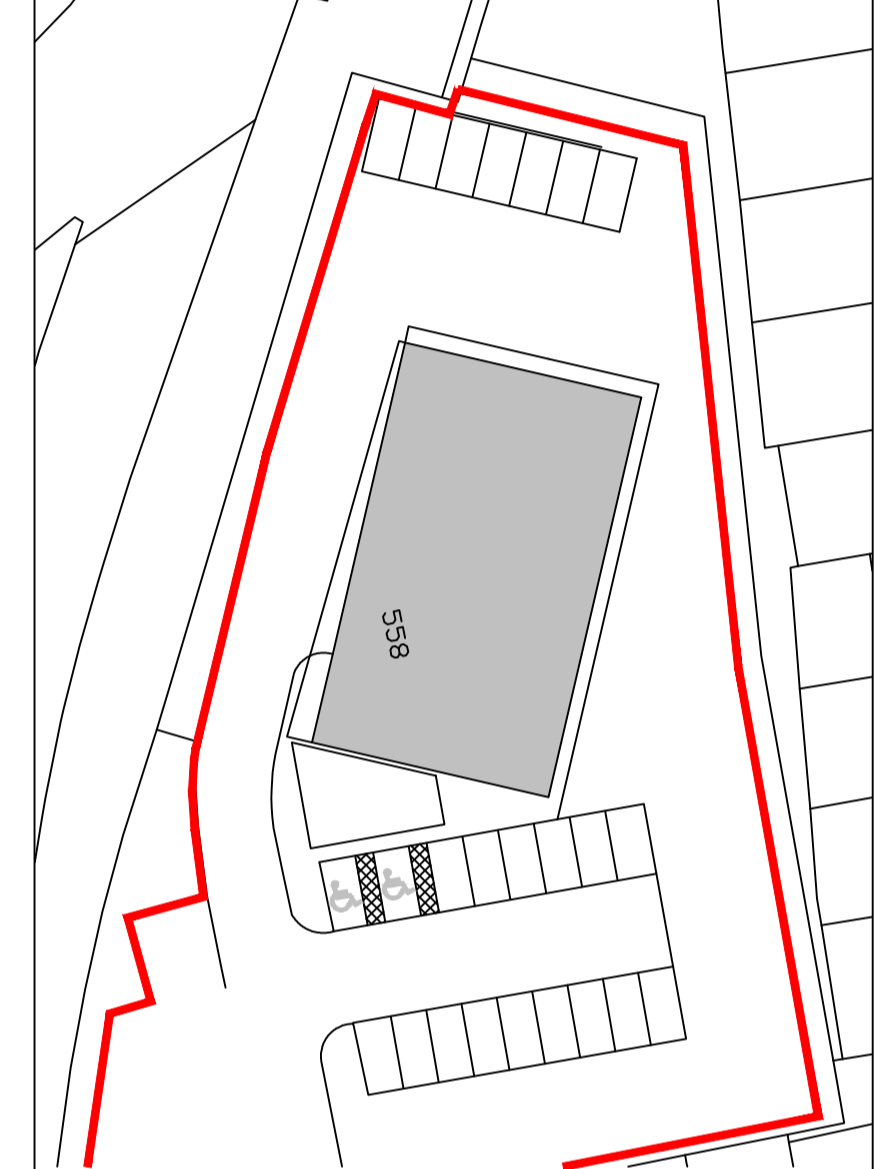
Ground Floor as Existing (1:50)



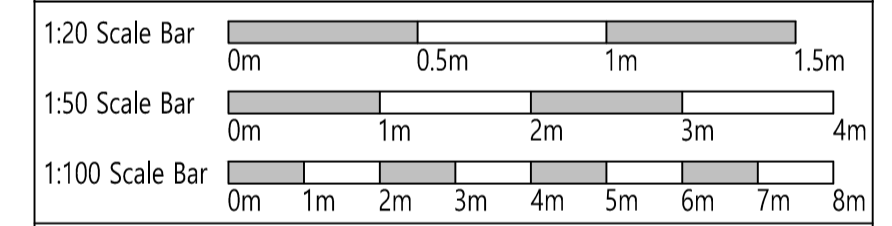
Mezzanine as Existing (1:100)



Location Plan (1:1250)



Block Plan (1:500)



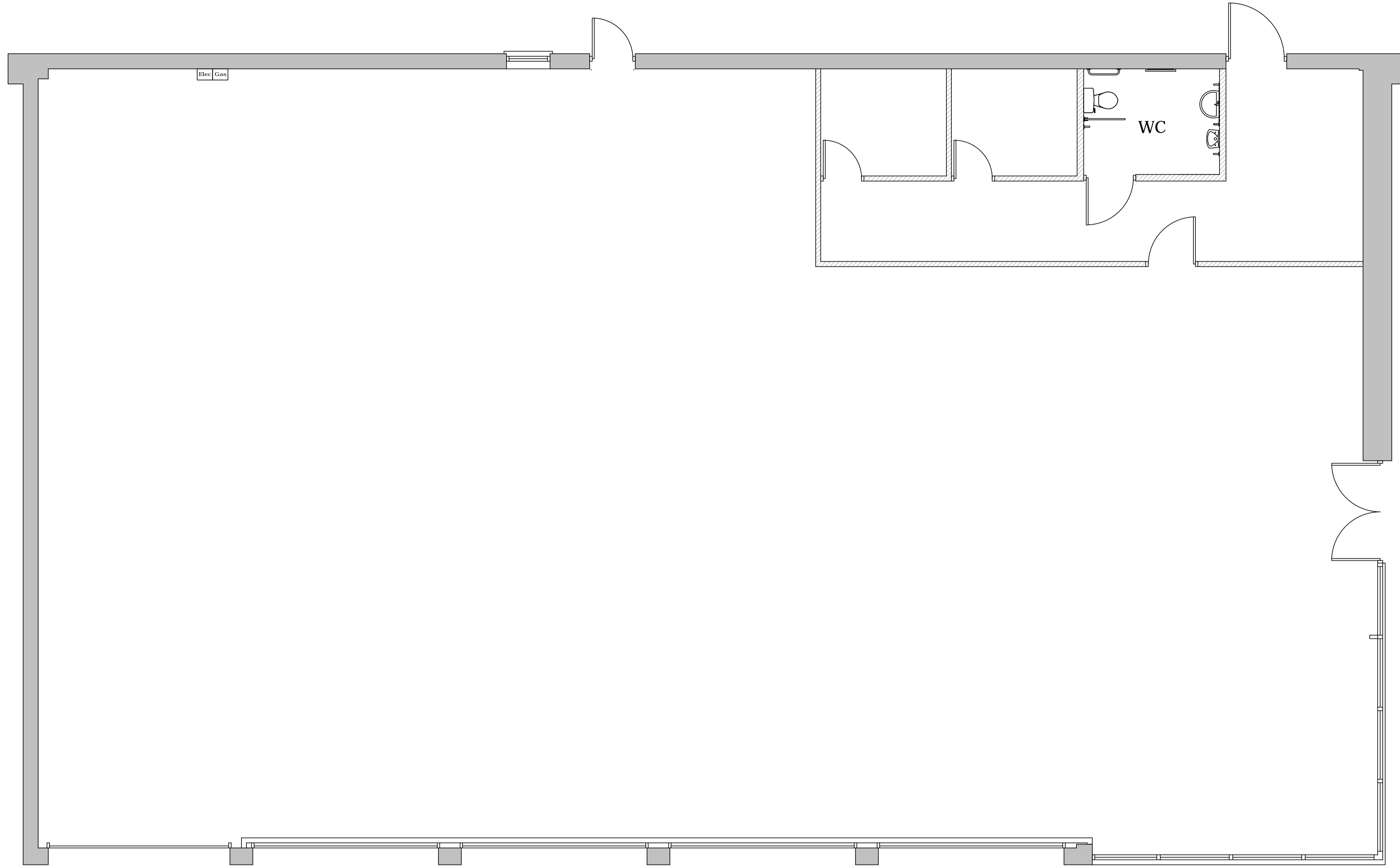
B	Parking bays added to drawing	05/07/2016
A	Initial Issue	26/06/2016

## Topps Tiles

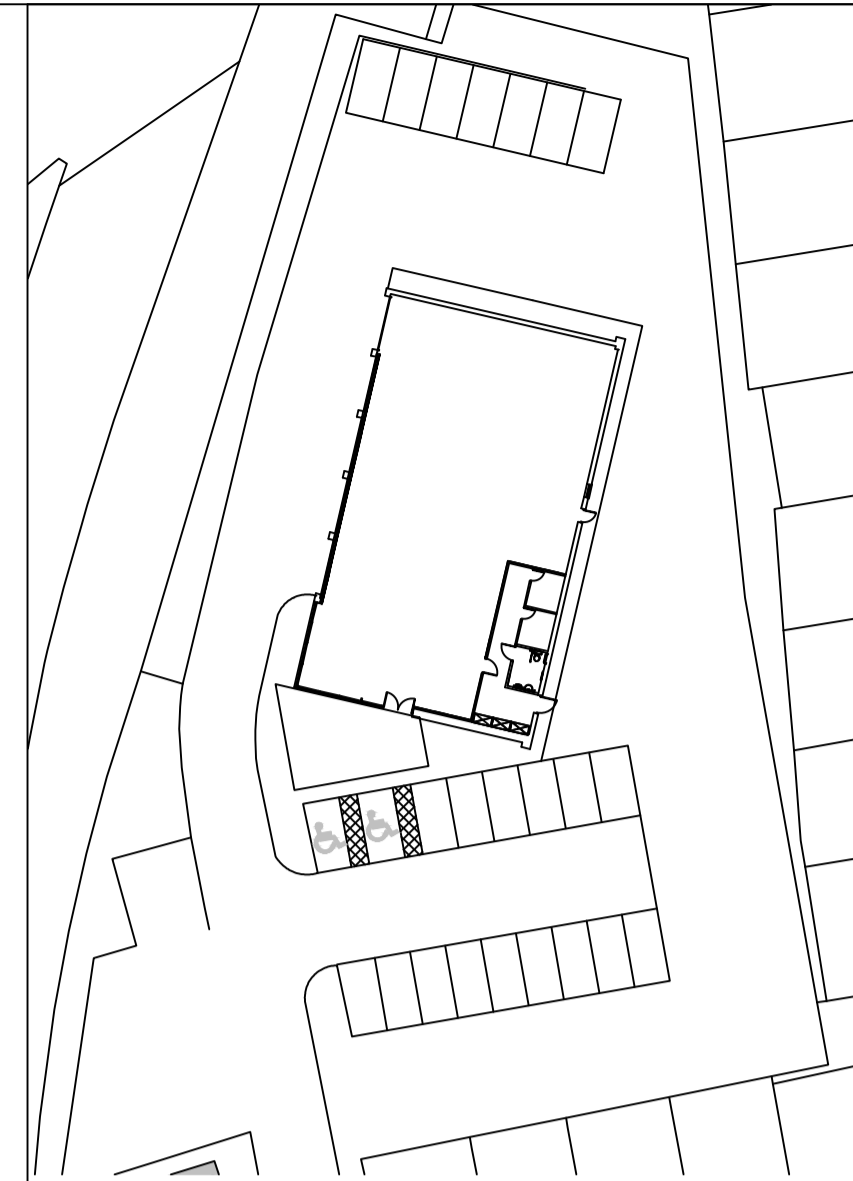
DMU Designs Limited  
Architectural Services  
01133 280930  
mail@dmudesigns.co.uk  
www.dmudesigns.co.uk

<b>PROJECT :</b> Proposed new Topps Tiles branch	
<b>CLIENT :</b> Topps Tiles, Thorpe Way, Grove Park, Leicester, LE19 1SU	
<b>PROPERTY :</b> Former 'Pentagon Vauxhall', 558 Bury New Road, Prestwich, Manchester, M25 3DB	
<b>DRAWING :</b> 1994-001	<b>DATE :</b> June 2016
<b>DRAWING TITLE :</b> Existing Details	<b>PAPER :</b> A1
	<b>REV :</b> B

