

Public Document Pack

AGENDA FOR

PLANNING CONTROL COMMITTEE



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To: All Members of Planning Control Committee

Councillors : G McGill (Chair), C Boles, D Duncalfe,
U Farooq, J Harris, M Hayes, B Ibrahim, D Quinn,
G Staples-Jones, D Vernon and M Walsh

Dear Member/Colleague

Planning Control Committee

You are invited to attend a meeting of the Planning Control Committee which will be held as follows:-

Date:	Tuesday, 22 July 2025
Place:	Council Chamber, Bury Town Hall
Time:	7.00 pm
Briefing Facilities:	If Opposition Members and Co-opted Members require briefing on any particular item on the Agenda, the appropriate Director/Senior Officer originating the related report should be contacted.

AGENDA

1 APOLOGIES FOR ABSENCE

2 DECLARATIONS OF INTEREST

Members of the Planning Control Committee are asked to consider whether they have an interest in any of the matters on the Agenda and, if so, to formally declare that interest.

3 MINUTES OF THE MEETING HELD ON THE 24TH JUNE 2025 *(Pages 3 - 6)*

The Minutes of the meeting held on Tuesday the 24th June 2025 are attached.

4 PLANNING APPLICATIONS *(Pages 7 - 98)*

Reports attached.

5 DELEGATED DECISIONS *(Pages 99 - 110)*

A report from the Head of Development Management on all delegated planning decisions since the last meeting of the planning control committee is attached.

6 PLANNING APPEALS *(Pages 111 - 122)*

A report from the Head of Development Management on all planning appeal decisions since the last meeting of the Planning Control Committee is attached.

7 SITES OF BIOLOGICAL IMPORTANCE: 2022 REVIEW *(Pages 123 - 128)*

A report from the Head of Development Management identifies the latest changes made to the GM Register of Sites of Biological Importance for the Borough. It also describes the purpose and application of the Register. During the review period 2022 no sites were added to or removed from the Register, however gains were made at three sites.

8 URGENT BUSINESS

Any other business which by reason of special circumstances the Chair agrees may be considered as a matter of urgency.

Minutes of: **PLANNING CONTROL COMMITTEE**

Date of Meeting: 24th June 2025

Present: Councillor G McGill (in the Chair)
Councillors S Arif, C Boles, D Duncalfe, U Farooq, D Green, J Harris,
B Ibrahim, D Quinn, G Staples-Jones and M Walsh

Public Attendance: 5 members of the public were present at the meeting.

PCC.1 APOLOGIES FOR ABSENCE

Apologies for absence were submitted by Councillor M Hayes.

Councillors D Green acted as a substitute representative for Councillor Hayes.

PCC.2 DECLARATIONS OF INTEREST

Councillor Harris placed on record that she was a member of the Jewish Burial Board in relation to the planning application on the agenda 69495, purposed burial ground, Land at Old Hall Lane, Whitefield.

Having sought legal advice, she had an open mind for the planning application and therefore would remain in the meeting during deliberations of the application and take part in the determination and voting.

Councillor Walsh placed on record that she lived in the local area in relation to the planning application on the agenda 71438, Change of use from care home to 9-bedroom House of Multiple Occupation, 53 Bury Street, Radcliffe.

Having sought legal advice, she had an open mind for the planning application and therefore would remain in the meeting during deliberations of the application and take part in the determination and voting.

PCC.3 MINUTES OF THE MEETING HELD ON THE 29TH MAY 2025

Delegated decision:

That the Minutes of the meeting held on the 29th May 2025 be approved as a correct record and signed by the Chair.

PCC.4 PLANNING APPLICATIONS

A report from the Head of Development Management was submitted in relation to applications for planning permission.

There was supplementary information to add in respect of application numbers 69495 and 71520.

The Committee heard representations from some applicants in respect of the applications submitted. This was limited to three minutes for the speaker.