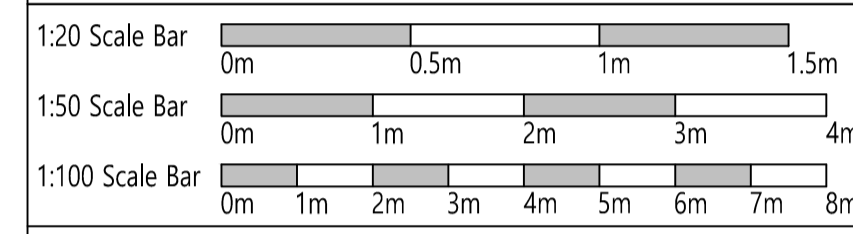
Do not scale from this drawing, any discrepancies to be reported immediately.  
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Registered number: 718997



Ground Floor as Proposed (1:50)



Block Plan (1:500)



B	Parking bays added to drawing	05/07/2016
A	Initial Issue	26/06/2016

# Topps Tiles



DMU Designs Limited  
 Architectural Services  
 01133 280930  
 mail@dmudesigns.co.uk  
 www.dmudesigns.co.uk

**PROJECT :**  
 Proposed new Topps Tiles branch

**CLIENT :**  
 Topps Tiles, Thorpe Way, Grove Park, Leicester, LE19 1SU

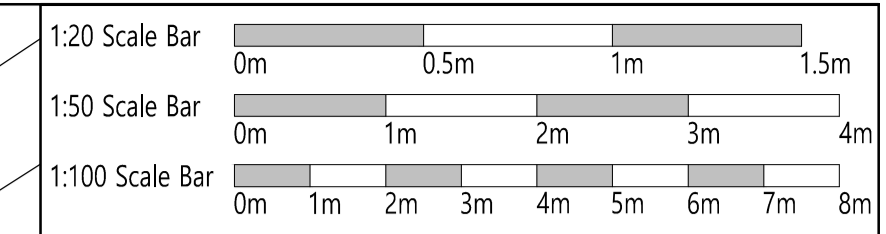
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 Prestwich, Manchester, M25 3DB

**DRAWING :** 1994-002      **DATE :** June 2016

**DRAWING TITLE :** Proposed Details      **PAPER :** A1  
**REV :** B

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A Initial Issue 11/08/2016

# Topps Tiles



DMU Designs Limited  
 Architectural Services  
 01133 280930  
 mail@dmudesigns.co.uk  
 www.dmudesigns.co.uk

**PROJECT :**  
 Proposed new Topps Tiles branch

**CLIENT :**  
 Topps Tiles, Thorpe Way, Grove Park, Leicester, LE19 1SU

**PROPERTY :**  
 Former 'Pentagon Vauxhall', 558 Bury New Road,  
 Prestwich, Manchester, M25 3DB

**DRAWING :** 1994-003 **DATE :** June 2016

**DRAWING TITLE :** Proposed Details **PAPER :** A1  
**REV :** A

Do not scale from this drawing, any discrepancies to be reported immediately.  
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 Registered number: 718997

<b>REPORT FOR DECISION</b>
----------------------------

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>30 August 2016</b>
<b>SUBJECT:</b>	<b>DELEGATED DECISIONS</b>
<b>REPORT FROM:</b>	<b>HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	The report lists: Recent delegated planning decisions since the last PCC
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to the note the report and appendices
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework?      Yes
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	No
<b>Considered by Monitoring Officer:</b>	N/A
<b>Wards Affected:</b>	All listed
<b>Scrutiny Interest:</b>	N/A

**TRACKING/PROCESS****DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

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**1.0 BACKGROUND**

This is a monthly report to the Planning Control Committee of the delegated planning decisions made by the officers of the Council.

**2.0 CONCLUSION**

That the item be noted.

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**List of Background Papers:-None**

**Contact Details:-**

David Marno, Head of Development Management  
Planning Services, Department for Resources and Regulation  
3 Knowsley Place  
Bury BL9 0EJ

**Tel: 0161 253 5291**

**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**

# Planning applications decided using Delegated Powers

Between 18/07/2016 and 21/08/2016



Ward: **Bury East**

---

**Application No.:** 60061    **App. Type:** FUL    18/08/2016    Approve with Conditions  
**Location:** 18 Parsons Lane, Bury, BL9 0JZ  
**Proposal:** Installation of roller shutter door to side access

---

**Application No.:** 60062    **App. Type:** LBC    18/08/2016    Approve with Conditions  
**Location:** 18 Parsons Lane, Bury, BL9 0JZ  
**Proposal:** Listed building consent for installation of roller shutter door to side access

---

**Application No.:** 60081    **App. Type:** FUL    26/07/2016    Approve with Conditions  
**Location:** Bolton Street Station, Bolton Street, Bury, BL9 0EY  
**Proposal:** Installation of roller shutter to front of station shop

---

**Application No.:** 60220    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 15 Gorse Bank, Bury, BL9 7NN  
**Proposal:** Raise roof ridge height by 0.7 metres with loft conversion

---

**Application No.:** 60221    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** Unit 2, Pimhole Business Park, Pimhole Road, Bury, BL9 7ET  
**Proposal:** Erection of steel framed building

---

**Application No.:** 60293    **App. Type:** LDCP    01/08/2016    Lawful Development  
**Location:** Woodgate Hill Water Treatment Work, Sixth Avenue, Bury, BL9 7RP  
**Proposal:** Certificate of Lawful Development for a proposed ballasted solar PV array on existing covered reservoir, associated inverter unit and 2.40 metre high security fencing.

---

**Application No.:** 60375    **App. Type:** LDCP    27/07/2016    Lawful Development  
**Location:** 3 Bridgefield Mews, Bridgefield Drive, Bury, BL9 7PE  
**Proposal:** Certificate of Lawful Development for the proposed use of the existing dwellinghouse, known as 3 Bridgefield Drive, Bury for the residential occupation (Class C3(b) ) of no more than six persons living together as a single household.

---

**Application No.:** 60433    **App. Type:** CON    12/08/2016    Raise No Objection  
**Location:** South Heywood, Rochdale  
**Proposal:** Article 18 consultation from Rochdale Council (ref. 16/00898/SCO) for scoping opinions in respect of proposed link road and mixed use development

Ward: **Bury East - Moorside**



---

**Application No.:** 60072    **App. Type:** FUL    22/07/2016    Approve with Conditions  
**Location:** Cartime, Bell Lane, Bury, BL9 6HH  
**Proposal:** Single storey extension linking the existing showroom and workshop; internal refurbishment and associated site works

---

**Application No.:** 60217    **App. Type:** FUL    04/08/2016    Approve with Conditions  
**Location:** 215 Walmersley Road, Bury, BL9 5DF  
**Proposal:** Conversion of existing dwelling into 3 no. flats with creation of parking area with roller shutter at rear and boundary wall at side

---

**Application No.:** 60219    **App. Type:** FUL    08/08/2016    Approve with Conditions  
**Location:** 25 Kingfisher Drive, Bury, BL9 6JF  
**Proposal:** Single storey extension at rear and new external doorway to side passageway; Ramp to front

---

**Application No.:** 60280    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 1 The Avenue, Bury, BL9 5DQ  
**Proposal:** Installation of amateur radio aerial system consisting of 12m telescopic mast and top mounted hex beam aerial

---

**Application No.:** 60306    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 38 Southfield Avenue, Bury, BL9 5HS  
**Proposal:** Single storey workshop/store at rear

---

**Application No.:** 60312    **App. Type:** FUL    29/07/2016    Approve with Conditions  
**Location:** 27 Spinney Drive, Bury, BL9 5HF  
**Proposal:** Part single storey / part two storey extension at rear

---

**Application No.:** 60337    **App. Type:** FUL    18/08/2016    Refused  
**Location:** Land at junction of Bridge Street and Kay Street, Bury, BL9 6HH  
**Proposal:** Erection of industrial unit (Classes B1, B2 & B8)

---

**Ward: Bury East - Redvales**

---

**Application No.:** 60283    **App. Type:** FUL    26/07/2016    Approve with Conditions  
**Location:** 27 Shortlands Avenue, Bury, BL9 9AE  
**Proposal:** Two storey extension at side

---

**Application No.:** 60299    **App. Type:** GPDE    27/07/2016    Prior Approval Not Required - Extension  
**Location:** 90 Cornwall Drive, Bury, BL9 9EX  
**Proposal:** Prior notification for proposed single storey rear extension

---

**Ward: Bury West - Church**

---

**Application No.:** 60244    **App. Type:** FUL    02/08/2016    Approve with Conditions  
**Location:** 516 Bolton Road, Bury, BL8 2DU  
**Proposal:** Widening of existing vehicular access and creation of new vehicular access with new front boundary wall and gates

---

**Application No.:** 60339    **App. Type:** LDCP    28/07/2016    Lawful Development  
**Location:** 53 Wadebridge Drive, Bury, BL8 2NN  
**Proposal:** Certificate of lawfulness for proposed single storey rear extension

---

**Application No.:** 60344    **App. Type:** FUL    16/08/2016    Approve with Conditions  
**Location:** Unit 2 Victoria Retail Park, Victoria Street, Bury, BL8 1LE  
**Proposal:** Variation of condition no. 2 (approved plans) of planning permission 59488 to facilitate alterations to internal layout and elevations

---

**Application No.:** 60374    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 10 Pleasington Drive, Bury, BL8 2ET  
**Proposal:** Single storey extension at front; conversion of existing flat roof to pitched roof and external alterations including new first floor window to side elevation

**Ward:** **Bury West - Elton**

---

**Application No.:** 60236    **App. Type:** FUL    04/08/2016    Approve with Conditions  
**Location:** Viridor House, 3 Bolholt Terrace, Bury, BL8 1PP  
**Proposal:** Loft conversion to create office space; Single storey extension at rear with new boundary fence

---

**Application No.:** 60238    **App. Type:** FUL    22/07/2016    Approve with Conditions  
**Location:** 3 Bolholt Villas, Walshaw Road, Bury, BL8 1PR  
**Proposal:** Removal of existing outbuilding and erection of new annex containing garage, gymnasium and home office

---

**Application No.:** 60277    **App. Type:** FUL    08/08/2016    Approve with Conditions  
**Location:** 39 Bankhouse Road, Bury, BL8 1DS  
**Proposal:** Two storey side extension, single storey rear extension and render to external walls

---

**Application No.:** 60279    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 2 Gosforth Close, Bury, BL8 1EA  
**Proposal:** Single storey extension at front

---

**Application No.:** 60281    **App. Type:** FUL    12/08/2016    Approve with Conditions  
**Location:** 11 Cleadon Drive South, Bury, BL8 1EJ  
**Proposal:** Two storey extension at side/rear; Front porch; Single storey extensions at rear; Alterations to boundary wall/gates and widening of existing driveway with new vehicular access

---

**Application No.:** 60292    **App. Type:** FUL    08/08/2016    Approve with Conditions  
**Location:** 14 Westcombe Drive, Bury, BL8 1DN  
**Proposal:** Two storey extension to side and rear

---

**Application No.:** 60303    **App. Type:** FUL    11/08/2016    Approve with Conditions

**Location:** 23 Burrs Close, Bury, BL8 1JT

**Proposal:** Two storey rear extension

---

**Ward:** **North Manor**

---

**Application No.:** 60176    **App. Type:** FUL    21/07/2016    Approve with Conditions

**Location:** 18 North Avenue, Tottington, Bury, BL8 4DU

**Proposal:** Demolition of existing garage & carport and erection of single storey extension at side / rear

---

**Application No.:** 60269    **App. Type:** FUL    04/08/2016    Refused

**Location:** 11 Bolton Road, Tottington, Bury, BL8 4HZ

**Proposal:** New front boundary wall

---

**Application No.:** 60278    **App. Type:** FUL    26/07/2016    Approve with Conditions

**Location:** 38 Longsight Road, Ramsbottom, Bury, BLO 9SN

**Proposal:** Single storey extension at rear

---

**Application No.:** 60285    **App. Type:** FUL    08/08/2016    Approve with Conditions

**Location:** 16 Southfield Road, Ramsbottom, Bury, BLO 9ST

**Proposal:** Two storey extension at rear

---

**Application No.:** 60313    **App. Type:** FUL    11/08/2016    Approve with Conditions

**Location:** 378 Holcombe Road, Tottington, Bury, BL8 4DT

**Proposal:** Conversion of flat roof to pitched roof of existing side / rear extension

---

**Application No.:** 60315    **App. Type:** FUL    12/08/2016    Approve with Conditions

**Location:** 17 Howe Drive, Ramsbottom, Bury, BLO 9UJ

**Proposal:** Single storey extension at side

---

**Application No.:** 60325    **App. Type:** FUL    11/08/2016    Approve with Conditions

**Location:** 14 Ashborne Drive, Summerseat, Ramsbottom, Bury, BL9 5PD

**Proposal:** Variation of condition no. 2 of approved planning application 59555 to amend approved drawing R-0287-03B with R-0287-03C roof configuration on rear elevation

---

**Ward:** **Prestwich - Holyrood**

---

**Application No.:** 60240    **App. Type:** FUL    22/07/2016    Refused

**Location:** 2 Lime Grove, Prestwich, Manchester, M25 3DX

**Proposal:** Two/single storey extension at rear

---

---

**Application No.:** 60245     **App. Type:** FUL     11/08/2016     Approve with Conditions  
**Location:** Cambashaw Cottage, 130C Simister Lane, Prestwich, Manchester, M24 4SJ  
**Proposal:** Single at storey extension rear, two storey extension at front and alterations to elevations

---

**Application No.:** 60270     **App. Type:** FUL     11/08/2016     Refused  
**Location:** 11 Heys Road, Prestwich, Manchester, M25 1JW  
**Proposal:** Two storey rear extension

---

**Application No.:** 60286     **App. Type:** FUL     19/08/2016     Approve with Conditions  
**Location:** Nutt Farm, Nutt Lane, Prestwich, Manchester, M25 2SJ  
**Proposal:** Replacement dwelling applicable to House Type 1 only - five bedroom two storey detached dwelling as part of planning approval 58405

---

**Application No.:** 60291     **App. Type:** FUL     26/07/2016     Approve with Conditions  
**Location:** 6 Sandgate Road, Whitefield, Manchester, M45 6WG  
**Proposal:** First floor rear extension

---

**Application No.:** 60294     **App. Type:** FUL     26/07/2016     Approve with Conditions  
**Location:** 17 Maple Grove, Prestwich, Manchester, M25 3DQ  
**Proposal:** Extension and modification to existing storm porch

---

**Ward:** **Prestwich - Sedgley**

---

**Application No.:** 60032     **App. Type:** FUL     26/07/2016     Approve with Conditions  
**Location:** 22 East Meade, Prestwich, Manchester, M25 0JJ  
**Proposal:** Conversion of single dwelling into two apartments; Erection of single storey extension at rear & alterations to gable elevation

---

**Application No.:** 60098     **App. Type:** FUL     22/07/2016     Approve with Conditions  
**Location:** 18 Winchester Avenue, Prestwich, Manchester, M25 0LJ  
**Proposal:** Dormer extension at front

---

**Application No.:** 60134     **App. Type:** FUL     26/07/2016     Refused  
**Location:** 106 Park Road, Prestwich, Manchester, M25 0DY  
**Proposal:** Conversion of residential house to 6 no. apartments

---

**Application No.:** 60180     **App. Type:** LDCLB     19/08/2016     Refused  
**Location:** Flat 43, Charlton Court, Charlton Avenue, Prestwich, Manchester, M25 0BE  
**Proposal:** Certificate of lawfulness for proposed installation of external grab rail to listed building

---

**Application No.:** 60228     **App. Type:** FUL     26/07/2016     Approve with Conditions  
**Location:** 28 Craigwell Road, Prestwich, Manchester, M25 0FE  
**Proposal:** Two storey extension at side and rear

---

---

**Application No.:** 60246    **App. Type:** FUL    04/08/2016    Refused  
**Location:** 3 The Terrace, Prestwich, Manchester, M25 1FD  
**Proposal:** Building of retaining wall in rear garden and levelling out area approximately 3m behind the wall to provide flat garden area

---

**Application No.:** 60252    **App. Type:** FUL    04/08/2016    Approve with Conditions  
**Location:** 25 Egerton Street, Prestwich, Manchester, M25 1FQ  
**Proposal:** Single storey extension at rear

---

**Application No.:** 60271    **App. Type:** FUL    04/08/2016    Approve with Conditions  
**Location:** 11 Balmoral Grange, Prestwich, Manchester, M25 0GZ  
**Proposal:** Two storey extensions at side and rear and single storey rear extension

---

**Application No.:** 60274    **App. Type:** FUL    21/07/2016    Approve with Conditions  
**Location:** Sedgley Park Primary School, Bishops Road, Prestwich, Manchester, M25 0HT  
**Proposal:** Siting of 2 no. modular classrooms

---

**Application No.:** 60276    **App. Type:** FUL    29/07/2016    Approve with Conditions  
**Location:** 21 Albert Avenue, Prestwich, Manchester, M25 0LY  
**Proposal:** Loft conversion with dormers at front and rear

---

**Application No.:** 60336    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 46 Meade Hill Road, Prestwich, Manchester, M25 0DJ  
**Proposal:** Single storey extension at side and conservatory at rear

---

**Application No.:** 60363    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 3 West Meade, Prestwich, Manchester, M25 0JD  
**Proposal:** Two storey extensions at side and rear

---

**Ward: Prestwich - St Mary's**

---

**Application No.:** 60012    **App. Type:** OUT    04/08/2016    Approve with Conditions  
**Location:** Land at side of 122 Venwood Road and 16 River View Close, Prestwich, Manchester, M25 9TE  
**Proposal:** Outline application for residential development of 1 no. dwelling with all matters reserved

---

**Application No.:** 60034    **App. Type:** FUL    22/07/2016    Approve with Conditions  
**Location:** Land at side of 35 Rainsough Brow /Flashfields, Prestwich, Manchester, M25 9XW  
**Proposal:** Residential development - 5 no. dwellings

---

**Application No.:** 60092    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 403 Bury New Road, Prestwich, Manchester, M25 1AA  
**Proposal:** Change of use of the ground floor and basement from shop (Class A1) to restaurant/ancillary bar (Class A3) with 2 no. additional air conditioning at rear

---



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**Application No.:** 60207    **App. Type:** FUL    26/07/2016    Approve with Conditions  
**Location:** 8 Lynmouth Grove, Prestwich, Manchester, M25 9TH  
**Proposal:** Two storey extension at side/rear

---

**Application No.:** 60242    **App. Type:** FUL    28/07/2016    Approve  
**Location:** Aldi, Bury New Road, Prestwich, Manchester, M25 1AR  
**Proposal:** 1 No. automatic number plate recognition camera mounted on 5 metre high column

---

**Application No.:** 60243    **App. Type:** ADV    26/07/2016    Approve with Conditions  
**Location:** Aldi, Bury New Road, Prestwich, Manchester, M25 1AR  
**Proposal:** 8 No. non-illuminated pole mounted car park management signs

---

**Application No.:** 60302    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 1 Myrtle Bank, Prestwich, Manchester, M25 9XX  
**Proposal:** Raise height of roof by 1.150 metres with loft conversion and dormer at side; Single storey extension at front/side

---

**Application No.:** 60317    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 6 Butt Hill Avenue, Prestwich, Manchester, M25 9PN  
**Proposal:** Loft conversion with dormers to side and rear

---

**Application No.:** 60333    **App. Type:** FUL    12/08/2016    Approve with Conditions  
**Location:** 2 Barnhill Avenue, Prestwich, Manchester, M25 9WJ  
**Proposal:** Two storey/first floor extensions at front and alterations to entrance porch; Two/single storey extension at rear; Roof extension to attic with dormer at side

---

**Application No.:** 60351    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 21 Ruskin Road, Prestwich, Manchester, M25 9QN  
**Proposal:** First floor extension at rear

---

**Application No.:** 60357    **App. Type:** FUL    18/08/2016    Approve with Conditions  
**Location:** 61 Prestwich Hills, Prestwich, Manchester, M25 9PY  
**Proposal:** Variation of conditions 2 & 3 of planning permission 58313 to show the front and side elevations to be fully rendered and alterations to the size and position of windows and doors and additional windows to the south east side elevation

---

**Ward:** **Radcliffe - East**

---

**Application No.:** 60148    **App. Type:** FUL    26/07/2016    Approve with Conditions  
**Location:** 23 Blackburn Street, Radcliffe, Manchester, M26 1NN  
**Proposal:** Change of use of first and second floors from bank (Class A2) to nail training academy (Class D1)

---

**Application No.:** 60330    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 33 Riverside Road, Radcliffe, Manchester, M26 2PX  
**Proposal:** Single storey extension at side and rear

---

## Ward: Radcliffe - North

---

**Application No.:** 60149    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** 299a Ainsworth Road, Radcliffe, Manchester, M26 4HF  
**Proposal:** Change of use of ground floor from print shop (Class B1) to 1 no. flat including alteration to elevations, and the creation of a vehicular access from Station Road.

---

**Application No.:** 60185    **App. Type:** ADV    22/07/2016    Refused  
**Location:** 45 Church Street, Ainsworth, Bolton, BL2 5RA  
**Proposal:** 2 No. non-illuminated fascia signs and 1 no. externally illuminated projecting sign

---

**Application No.:** 60186    **App. Type:** FUL    25/07/2016    Split Decision  
**Location:** 45 Church Street, Ainsworth, Bolton, BL2 5RA  
**Proposal:** A: Repositioning of existing flues at rear with addition of 1 no. flue  
B: Changes to elevations

---

**Application No.:** 60229    **App. Type:** FUL    26/07/2016    Approve with Conditions  
**Location:** Wesley Methodist Primary School, Forth Road, Radcliffe, Manchester, M26 4PX  
**Proposal:** Single storey extension within courtyard to form PE store and alterations to existing storeroom to form classroom

---

**Application No.:** 60334    **App. Type:** FUL    12/08/2016    Refused  
**Location:** 31 Chiswick Drive, Radcliffe, Manchester, M26 3XB  
**Proposal:** Retention of raised decking area with open sided covered flat roof structure and raised boundary treatment including fencing

---

**Application No.:** 60355    **App. Type:** FUL    12/08/2016    Approve with Conditions  
**Location:** 16 Sunningdale Avenue, Radcliffe, Manchester, M26 3WJ  
**Proposal:** Single storey extension at rear and dormer at rear

---

## Ward: Radcliffe - West

---

**Application No.:** 60178    **App. Type:** FUL    11/08/2016    Approve with Conditions  
**Location:** Unit 1, Dale Industrial Estate, Dale Street, Radcliffe, Manchester, M26 9AD  
**Proposal:** Change of use from light industrial (Class B1) and general industrial (Class B2) to dog day care, training and grooming (Sui Generis)

---

**Application No.:** 60179    **App. Type:** ADV    08/08/2016    Approve with Conditions  
**Location:** Unit 1, Dale Industrial Estate, Dale Street, Radcliffe, Manchester, M26 9AD  
**Proposal:** 2 no. non-illuminated fascia signs