Delegated decisions:

1. That the Committee **Approved with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report submitted with additional conditions in relation to the inclusion of swift bricks along with bat/bird boxes and a Sustainable Urban Drainage System (Suds) scheme and subject to all other conditions included: -

Land at side of 31-33 Victoria Court, Ryecroft Avenue, Tottington, Bury, BL8 3GY

Erection of 1 no. detached dwelling; Alterations to parking areas at front of 31 & 33 Victoria Court

2. That the Committee **Approved with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report submitted with an additional condition in relation to an EV charging scheme submitted and approved prior to occupation and subject to all other conditions included: -

53 Bury Street, Radcliffe, Manchester, M26 2GB

Change of use from care home (Class C2) to 9-bedroom (single occupancy) House of Multiple Occupation (HMO) (Sui Generis)

3. That the Committee **Approved with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and the revised conditions contained in the supplementary information submitted and subject to all other conditions included: -

Land at Old Hall Lane, Whitefield, M45 6TN

Proposed burial ground

4. That the Committee **Defer the Application** for a site visit to take place due to unclear plans and appropriate photos of the site and to clarify the location and proposals:-

65 Windsor Road, Prestwich, Manchester, M25 0DB

Change of use from shop to restaurant and the retention of extract flue and AC unit

PCC.5 DELEGATED DECISIONS

A report from the Head of Development Management was submitted listing all recent planning application decisions made by Officers using delegated powers since the last meeting of the Planning Control Committee.

Delegated decision:

That the report and appendices be noted.

PCC.6 PLANNING APPEALS

A report from the Head of Development Management was submitted listing all recent planning and enforcement appeal decisions since the last meeting of the Planning Control Committee.

Delegated decision:

That the report and appendices be noted.

PCC.7 URGENT BUSINESS

No urgent business was reported.

COUNCILLOR G MCGILL
Chair

(Note: The meeting started at 7.00pm and ended at 8.15pm)

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Title	Planning Applications
To:	Planning Control Committee
On:	22 July 2025
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01 **Township Forum - Ward:** Bury West **App No.** 71738

Location: St Stephens C Of E Primary School, Colville Drive, Bury, BL8 2DX
Proposal: Erection of new 2.4m high boundary fencing and access gates
Recommendation: Approve with Conditions **Site** N
Visit:

02 **Township Forum - Ward:** Bury East **App No.** 71834

Location: Bury Interchange and land bounded by Pyramid Park/East Lancashire railway line, Knowsley Place/Duke Street, Bury, BL9 0EJ
Proposal: Full planning application for the infill of the existing underpass, engineering works (including remediation works; foundation/piling works; and other associated engineering works) to recontour the land within Pyramid Park to tie into existing levels, the construction of a fully accessible pedestrian bridge structure (including alterations to Metrolink-related infrastructure) across the existing Metrolink line to allow access between Knowsley Place, the Metrolink platform (via lift and stairs) and Pyramid Park; improvements to the existing Metrolink platforms and canopies; construction of a new sloped footpath with stairs within Pyramid Park site from bridge; hard/soft landscaping; and associated drainage and lighting schemes.
Recommendation: Approve with Conditions **Site** N
Visit:

03 **Township Forum - Ward:** North Manor **App No.** 71963

Location: Ivy House, Bolton Road West, Ramsbottom, Bury, BL0 9RW
Proposal: Variation of condition no.2 (approved plans) on planning permission 65114 (1 no. dwelling):
Amendments to previously approved dwelling and garage - size, position and external alterations
Recommendation: Approve with Conditions **Site** N
Visit:

04 **Township Forum - Ward:** Prestwich - Sedgley **App No.** 71520

Location: 65 Windsor Road, Prestwich, Manchester, M25 0DB
Proposal: Change of use from shop to restaurant and the retention of extract flue and AC unit
Recommendation: Approve with Conditions **Site** Y
Visit:

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Ward: Bury West

Item 01

Applicant: Sycamore Church of England Trust

Location: St Stephens C Of E Primary School, Colville Drive, Bury, BL8 2DX

Proposal: Erection of new 2.4m high boundary fencing and access gates

Application Ref: 71738/Full

Target Date: 18/07/2025

Recommendation: Approve with Conditions

Description

The application relates to a primary school which is located within an established residential area. The school is accessed via a short road from Colville Drive between Nos 12 and 14 which leads to the car park and the school buildings located in the southern part of the site with the school playing fields beyond to the north, east and west.

A linear piece of land at the school site along the north western boundary is part of the Barracks Lodge Site of Biological Importance (SBI) and a wooded area and the school playing fields are a Protected Species Site for Great Crested Newts (gcn)

The application is for the erection of new 2.4m high boundary fencing, new internal 1.8m high fence and new 2.4m high access gates to replace the existing at the school entrance.

The new 2.4m high fence would be a weldmesh type and would run from the boundary with the rear of No 22 Colville Drive westwards along the rear of houses up to No 45 Newington Drive. It would be off-set from the boundary with these neighbours by 1.5m.

The fence would then be directed eastwards into the school site to follow the boundary line of the wooded area (the existing fence along this boundary would be removed) whereon it would continue northwards along the line of the woods to the top end of the school playing fields.