---

**Application No.:** 60198    **App. Type:** FUL    22/07/2016    Approve with Conditions  
**Location:** 28 Clough Meadow Road, Radcliffe, Manchester, M26 3RY  
**Proposal:** Single storey extension to existing garage

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---

**Application No.:** 60248    **App. Type:** FUL    04/08/2016    Approve with Conditions  
**Location:** 6 School Street & 99 Blackburn Street, Radcliffe, Manchester, M26 0AP  
**Proposal:** Change of use from financial & professional services (Class A2) to 5 no. flats (Class C3) and external alterations

**Ward: Ramsbottom + Tottington - Tottington**

---

**Application No.:** 60254    **App. Type:** FUL    08/08/2016    Approve with Conditions  
**Location:** The Old Town Hall, Market Street, Tottington, Bury, BL8 3LL  
**Proposal:** Replacement front door to library entrance

**Application No.:** 60255    **App. Type:** LBC    08/08/2016    Approve with Conditions  
**Location:** The Old Town Hall, Market Street, Tottington, Bury, BL8 3LL  
**Proposal:** Listed building consent for replacement front door to library entrance

**Application No.:** 60272    **App. Type:** FUL    26/07/2016    Approve with Conditions  
**Location:** Highbank Nursing Home, Walshaw Road, Bury, BL8 3AS  
**Proposal:** Single storey staff room extension to Walshaw Lane elevation

**Ward: Ramsbottom and Tottington - Ramsbottom**

---

**Application No.:** 60091    **App. Type:** FUL    21/07/2016    Approve with Conditions  
**Location:** Bast House Farm, Manchester Road, Ramsbottom, Bury, BL9 5LZ  
**Proposal:** Demolition of existing brick outbuildings and erection of two storey extension at side with a single storey garage attached; Renovation of porch at the front

**Application No.:** 60158    **App. Type:** FUL    10/08/2016    Approve with Conditions  
**Location:** 95 Helmshore Road, Ramsbottom, Bury, BL8 4PB  
**Proposal:** Demolition of shed and erection of detached single garage

**Application No.:** 60200    **App. Type:** FUL    22/07/2016    Approve with Conditions  
**Location:** Three Acres, Hawkshaw Lane, Hawkshaw, Bury, BL8 4LD  
**Proposal:** Two storey extension at side and rear

**Application No.:** 60250    **App. Type:** FUL    26/07/2016    Approve with Conditions  
**Location:** Three Acres, Hawkshaw Lane, Ramsbottom, Bury, BL8 4LD  
**Proposal:** Erection of stables

**Application No.:** 60257    **App. Type:** FUL    02/08/2016    Approve with Conditions  
**Location:** Retaining wall to the north of the entrance to Fletcher Bank, Manchester Road, Ramsbottom, Bury, BLO 0DH  
**Proposal:** Construction of new retaining wall to the back of footpath on Manchester Road to include steps for access

---

**Application No.:** 60259    **App. Type:** FUL    29/07/2016    Approve with Conditions

**Location:** Aldi, 4 Railway Street, Ramsbottom, Bury, BLO 9AL

**Proposal:** 1 No. automatic number plate recognition camera mounted on 5 metre high column

---

**Application No.:** 60260    **App. Type:** ADV    29/07/2016    Approve with Conditions

**Location:** Aldi, 4 Railway Street, Ramsbottom, Bury, BLO 9AL

**Proposal:** 7 No. non-illuminated pole/wall mounted car park management signs

---

**Application No.:** 60273    **App. Type:** CON    02/08/2016    Raise No Objection

**Location:** 19 Rosebank, Ramsbottom, Bury, BLO OPY

**Proposal:** Article 18 consultation from Rossendale Council (ref. 2015/0008) - Demolition of existing conservatory and construction of one and two storey extensions with balconies over and a three storey extension to the rear (amended plans)

---

**Application No.:** 60275    **App. Type:** CON    04/08/2016    Raise No Objection

**Location:** Croft End Mill, Bolton Road North, Ramsbottom, BLO ONA

**Proposal:** Article 18 consultation from Rossendale Council (ref. 2016/0228) - Demolition of existing buildings, erection of 11 residential dwellings with associated garages and parking along with associated engineering works including the infilling of the filter beds.

---

**Application No.:** 60309    **App. Type:** FUL    04/08/2016    Approve with Conditions

**Location:** 19 Rosebank, Ramsbottom, Bury, BLO OPY

**Proposal:** Demolition of existing conservatory and construction of one and two storey extensions with balconies over and a three storey extension to the rear (amended plans)

---

**Application No.:** 60328    **App. Type:** FUL    11/08/2016    Approve with Conditions

**Location:** Unit 5a Kay Brow Complex, Kay Brow, Ramsbottom, Bury, BLO 9AY

**Proposal:** Continuation of use as music bar (Class A4)

---

**Application No.:** 60329    **App. Type:** FUL    12/08/2016    Approve with Conditions

**Location:** Rockcliffe, Green Acre Close, Shuttleworth, Ramsbottom, Bury, BLO OHD

**Proposal:** Single storey extension at side

---

**Application No.:** 60340    **App. Type:** FUL    29/07/2016    Approve with Conditions

**Location:** 22 Beechwood Avenue, Ramsbottom, Bury, BLO OBH

**Proposal:** Erection of detached double garage at rear

---

**Application No.:** 60341    **App. Type:** FUL    11/08/2016    Approve with Conditions

**Location:** 14 Mary Street, Ramsbottom, Bury, BLO 9PB

**Proposal:** Single storey extension at side

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**Ward:** **Whitefield + Unsworth - Besses**

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**Application No.:** 60174    **App. Type:** FUL    04/08/2016    Approve with Conditions

**Location:** Albert Close Industrial Estate, Albert Close, Whitefield, Manchester, M45 8EH

**Proposal:** Erection of security gates

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**Ward: Whitefield + Unsworth - Pilkington Park**

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**Application No.:** 60241    **App. Type:** FUL    11/08/2016    Approve with Conditions

**Location:** 178B Bury New Road, Whitefield, Manchester, M45 6QF

**Proposal:** Change of use from offices to Thai massage parlour (Sui Generis)

---

**Application No.:** 60247    **App. Type:** FUL    04/08/2016    Approve with Conditions

**Location:** 27 Ringley Road, Whitefield, Manchester, M45 7LD

**Proposal:** Erection of 1 no. dwelling

---

**Application No.:** 60284    **App. Type:** FUL    26/07/2016    Approve with Conditions

**Location:** 43 Radcliffe New Road, Whitefield, Manchester, M45 7QZ

**Proposal:** Single storey extension at rear and change in rear garden ground level with new garden steps

---

**Application No.:** 60366    **App. Type:** FUL    11/08/2016    Approve with Conditions

**Location:** 2 Wentworth Avenue, Whitefield, Manchester, M45 7GQ

**Proposal:** Two storey/first floor extensions at front and roof extensions to create two storey dwelling with accommodation in roof space; Single storey extension at rear

---

**Ward: Whitefield + Unsworth - Unsworth**

---

**Application No.:** 59691    **App. Type:** FUL    08/08/2016    Approve with Conditions

**Location:** Pilsworth Quarry, Pilsworth Road, Bury, BL9 8QZ

**Proposal:** Erection of 2 no. leachate storage tanks and associated works

---

**Application No.:** 60239    **App. Type:** FUL    04/08/2016    Approve with Conditions

**Location:** 23 Hathaway Road, Bury, BL9 8EG

**Proposal:** Conversion of existing garage with first floor extension above, single and two storey extensions at rear with detached garage and extended patio

---

**Application No.:** 60261    **App. Type:** TEL    26/07/2016    Prior Approval Required and Granted

**Location:** Unsworth Cricket And Tennis Club Ltd, Pole Lane, Bury, BL9 8QL

**Proposal:** Prior notification of telecommunications development for the replacement of 15m phase 4 monopole with 15m phase 5 monopole and 1 no. equipment cabinet.

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**Application No.:** 60262    **App. Type:** FUL    12/08/2016    Approve with Conditions

**Location:** 4 Blundell Close, Bury, BL9 8LH

**Proposal:** First floor extension at rear

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**Application No.:** 60320    **App. Type:** FUL    11/08/2016    Refused

**Location:** 247 Sunny Bank Road, Bury, BL9 8JU

**Proposal:** Change of use from dwelling (Class C3) to dental surgery (Class D1) (relocation of existing dental practice from 57 Parr Lane); Single storey extension at front with new entrance, two storey extension at side, single storey extension at rear and gate to existing vehicular entrance

---

**Application No.:** 60369    **App. Type:** FUL    12/08/2016    Approve with Conditions

**Location:** 30 Bloomfield Drive, Bury, BL9 8JX

**Proposal:** Porch extension at front

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**Total Number of Applications Decided:    104**

<b>REPORT FOR DECISION</b>
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<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>30 August 2016</b>
<b>SUBJECT:</b>	<b>PLANNING APPEALS</b>
<b>REPORT FROM:</b>	<b>HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	<p>Planning Appeals:</p> <ul style="list-style-type: none"> <li>- Lodged</li> <li>- Determined</li> </ul> <p>Enforcement Appeals</p> <ul style="list-style-type: none"> <li>- Lodged</li> <li>- Determined</li> </ul>
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to the note the report and appendices
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework?      Yes
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	No
<b>Considered by Monitoring Officer:</b>	N/A
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<b>Wards Affected:</b>	All listed
<b>Scrutiny Interest:</b>	N/A

**TRACKING/PROCESS**

**DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

**1.0 BACKGROUND**

This is a monthly report to the Committee of the Planning Appeals lodged against decisions of the authority and against Enforcement Notices served and those that have been subsequently determined by the Planning Inspectorate.

Attached to the report are the Inspectors Decisions and a verbal report will be presented to the Committee on the implications of the decisions on the Appeals that were upheld.

**2.0 CONCLUSION**

That the item be noted.

**List of Background Papers:-**

**Contact Details:-**

David Marno, Head of Development Management  
 Planning Services, Department for Resources and Regulation,  
 3 Knowsley Place ,Bury BL9 0EJ

**Tel: 0161 253 5291**

**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**

**Planning Appeals Lodged  
between 18/07/2016 and 21/08/2016**



**Application No.:** 60127/FUL

**Appeal lodged:** 02/08/2016

**Decision level:** DEL

**Appeal Type:** Written Representations

**Recommended Decision:** Refuse

**Applicant:** Mrs S Lawson

**Location** 63 Tamworth Avenue, Whitefield, Manchester, M45 6UA

**Proposal** First floor extension at side with pitched roof to existing flat roof at rear

---

**Total Number of Appeals Lodged: 1**

**Details of New Enforcement Appeals Lodged**  
between 18/07/2016 and 21/08/2016



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**Case Ref:** 15 /0175

**Date of Appeal:** 07/28/2016

**Appeal Type:** INF

**Location:** Land at rear of Warwick House, Hollins Brook Way, Bury BL9 8RR

**Issue:** Extension to rear car park and erection of gate onto Aviation Road

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**Total Number of Appeal Cases:1**

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# REPORT FOR INFORMATION

Agenda Item 7



Agenda  
Item

7

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>30<sup>th</sup> August 2016</b>
<b>SUBJECT:</b>	<b>PLANNING ENFORCEMENT</b>
<b>REPORT FROM:</b>	<b>ASSISTANT DIRECTOR OF RESOURCES AND REGULATION</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO – HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL (NON KEY DECISION) COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	This Report provides annual statistical information on Planning Enforcement activity for the year between 1 <sup>st</sup> April 2015 and 31 <sup>st</sup> March 2016. The Report also provides a comparison of the Council's Enforcement activity compared to National Planning Enforcement activity throughout the same period.
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to note the Report
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? No
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management N/A
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	No (see paragraph below)

<b>Considered by Monitoring Officer:</b>	Yes	Comments
<b>Wards Affected:</b>	ALL	
<b>Scrutiny Interest:</b>	N/A	

**TRACKING/PROCESS**

**DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

**1.0 BACKGROUND**

This report presents a brief analysis of Enforcement performance for the year 2015/116 and includes a table (below) showing a comparative statistical analysis of performance over the previous three years.

All Enforcement Notices served and Actions taken are considered against the provisions of the Human Rights Act 1998. In taking account of whether to serve an Enforcement Notice or take Action, which is a discretionary power afforded to Councils under the Town and Country Planning Act, 1990 as amended, consideration is taken as to whether the individual's rights are affected and whether it is expedient to serve such a Notice or take Action against the individual.

Any Enforcement Notice served is considered as to whether it is expedient to do so in accordance with the Government Guidelines in the National Planning Policy Framework and National Planning Practice Guidance.

Table indicating comparisons with the previous years

	2012/13	2013/14	2014/15	2015/16
Number of Complaints received	562	636	492	591
% where initial site visit within 10 working days	88%	92%	94%	97%
Number of Enforcement Notices / Section 215 Notices served	23	24	21	7
Number of Stop Notices served	0	0	0	0
Number of Breach of Condition Notices served	1	1	11	12
Number of Temporary Stop Notices served	5	2	2	5
Number Planning Contravention Notices / Section 330 Notice served	32	25	20	13
Number of Injunctions served	0	0	0	0
Number of Prosecutions made	19	18	1	3
Number of Formal Cautions issued / Interviews under Caution	0	0	0	2
Number of Works in Default actions taken	0	0	0	0
Number of Tree Replacement Notices served	0	0	0	2
Number of High Hedge Remedial Notices served	2	0	0	0
Total of Notices and actions taken	82	70	55	45

## 2.0 ISSUES

### CURRENT STAFFING LEVELS AND WORKING ARRANGEMENTS

The Enforcement Team currently comprises a Senior Planning Enforcement Officer and a Planning Enforcement Officer, who are employed full time. The Officers deal with complaint cases on a Borough wide basis, in accordance with the Council's Customer Charter for the Planning Enforcement Service.

### **3.0 WORKLOAD/COMPLAINT CASES RECEIVED AND TRENDS IDENTIFIED**

The table above sets out statistical information for the 2015/16 period with comparisons to with the 3 previous years.

During the period 2015/16 we received 591 complaints.

This represents a 17% increase in the number of cases received compared to the previous year, that's an additional 99 cases requiring formal investigation. This increase is despite the department continuing with a "screening process" for certain complaints before they are formally logged as an Enforcement case by the Technical Support Team, other than cases which may clearly require a full investigation including a site visit etc. The purpose of the screening is to reduce Officer time in carrying out full investigations where they are not needed, for example, where a complaint is not a planning matter (e.g should be dealt with by another department), it is clearly 'permitted development', not development or it's a civil matter for instance. The screening process does require a level of time and resources by the Enforcement Team where they need to carry out desk based research, make phone calls or send emails to the complainant and advise or request further information. This reduces the number of cases unnecessarily being logged for a full investigation.

Of the 591 complaints logged for a full investigation the vast majority of these cases in this period were resolved without recourse to formal Enforcement Action. Other means of resolution include negotiation, or where appropriate, the invitation of a planning application. This is reflected in a decrease in the in the number of Enforcement Notices needing to be served.

There has been 3 prosecutions made during the period, this is still low compared to previous years, due to notices being complied with through negotiation and the threat of prosecution.

We received 1 appeal against an Enforcement Notice during the period, this was determined by the Planning Inspectorate. The Enforcement appeal was dismissed and the notice upheld.

Some Enforcement appeals and prosecutions can be quite complicated but even relatively simple ones a take time and resources to prepare appeal statements, obtain supporting evidence, witness statements etc. However the risk of an appeal or the need to prepare a prosecution is an inevitable part of serving Enforcement Notices.

The percentage in which initial site visits have been carried out within 10 working days has been increasing slowly since the 2012/13 period, and is now at a 4 year high at 97%.

### **3.1 COMPARISON WITH NATIONAL ENFORCEMENT ACTIVITY**

Appendix 1 contains statistical data released by the Department for Communities and Local Government and it includes data from every Local

Planning Authority in England for the 2015/16 period and shows the numbers of the various types of enforcement notices/actions taken.

The table below has been adapted from the National data to show the number of notices issued by the 10 Local Planning Authorities in Greater Manchester.

	<b>Enforcement Notices/Section 215 Notices served</b>	<b>Stop Notices served</b>	<b>Temporary Stop Notices served</b>	<b>Breach of Condition Notices served</b>	<b>Planning Contravention Notices served</b>	<b>Total Number of Notices served</b>
<b>Bury</b>	7	0	5	12	13	37
<b>Manchester</b>	21	0	1	5	58	85
<b>Oldham</b>	5	0	0	4	0	9
<b>Rochdale</b>	10	0	1	0	4	15
<b>Salford</b>	6	0	0	2	1	9
<b>Stockport</b>	7	0	0	0	15	22
<b>Tameside</b>	5	0	0	0	12	17
<b>Trafford</b>	6	0	0	0	0	6
<b>Wigan</b>	3	0	0	1	3	7
<b>Bolton</b>	9	0	2	3	0	14

Taking the total number of notices served, Bury Council is ranked 2<sup>nd</sup> within Greater Manchester with 37, only beaten by Manchester City Council with a total of 85. However, if you break this figure down the vast majority of Manchester City Council's notices are made up of information gathering notices, i.e. Planning Contravention Notices, making up 58 of the 85 notices served. If these are removed and only the more formal Enforcement Notices are counted, the figures are much more similar with Bury Council with 24 and Manchester City Council with 27.

Compared to the National statistics, the following further trends have also been noted:

- i. Bury Council is ranked high on the National enforcement statistics with the total number of notices issued.
- ii. In Greater Manchester, Bury Council served the most Breach of Condition Notices (12), more than double the amount of nearest authority in terms number of notices with (5).
- i. Nationally, Bury Council is ranked joint 12<sup>th</sup> with the number of Breach of Condition Notices served, and joint 8<sup>th</sup> if the London Boroughs are not included.
- ii. Bury Council is ranked joint 9<sup>th</sup> with the number of Temporary Stop Notices served, and joint 5<sup>th</sup> if the London Boroughs are not included.



## **4.0 FORMAL NOTICES SERVED/ACTIONS TAKEN**

During the period a total of 45 formal Notices or Actions having been taken. Some examples of very successful outcomes during this period include:

### **62 Market Street, Tottington**

- The owner of the above property constructed a metal walkway at the rear of the property in order to gain an additional access to a 1<sup>st</sup> floor flat. Due to the height of the walkway, it was severely detrimental to the residential amenity of the neighbouring properties providing views into the homes and gardens. Following the refusal of a retrospective planning application, an Enforcement Notice was served requiring the metal walkway's removal. An appeal was made against the notice but was dismissed by an Inspector and the notice was upheld.

### **24 Holyrood Road, Prestwich**

- This was a case of a severely dilapidated property, fly tipped, broken windows, roof sections missing etc. After negotiations with the owner were unsuccessful, we issued a Section 215 (untidy land) Notice in October 2015 requiring significant external works to be carried out to remedy the condition of the building. The Notice was not complied with, despite further request and threats of prosecution to the owner. A prosecution file was prepared and the matter referred to the Legal Department to commence further action in the Magistrates Court. The owner failed to attend Court but the matter was proven against him in his absence. The Court imposed a fine of £660 and order that he pay £1,842.50 towards prosecution costs and a £60 victim surcharge in full within 14 days. A Collection Order was made. This represents a total financial penalty of £2,562.50. We are now seeking compliance with the Notice.

### **Land adjacent to the M66 Exit Slip Road, Walmersley**

- This case relates to a Company, PYM Gate Developments Ltd, of Bury. They erected a large double sided advertisement hoarding in a field within the Green Belt adjacent to the M66 motorway exit slip road. The company was benefiting from the advertising and refused to remove the unauthorised advertisement. The display of an advert without express or deemed consent is an offence. A prosecution file was prepared and the matter referred to Legal to commence further action in the Magistrates Court. Both the Company and the Company Director as an individual were prosecuted. They were each fined £300, ordered to pay £250 each towards costs to the Council and a victim surcharge each of £30, given a total financial penalty of being £1,160 each. The advert was removed the morning of the Court date.

## 5.0 CONCLUSION

The period has seen an increased workload in terms of the number of cases requiring formal investigation. The number of Notices being served remains at a high level the Council is ranked high in the National statistics in terms of number and type of Notices served. The majority of cases however continue to be resolved without recourse to formal action.

The service provided is primarily a reactive one in that we respond to complaints received from members of the public and other Council departments.

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### Contact Details:-

David Marno  
Head of Development Management  
Department of Resources and Regulation  
3 Knowsley Place  
Duke Street  
Bury BL9 0EJ  
**Tel: 0161 253 5291**  
**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**

**Appendix 1 : District planning authorities<sup>1</sup> - Enforcement action, by local planning authority**  
 England, Year ending March 2016<sup>2</sup>

Planning authority	ONS code	Enforcement Notices issued	Stop Notices issued	Temporary Stop Notices issued <sup>2</sup>	Breach of Condition Notices served	Planning Contravention Notices served	Enforcement injunctions granted by High Court or County Court <sup>3</sup>	Number	
								Enforcement injunctions refused by High Court or County Court	Enforcement injunctions refused by High Court
<b>England</b>	<b>E92000001</b>	<b>5,014</b>	<b>151</b>	<b>264</b>	<b>805</b>	<b>4,459</b>	<b>43</b>	-	-
<b>Shire districts</b>		<b>1,291</b>	<b>72</b>	<b>111</b>	<b>306</b>	<b>1,596</b>	<b>25</b>	-	-
Adur	E07000223	9	-	-	-	1	-	-	-
Allerdale	E07000026	18	-	-	12	3	-	-	-
Amber Valley	E07000032	24	-	3	1	2	-	-	-
Arun	E07000224	21	-	-	1	12	-	-	-
Ashfield	E07000170	-	-	-	-	-	-	-	-
Ashford	E07000105	7	5	3	-	7	-	-	-
Aylesbury Vale	E07000004	4	1	2	-	2	-	-	-
Babergh	E07000200	2	-	-	3	5	1	-	-
Barrow-in-Furness	E07000027	1	-	-	-	-	-	-	-
Basildon	E07000066	5	-	-	-	-	-	-	-
Basinstoke and Deane	E07000084	6	-	-	-	2	-	-	-
Bassetlaw	E07000171	12	2	-	3	-	-	-	-
Blaby	E07000129	4	-	1	1	-	-	-	-
Bolsover	E07000033	3	-	-	-	-	-	-	-
Boston	E07000136	4	8	8	9	2	-	-	-
Braintree	E07000067	5	-	-	4	7	-	-	-
Breckland	E07000143	5	-	-	-	5	-	-	-
Brentwood	E07000068	14	1	-	-	17	-	-	-
Broadland	E07000144	7	-	-	1	1	-	-	-
Bromsgrove	E07000234	6	-	-	-	6	-	-	-
Broxbourne	E07000095	8	-	-	2	1	-	-	-
Broxtowe	E07000172	3	-	-	1	1	-	-	-
Burnley	E07000117	1	-	-	-	-	-	-	-
Cambridge	E07000008	11	-	-	-	7	-	-	-
Cannock Chase	E07000192	5	-	-	-	-	-	-	-
Canterbury	E07000106	-	-	-	1	33	-	-	-
Carlisle	E07000028	2	-	-	-	-	-	-	-
Castle Point	E07000069	1	-	-	-	9	-	-	-
Charnwood	E07000130	5	-	1	3	18	-	-	-
Chelmsford	E07000070	12	1	1	1	26	2	-	-
Cheltenham	E07000078	7	-	-	5	-	-	-	-
Cherwell	E07000177	4	-	-	-	1	-	-	-
Chesterfield	E07000034	2	-	-	-	-	-	-	-
Chichester	E07000225	-	13	-	-	27	-	-	-
Chiltern	E07000005	7	-	-	-	-	-	-	-
Chorley	E07000118	9	-	-	3	-	-	-	-
Christchurch	E07000048	-	-	-	-	1	-	-	-
Colchester	E07000071	9	-	-	13	17	-	-	-
Copeland	E07000029	3	-	-	2	3	-	-	-
Corby	E07000150	-	-	1	-	1	-	-	-
Cotswold	E07000079	2	-	-	-	1	-	-	-
Craven	E07000163	6	-	-	-	9	-	-	-
Crawley	E07000226	4	-	-	1	9	-	-	-
Dacorum	E07000096	8	1	-	1	21	-	-	-
Dartford	E07000107	5	-	-	-	-	-	-	-
Daventry	E07000151	-	-	1	2	12	-	-	-
Derbyshire Dales	E07000035	16	-	1	-	7	-	-	-
Dover	E07000108	8	-	-	-	-	-	-	-
East Cambridgeshire	E07000009	4	-	-	-	7	-	-	-
East Devon	E07000040	7	-	1	2	-	-	-	-
East Dorset	E07000049	1	-	-	-	-	-	-	-
East Hampshire	E07000085	8	1	2	4	10	-	-	-
East Hertfordshire	E07000242	7	-	1	-	3	-	-	-
East Lindsey	E07000137	26	1	1	3	44	-	-	-
East Northamptonshire	E07000152	-	-	-	-	-	-	-	-
East Staffordshire	E07000193	6	-	-	-	-	-	-	-
Eastbourne	E07000061	14	-	1	-	16	-	-	-
Eastleigh	E07000086	2	-	-	-	4	-	-	-
Eden	E07000030	4	-	-	2	6	-	-	-
Elmbridge	E07000207	4	-	-	-	8	-	-	-
Epping Forest	E07000072	11	-	1	4	-	-	-	-
Epsom and Ewell	E07000208	5	-	2	-	6	-	-	-
Erewash	E07000036	9	-	-	-	14	-	-	-
Exeter	E07000041	5	-	1	-	4	-	-	-
Fareham	E07000087	3	-	-	1	1	-	-	-
Fenland	E07000010	13	-	-	-	14	-	-	-
Forest Heath	E07000201	2	-	-	2	8	-	-	-
Forest of Dean	E07000080	4	1	-	-	-	-	-	-
Fylde	E07000119	7	-	-	-	4	-	-	-
Gedling	E07000173	-	-	-	-	1	-	-	-
Gloucester	E07000081	12	-	-	-	2	-	-	-
Gosport	E07000088	-	-	-	-	-	-	-	-
Gravesham	E07000109	3	-	-	1	-	-	-	-
Great Yarmouth	E07000145	4	-	3	1	25	-	-	-
Guildford	E07000209	6	-	1	1	17	-	-	-
Hambleton	E07000164	4	-	-	-	2	-	-	-
Harborough	E07000131	7	-	1	-	15	1	-	-
Harlow	E07000073	2	1	1	1	7	-	-	-
Harrogate	E07000165	21	-	-	-	6	-	-	-
Hart	E07000089	4	-	-	-	3	-	-	-
Hastings	E07000062	4	-	-	13	33	-	-	-
Havant	E07000090	1	-	-	-	-	-	-	-
Hertsmere	E07000098	-	-	-	-	-	-	-	-
High Peak	E07000037	1	-	-	-	1	-	-	-
Hinckley and Bosworth	E07000132	12	1	2	1	5	-	-	-
Horsham	E07000227	10	-	2	2	-	-	-	-
Huntingdonshire	E07000011	5	-	-	-	2	-	-	-
Hyndburn	E07000120	9	-	-	2	42	-	-	-

Appendix 1 : District planning authorities<sup>1</sup> - Enforcement action, by local planning authority  
 England, Year ending March 2016<sup>P</sup>

Planning authority	ONS code	Enforcement Notices issued	Stop Notices issued	Temporary Stop Notices issued <sup>2</sup>	Breach of Condition Notices served	Planning Contravention Notices served	Enforcement injunctions granted by High Court or County Court <sup>3</sup>	Number
								Enforcement injunctions refused by High Court or County Court
Ipswich	E07000202	8	-	-	2	2	-	-
Kettering	E07000153	-	-	-	-	-	1	-
King's Lynn and West Norfolk	E07000146	25	-	-	7	33	-	-
Lancaster	E07000121	15	-	1	4	4	-	-
Lewes	E07000063	5	-	-	1	-	-	-
Lichfield	E07000194	2	-	1	2	22	-	-
Lincoln	E07000138	2	-	-	-	20	-	-
Maidstone	E07000110	4	2	1	1	2	-	-
Maldon	E07000074	11	-	-	-	7	6	-
Malvern Hills	E07000235	15	-	-	3	4	-	-
Mansfield	E07000174	9	-	-	8	-	-	-
Melton	E07000133	1	-	1	-	-	2	-
Mendip	E07000187	11	-	1	-	26	-	-
Mid Devon	E07000042	5	-	-	1	28	-	-
Mid Suffolk	E07000203	5	-	-	-	7	-	-
Mid Sussex	E07000228	6	-	2	2	5	-	-
Mole Valley	E07000210	2	-	-	1	-	-	-
New Forest	E07000091	3	1	-	-	12	-	-
Newark and Sherwood	E07000175	6	-	-	2	5	-	-
Newcastle-under-Lyme	E07000195	5	2	-	-	1	-	-
North Devon	E07000043	11	-	-	-	32	-	-
North Dorset	E07000050	2	-	-	-	14	-	-
North East Derbyshire	E07000038	1	-	-	-	-	-	-
North Hertfordshire	E07000099	1	-	-	-	-	-	-
North Kesteven	E07000139	11	-	1	1	61	-	-
North Norfolk	E07000147	5	-	-	1	7	-	-
North Warwickshire	E07000218	4	-	-	1	10	-	-
North West Leicestershire	E07000134	1	1	-	-	-	-	-
Northampton	E07000154	-	-	-	-	1	-	-
Norwich	E07000148	9	-	1	2	2	-	-
Nuneaton and Bedworth	E07000219	-	-	-	-	-	-	-
Oadby and Wigston	E07000135	5	-	-	-	1	-	-
Oxford	E07000178	19	-	-	2	8	-	-
Pendle	E07000122	3	-	-	4	-	-	-
Preston	E07000123	5	-	-	-	-	-	-
Purbeck	E07000051	1	-	-	-	-	-	-
Redditch	E07000236	-	-	-	-	-	-	-
Reigate and Banstead	E07000211	9	1	-	1	8	-	-
Ribble Valley	E07000124	1	-	2	1	-	-	-
Richmondshire	E07000166	-	-	-	-	1	-	-
Rochford	E07000075	13	-	1	2	22	-	-
Rossendale	E07000125	3	-	2	2	7	-	-
Rother	E07000064	11	-	-	4	9	-	-
Rugby	E07000220	14	2	4	3	3	-	-
Runnymede	E07000212	3	-	1	1	8	-	-
Rushcliffe	E07000176	12	-	-	1	2	-	-
Rushmoor	E07000092	5	-	-	2	7	-	-
Ryedale	E07000167	1	-	-	-	-	-	-
Scarborough	E07000168	1	-	-	-	1	-	-
Sedgemoor	E07000188	25	-	-	4	22	-	-
Selby	E07000169	8	-	-	-	-	-	-
Sevenoaks	E07000111	18	-	-	1	11	1	-
Shepway	E07000112	4	-	1	3	6	-	-
South Bucks	E07000006	8	2	1	-	4	-	-
South Cambridgeshire	E07000012	-	-	-	-	-	-	-
South Derbyshire	E07000039	6	-	2	1	3	-	-
South Hams	E07000044	2	-	-	3	2	-	-
South Holland	E07000140	6	-	-	2	2	-	-
South Kesteven	E07000141	1	-	-	1	4	-	-
South Lakeland	E07000031	9	-	2	-	35	-	-
South Norfolk	E07000149	10	-	-	1	2	-	-
South Northamptonshire	E07000155	14	-	17	8	11	-	-
South Oxfordshire	E07000179	4	4	-	13	79	4	-
South Ribble	E07000126	1	-	-	-	-	-	-
South Somerset	E07000189	17	-	3	-	11	-	-
South Staffordshire	E07000196	12	-	1	4	1	-	-
Spelthorne	E07000213	22	1	3	1	5	1	-
St Albans	E07000240	2	-	-	-	11	-	-
St Edmundsbury	E07000204	-	-	-	2	16	-	-
Stafford	E07000197	4	-	-	1	4	-	-
Staffordshire Moorlands	E07000198	5	-	-	-	3	-	-
Stevenage	E07000243	-	-	-	-	-	-	-
Stratford-on-Avon	E07000221	10	-	1	25	31	-	-
Stroud	E07000082	11	1	1	2	1	-	-
Suffolk Coastal	E07000205	2	1	1	1	9	-	-
Surrey Heath	E07000214	4	-	1	1	-	-	-
Swale	E07000113	20	2	8	1	33	-	-
Tamworth	E07000199	-	-	-	-	-	-	-
Tandridge	E07000215	3	-	-	1	-	-	-
Taunton Deane	E07000190	10	-	-	1	4	-	-
Teignbridge	E07000045	6	-	-	-	9	-	-
Tendring	E07000076	5	-	-	-	43	-	-
Test Valley	E07000093	9	-	-	-	3	-	-
Tewkesbury	E07000083	-	-	-	-	-	-	-
Thanet	E07000114	19	-	-	-	1	-	-
Three Rivers	E07000102	5	-	-	1	8	-	-
Tonbridge and Malling	E07000115	20	-	1	-	1	1	-
Torridge	E07000046	17	-	1	-	12	-	-
Tunbridge Wells	E07000116	7	-	-	1	11	3	-
Uttlesford	E07000077	20	-	-	3	5	-	-
Vale of White Horse	E07000180	1	12	-	32	58	-	-

Appendix 1 : District planning authorities<sup>1</sup> - Enforcement action, by local planning authority  
 England, Year ending March 2016<sup>P</sup>

Planning authority	ONS code	Enforcement Notices issued	Stop Notices issued	Temporary Stop Notices issued <sup>2</sup>	Breach of Condition Notices served	Planning Contravention Notices served	Enforcement injunctions granted by High Court or County Court <sup>3</sup>	Number
								Enforcement injunctions refused by High Court or County Court
Warwick	E07000222	2	-	-	1	5	-	-
Watford	E07000103	-	-	-	1	-	-	-
Waveney	E07000206	7	1	-	-	1	-	-
Waverley	E07000216	13	-	1	2	11	-	-
Wealden	E07000065	29	-	-	1	34	-	-
Wellingborough	E07000156	-	-	-	-	-	-	-
Welwyn Hatfield	E07000241	1	-	-	-	12	-	-
West Devon	E07000047	2	-	-	2	1	-	-
West Dorset	E07000052	12	1	-	2	17	-	-
West Lancashire	E07000127	5	-	-	3	4	-	-
West Lindsey	E07000142	1	-	-	-	1	-	-
West Oxfordshire	E07000181	4	-	-	-	5	-	-
West Somerset	E07000191	2	-	-	1	3	-	-
Weymouth and Portland	E07000053	-	-	-	-	3	-	-
Winchester	E07000094	13	1	1	-	-	-	-
Woking	E07000217	2	-	-	-	4	-	-
Worcester	E07000237	-	-	-	-	2	-	-
Worthing	E07000229	5	-	-	-	-	-	-
Wychavon	E07000238	6	-	-	5	3	1	-
Wycombe	E07000007	3	-	2	-	55	1	-
Wyre	E07000128	1	-	-	-	-	-	-
Wyre Forest	E07000239	3	-	2	1	6	-	-
<b>London boroughs</b>		<b>2,544</b>	<b>57</b>	<b>79</b>	<b>237</b>	<b>1,540</b>	<b>1</b>	<b>-</b>
Barking and Dagenham	E09000002	88	1	-	16	-	-	-
Barnet	E09000003	106	-	1	-	48	-	-
Bexley	E09000004	1	-	-	2	14	-	-
Brent	E09000005	164	-	-	4	64	-	-
Bromley	E09000006	6	-	-	5	5	-	-
Camden	E09000007	43	-	-	1	57	1	-
City of London	E09000001	-	-	-	-	-	-	-
Croydon	E09000008	6	-	-	1	-	-	-
Ealing	E09000009	46	1	5	2	40	-	-
Enfield	E09000010	142	2	8	6	27	-	-
Greenwich	E09000011	18	-	1	1	12	-	-
Hackney	E09000012	41	-	-	2	-	-	-
Hammersmith and Fulham	E09000013	663	1	1	8	590	-	-
Haringey	E09000014	118	-	4	11	66	-	-
Harrow	E09000015	12	-	-	2	-	-	-
Havering	E09000016	47	-	1	3	-	-	-
Hillingdon	E09000017	52	1	-	9	44	-	-
Hounslow	E09000018	87	-	2	16	29	-	-
Islington	E09000019	78	1	1	4	-	-	-
Kensington and Chelsea	E09000020	60	14	30	52	14	-	-
Kingston upon Thames	E09000021	-	-	-	-	-	-	-
Lambeth	E09000022	34	-	-	12	13	-	-
Lewisham	E09000023	32	-	-	-	75	-	-
Merton	E09000024	27	-	1	-	-	-	-
Newham	E09000025	357	32	15	1	118	-	-
Redbridge	E09000026	43	1	-	67	12	-	-
Richmond upon Thames	E09000027	29	-	-	1	3	-	-
Southwark	E09000028	25	-	9	3	65	-	-
Sutton	E09000029	5	-	-	1	-	-	-
Tower Hamlets	E09000030	17	-	-	1	1	-	-
Waltham Forest	E09000031	12	3	-	-	4	-	-
Wandsworth	E09000032	44	-	-	3	17	-	-
Westminster	E09000033	141	-	-	3	222	-	-
<b>Metropolitan districts</b>		<b>522</b>	<b>2</b>	<b>29</b>	<b>105</b>	<b>440</b>	<b>4</b>	<b>-</b>
Barnsley	E08000016	7	1	4	1	7	-	-
Birmingham	E08000025	30	-	-	3	43	-	-
Bolton	E08000001	9	-	2	3	-	-	-
Bradford	E08000032	112	-	-	6	-	-	-
Bury	E08000002	7	-	5	12	13	-	-
Calderdale	E08000033	9	-	-	-	21	1	-
Coventry	E08000026	15	-	1	10	12	-	-
Doncaster	E08000017	7	-	-	-	-	3	-
Dudley	E08000027	14	-	3	3	39	-	-
Gateshead	E08000037	17	-	3	2	6	-	-
Kirklees	E08000034	17	-	1	3	26	-	-
Knowsley	E08000011	13	-	-	7	-	-	-
Leeds	E08000035	90	1	3	10	84	-	-
Liverpool	E08000012	3	-	-	5	44	-	-
Manchester	E08000003	21	-	1	5	58	-	-
Newcastle upon Tyne	E08000021	8	-	-	1	15	-	-
North Tyneside	E08000022	19	-	-	-	-	-	-
Oldham	E08000004	5	-	-	4	-	-	-
Rochdale	E08000005	10	-	1	-	4	-	-
Rotherham	E08000018	5	-	-	-	6	-	-
Salford	E08000006	6	-	-	2	1	-	-
Sandwell	E08000028	-	-	-	-	-	-	-
Sefton	E08000014	13	-	-	3	-	-	-
Sheffield	E08000019	13	-	2	16	6	-	-
Solihull	E08000029	6	-	-	-	1	-	-
South Tyneside	E08000023	2	-	-	-	-	-	-
St. Helens	E08000013	-	-	-	1	-	-	-
Stockport	E08000007	7	-	-	-	15	-	-
Sunderland	E08000024	15	-	-	1	4	-	-
Tameside	E08000008	5	-	-	-	12	-	-
Trafford	E08000009	6	-	-	-	-	-	-
Wakefield	E08000036	13	-	-	3	7	-	-



**Appendix 1 : District planning authorities<sup>1</sup> - Enforcement action, by local planning authority**  
 England, Year ending March 2016<sup>P</sup>

Planning authority	ONS code	Enforcement Notices issued	Stop Notices issued	Temporary Stop Notices issued <sup>2</sup>	Breach of Condition Notices served	Planning Contravention Notices served	Enforcement injunctions granted by High Court or County Court <sup>3</sup>	Number
								Enforcement injunctions refused by High Court or County Court
Walsall	E08000030	3	-	-	-	4	-	-
Wigan	E08000010	3	-	-	1	3	-	-
Wirral	E08000015	3	-	-	1	2	-	-
Wolverhampton	E08000031	9	-	3	2	11	-	-
<b>Unitary authorities</b>		<b>548</b>	<b>15</b>	<b>37</b>	<b>154</b>	<b>800</b>	<b>13</b>	<b>-</b>
Bath and North East Somerset	E06000022	9	-	2	3	20	-	-
Bedford	E06000055	7	-	-	1	3	-	-
Blackburn with Darwen	E06000008	9	-	2	2	4	-	-
Blackpool	E06000009	3	-	-	-	-	-	-
Bournemouth	E06000028	13	-	-	20	44	-	-
Bracknell Forest	E06000036	3	-	3	-	73	-	-
Brighton and Hove	E06000043	19	-	-	-	3	-	-
Bristol, City of	E06000023	11	-	-	6	1	-	-
Central Bedfordshire	E06000056	15	-	4	4	12	2	-
Cheshire East	E06000049	8	-	-	5	19	-	-
Cheshire West and Chester	E06000050	6	-	1	4	2	-	-
Cornwall	E06000052	21	-	-	4	255	-	-
County Durham	E06000047	18	-	-	2	5	-	-
Darlington	E06000005	6	-	4	3	6	-	-
Derby	E06000015	-	-	-	-	-	-	-
East Riding of Yorkshire	E06000011	12	-	-	3	1	-	-
Halton	E06000006	-	-	-	-	2	-	-
Hartlepool	E06000001	-	-	-	1	-	-	-
Herefordshire, County of	E06000019	28	-	1	-	4	-	-
Isle of Wight	E06000046	8	-	-	-	6	-	-
Isles of Scilly	E06000053	-	-	-	-	-	-	-
Kingston upon Hull, City of	E06000010	22	-	-	7	-	-	-
Leicester	E06000016	5	-	-	1	39	-	-
Luton	E06000032	20	-	-	-	-	-	-
Medway	E06000035	16	-	-	7	1	3	-
Middlesbrough	E06000002	-	-	-	-	1	1	-
Milton Keynes	E06000042	16	-	-	-	1	1	-
North East Lincolnshire	E06000012	4	-	-	2	1	-	-
North Lincolnshire	E06000013	10	-	-	3	2	-	-
North Somerset	E06000024	28	-	-	2	78	2	-
Northumberland	E06000057	7	1	-	2	8	-	-
Nottingham	E06000018	8	-	-	-	12	-	-
Peterborough	E06000031	12	2	1	-	7	-	-
Plymouth	E06000026	11	-	6	-	4	-	-
Poole	E06000029	17	-	-	2	4	-	-
Portsmouth	E06000044	4	-	-	-	8	-	-
Reading	E06000038	4	1	-	1	11	-	-
Redcar & Cleveland	E06000003	3	-	-	1	-	-	-
Rutland	E06000017	2	-	-	1	3	-	-
Shropshire	E06000051	7	1	-	-	3	-	-
Slough	E06000039	8	-	-	4	3	-	-
South Gloucestershire	E06000025	38	-	7	31	63	-	-
Southampton	E06000045	13	-	-	8	2	-	-
Southend-on-Sea	E06000033	11	-	-	1	10	-	-
Stockton-on-Tees	E06000004	5	-	-	3	-	-	-
Stoke-on-Trent	E06000021	-	-	-	2	9	-	-
Swindon	E06000030	8	-	-	-	-	-	-
Telford and Wrekin	E06000020	16	-	-	9	3	-	-
Thurrock	E06000034	5	7	-	4	2	-	-
Torbay	E06000027	-	-	-	-	5	-	-
Warrington	E06000007	-	-	-	1	-	-	-
West Berkshire	E06000037	1	1	-	-	1	-	-
Wiltshire	E06000054	20	1	2	-	38	-	-
Windsor and Maidenhead	E06000040	9	-	2	3	19	-	-
Wokingham	E06000041	20	1	2	1	2	4	-
York	E06000014	2	-	-	-	-	-	-
<b>National parks</b>		<b>106</b>	<b>5</b>	<b>8</b>	<b>3</b>	<b>81</b>	<b>-</b>	<b>-</b>
Dartmoor National Park	E26000001	30	-	-	-	17	-	-
Exmoor National Park	E26000002	4	-	-	-	3	-	-
Lake District National Park	E26000003	26	-	-	2	4	-	-
New Forest National Park	E26000009	11	4	5	-	18	-	-
North York Moors National Park	E26000005	4	-	-	-	1	-	-
Northumberland National Park	E26000004	-	-	-	-	4	-	-
Peak District National Park	E26000006	8	1	-	-	11	-	-
South Downs National Park	E26000010	13	-	3	1	21	-	-
The Broads Authority	E26000007	-	-	-	-	-	-	-
Yorkshire Dales National Park	E26000008	10	-	-	-	2	-	-
<b>Urban development corporations<sup>4</sup></b>		<b>3</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>0</b>	<b>0</b>
Ebbfleet Development Corporation	-	-	-	-	-	-	-	-
London Legacy Development Corporation	E51000001	3	-	-	-	2	-	-
Old Oak and Park Royal Development Corporation	E51000002	-	-	-	-	-	-	-

<sup>1</sup> Figures exclude 'county matters' applications and decisions.

<sup>2</sup> Temporary Stop Notices are authorised by the Town and Country Planning Act, new sections 171E to 171H, inserted by Planning and Compulsory Purchase Act 2004 from 28 March 2005. Data collected from July 2005.

<sup>3</sup> Where a series of Interim Injunctions is granted to restrain the same breach of planning control, only the first injunction is recorded here.

<sup>4</sup> Urban development corporations include London Legacy Development Corporation, Old Oak and Park Royal Development Corporation (OPDC, since 1 April 2015) and Ebbfleet Development Corporation (since 1 July 2015).

- Denotes zero

P Provisional.

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# REPORT FOR DECISION

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>30<sup>th</sup> August 2016</b>
<b>SUBJECT:</b>	<b>ARTICLE 4 DIRECTION CONFIRMATION OF ORDER – HOLCOMBE CONSERVATION AREA</b>
<b>REPORT FROM:</b>	<b>ASST. DIRECTOR OF LOCALITIES</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO – HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL (NON KEY DECISION)</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	<b>This paper is within the public domain</b>
<b>SUMMARY:</b>	<b>This Report seeks CONFIRMATION of the order for an Article 4 Direction. The direction gives greater planning controls over development in the Holcombe Conservation Area. The making of the order has been publicised and this report sets out the next steps and responses received as a result of carrying out the necessary publicity.</b>
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	<ol style="list-style-type: none"> <li><b>1) To authorise the Confirmation of a non-immediate direction under Article 4 of the Town and Country Planning (General Permitted Development) (England) Order 2015 to remove the permitted development rights outlined in Appendix 1 of this report in relation to the Holcombe Brook Conservation Area which is identified edged red on the plan attached at Appendix 2.</b></li> <li><b>2) Not to authorise the Confirmation of the Article 4 Direction.</b></li> <li><b>3) To amend the Direction.</b></li> </ol> <p><b>Option 1 is recommended to enable the Council to comply with its statutory duty to prepare</b></p>

	proposals for the preservation and enhancement for any conservation areas and to follow the recommendation of the Holcombe Management Plan.
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	<b>Do the proposals accord with the Policy Framework?</b> Yes
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	<b>Executive Director of Resources to advise regarding risk management</b>
<b>Statement by Executive Director of Resources:</b>	
<b>Equality/Diversity implications:</b>	<b>No</b> (see paragraph below)
<b>Considered by Monitoring Officer:</b>	<b>Yes</b> <b>Comments</b> <b>The client has been advised.</b>
<b>Wards Affected:</b>	<b>RAMSBOTTOM</b>
<b>Scrutiny Interest:</b>	<b>N/A</b>
<b>MEETING:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>30<sup>th</sup> AUGUST 2016</b>
<b>SUBJECT:</b>	<b>HOLCOMBE CONSERVATION AREA</b>
<b>REPORT FROM:</b>	<b>ASSISTANT DIRECTOR LOCALITIES</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO – HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	The report provides information on the consultation process related to the decision to progress towards

	an article 4 Direction within the Holcombe Conservation Area and the next steps in the process.
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee can either confirm the Direction or not. The recommendation is to confirm the Direction.
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? Yes
<b>Financial Implications and Risk Considerations:</b>	There is more than a 12 month period before the Direction takes effect, so compensation would not fall to be due.
<b>Statement by Director of Finance and E-Government:</b>	N/A
<b>Equality/Diversity implications:</b>	None (see paragraph below)
<b>Considered by Monitoring Officer:</b>	The client has been advised.
<b>Wards Affected:</b>	RAMSBOTTOM (Holcombe Conservation Area)
<b>Scrutiny Interest:</b>	N/A

## TRACKING/PROCESS

## DIRECTOR:

Chief Executive/ Management Board	Executive Member/Chair	Ward Members	Partners
Scrutiny Commission	Executive	Committee	Council

## 1.0 BACKGROUND

- 1.1 On 16<sup>th</sup> February 2016, a report was presented to the Planning Control Committee for the making of an Article 4 Direction of the Town and Country Planning (General Permitted Development) (England) Order 2015 to remove the permitted development rights within the Holcombe Conservation Area. The



making of the order was approved by the Committee and this allowed the Local Planning Authority to proceed to the next step of publicising the proposals.

- 1.2 Letters were issued to around 150 individual properties. Publicity included both press notification in the Bury Times and site notices being erected within the Conservation Area directing interested members of the public to the Local Planning Authority for more information should they so wish, as well as inviting any representations.

## **2.0 ISSUES**

- 2.1 The Council as Local Planning Authority must take into account any representations in deciding whether or not to confirm the Direction. As a result of the publicity, only one letter of support has been received, from a member of the public who supports additional controls to preserve the character and appearance of the Conservation Area, but no longer lives in the area.
- 2.2 In addition to this, a meeting was held between the Local Planning Authority with the Holcombe Civic Society (HCS) 13<sup>th</sup> July 2016 to discuss the Article 4 Direction amongst other matters. No written response has been received but generally the HCS was supportive of the proposals.
- 2.3 The effects of the Article 4 Direction will not come into effect until 31<sup>st</sup> July 2017, in order to to give sufficient due notice without the Council being liable to a compensation claim.
- 2.4 Should Members resolve to confirm the Direction, then following confirmation, there is a further prescribed notice and publicity requirement. The Council must also send a copy of the confirmed Direction to the Secretary of State.
- 2.5 Article 4 directions can increase the public protection of Article 4 directions can increase the public protection of designated and non-designated heritage assets and their settings. They are not necessary for works to listed buildings and scheduled monuments as listed building consent and scheduled monument consent would cover all potentially harmful works that would otherwise be permitted development under the planning regime. It is again important to note that an article 4 direction does not prevent the development to which it applies, but instead requires that planning permission is first obtained from the local planning authority for that development.

## **3.0 CONCLUSION**

- 3.1 It is therefore recommended that the Article 4 Direction be confirmed such that the effects of the direction can apply within the period described above.
- 3.2 A plan of the extent of the Conservation Area and the restricted classes are contained within Appendix 1 for information

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**List of Background Papers:-**

Kathryn Salter & Associates report

<http://www.bury.gov.uk/CHttpHandler.ashx?id=5991&p=0>

Town & Country Planning (General Permitted Development) Order 1995 as amended

Town & Country Planning (General Permitted Development)(England) Order 2015 as amended

Town and Country Planning (Compensation) (England) Regulations 2015 as amended

National Planning Policy Framework 2012 and accompanying National Planning Practice Guidance

**Contact Details:-**

David Marno

Development Manager

Environment and Development Services

Craig House

5 Bank Street

Bury BL9 0DN

**Tel: 0161 253 5321**

**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**

## APPENDIX 1

Permitted development rights to be removed in relation to dwellinghouses

**The proposed Article 4 Direction should remove the following permitted development rights:**

**Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)**

- **Class A** – The enlargement, improvement or other alteration of a dwellinghouse;
- **Class C** – Any other alteration to the roof of a dwellinghouse;
- **Class D** – The erection or construction of a porch outside any external door of a dwellinghouse;
- **Class E** – The provision within the curtilage of a dwellinghouse of any building or enclosure, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building or enclosure;
- **Class F** – The provision within the curtilage of a dwellinghouse of a hard surface for any purpose incidental to the enjoyment of a dwellinghouse as such;
- **Class G**...The Installation, alteration or replacement of a chimney, flue or soil and vent pipe on a dwellinghouse

And

**Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)**

- **Class A** - involving the erection, construction, maintenance, improvement or alteration of a gate, fence, wall or other means of enclosure

And

**Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)**

- **Class B** - involving the formation, laying out and construction of a means of access to a highway which is not a trunk road or a classified road, where that access is required in connection with development permitted by any Class in the Schedule (other than by Class A of this Part).

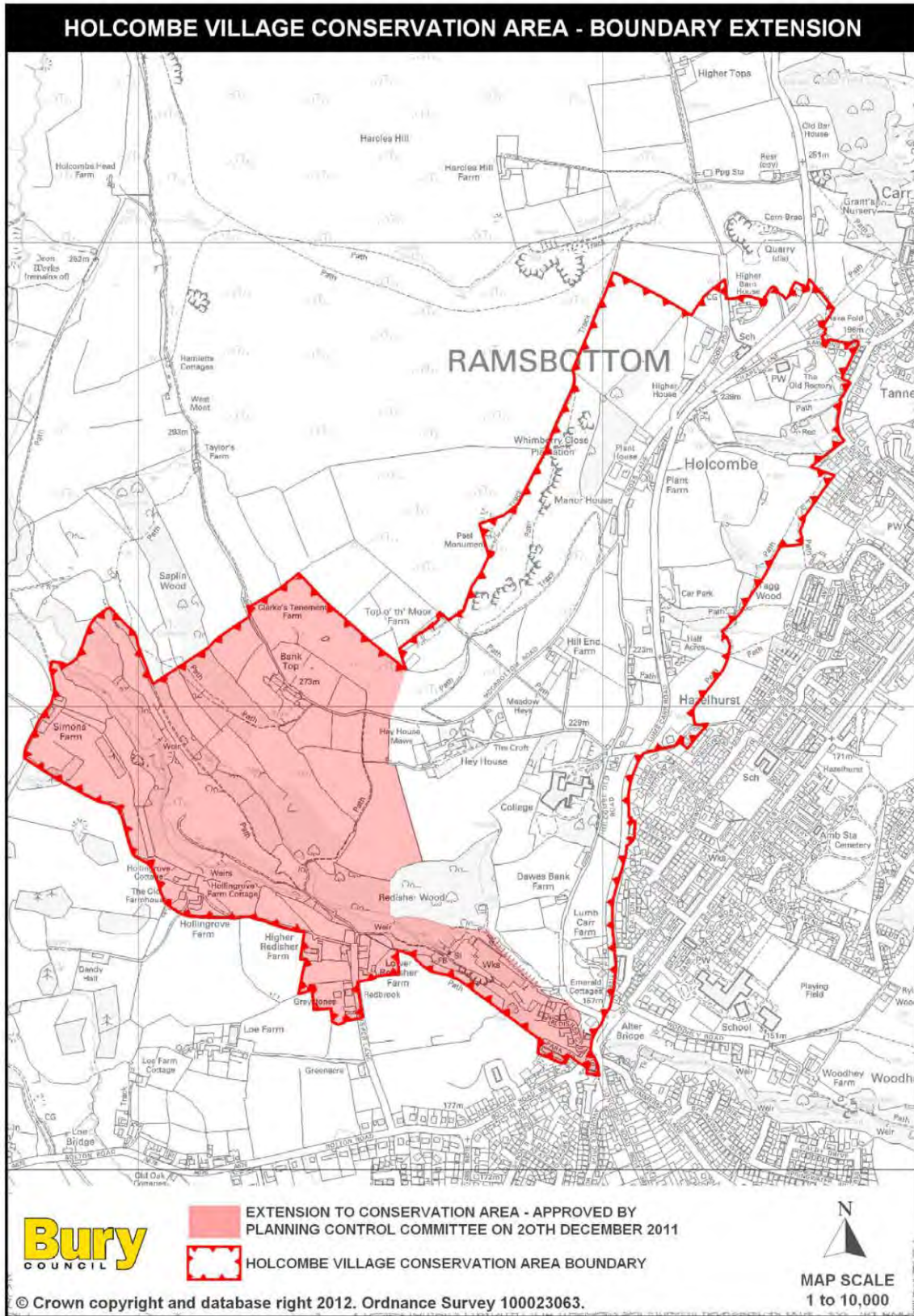
And

**Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)**

<ul style="list-style-type: none"> <li>• <b>Class C</b> - The painting of the exterior of any building or work.</li> </ul>
And
<p><b>Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)</b></p> <ul style="list-style-type: none"> <li>• <b>Class Q</b> – The change of use of agricultural buildings to dwellinghouses.</li> </ul>
And
<p><b>Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)</b></p> <ul style="list-style-type: none"> <li>• <b>Class R</b> – The change of use of agricultural buildings to a flexible commercial use.</li> </ul>
And
<p><b>Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)</b></p> <ul style="list-style-type: none"> <li>• <b>Class S</b> – The change of use of agricultural buildings to a state funded school or registered nursery</li> </ul>
And
<p><b>Schedule 2, Part 4 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)</b></p> <ul style="list-style-type: none"> <li>• <b>Class C</b> – Use as a state funded school for a single academic year</li> </ul>
And
<p><b>Schedule 2, Part 9 of the Town and Country Planning (General Permitted Development)(England) Order 2015 (SI 2015 No.596)</b></p> <ul style="list-style-type: none"> <li>• <b>Class E</b> – The carrying out on land within the boundaries of an unadopted street or private way of works required for the maintenance or improvement of the street or way.</li> </ul>
And
<ul style="list-style-type: none"> <li>• <b>Replacement of windows and external doors to an elevation of a dwelling where the affected elevation is a principal elevation</b></li> <li>• <b>The enlargement or creation of new exterior window or door openings as a material alteration to an elevation of a dwelling where the affected elevation is a principal elevation</b></li> <li>• <b>The demolition or erection of boundary walls, stone walls,</b></li> </ul>



**APPENDIX 2**  
**Plan of the area subject to the Article 4 Direction**





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