A single gate from the playing fields to the woods would provide an access for children and staff.

The proposed 1.8m high fence would be erected internally to demarcate a safe pedestrian access from the site access to the entrance to the main school building which is permitted development.

New 2.4m high vehicular and pedestrian gates would be located at the site entrance to the car park.

Relevant Planning History

48200 - Single storey building and associated works for childcare services; extension to playground; additional parking provision - Approve with Conditions 22/08/2007

54309 - Installation of 2.4m high paladin fencing/gates & 4m high ball stop fencing (resubmission)

- Approve with Conditions 28/09/2011

55188 - Installation of 2.45m high paladin fencing with single access gate. - Approve with Conditions 11/06/2012

63084 - Two storey extension at rear - Approve with Conditions 18/09/2018

Publicity

Letters sent on 23/5/2025 to 59 properties

5 objections received with the following comments -

- The high security CLD Rotop Rigid fencing will present us with a severe, imposing, prison-like appearance along our boundary wall.
- There is no explanation of the 'high' safeguarding issues which require 2.4m fencing.
- There are schools in the local area with much lower fencing on the roadside.
- The installation of the fencing 1.5m from the boundary will require removal of many mature/young trees and vegetation that has grown, unmanaged, up to and along the boundary fencing from No 45 - 35 Newington Drive.
- I would also like to point out that on quite a lot of property boundaries, on the School side, very high trees are growing. The 70 foot high trees would be more of a serious safety issue for the children and residents rather than most of the points raised as immediate high risk safety in that document.
- Ambiguity of the application with reference to the different fencing types proposed
- The Condition report states the area is deprived and has a high rate of crime which is news to residents who consider it safe.
- There is no evidence to show there is SEND provision on the site.
- There should be no safety concerns and no need for a fence where the playing fields back onto the residents houses.
- We are one community and no one is out to harm anyone in our neighbourhood.
- The high fence would cause a visual block and take away part of the residents views.
- Trees planted along the SBI site have already created a block to resident's views into the field.
- Draw attention to the fact the site is an SBI and area of protected species for great crested newts and the Common Toad which is not in the application and it should not have been made valid without additional information.
- the application should be subject to BNG.
- There is no mention of what measures are going to be put in place for this work to be completed directly in the SBI.
- Our deeds state we cannot erect a fence higher than the boundary fence currently installed, yet the proposed fence will be considerably higher than the current one.
- We have previously approached the school regarding the management of the trees and vegetation within the SBI. We were told by the school the trees had nothing to do with them as the trees in question were within the SBI and therefore protected.
- Currently, the school does not maintain the grounds to a safe standard.

Revised plans received to re-position part of the fence to run internally within the school grounds and new fencing details.

Neighbours re-notified by letter on 23/6/25.

One comment received.

- Why is there now a proposed 4 metre gate access directly opposite the SBI corridor? This would raise concern that such a big access point will consistently be used as a thoroughfare area by people/ vehicles etc for access to the gated school area, and therefore trampling all over the wildlife corridor to get to the gates, causing erosion to the land and damage to wildlife of the SBI corridor, which is graded A scientific importance. It could not have been positioned in a worse place? An ecologist should be asked on their opinion on this position, as there is no space between the gates and the corridor to the SBI.
- Where is the ecologist report specifically in relation to the great crested newts and how the works taking place so close by will affect them?

Those who have made representations have been informed of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objection

Pre-start Conditions - Not relevant

Development Plan and Policies

NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
CF1/1	Location of New Community Facilities
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
EN1/5	Crime Prevention
EN6/1	Sites of Nature Conservation Interest SSSI's NNR's
EN6/3	Features of Ecological Value
JP-C2	Digital Connectivity
JP-S2	Carbon and Energy
JP-P5	Education, Skills and Knowledge
JP-G7	Trees and Woodland
JP-G8	A Net Enhancement of Biodiversity and Geodiversity

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle

The proposed fencing would address the identified shortfall for compliance with the required safeguarding standards for the safety and the security of the children and the school.

A Condition Report has been submitted which identifies that the existing perimeter fencing and gates are in poor condition, not fit for purpose and do not meet the minimum security requirements for schools.

The proposed development is therefore required to provide safeguarding of the children, staff and visitors to the school and the report concludes that urgent action is required.

It is therefore considered that in principle the proposed development would be acceptable and comply with EN1/2, CF1/1 and JP- P5.

Siting and impacts on the area

Impacts on neighbours

Part of the 2.4m high mesh fence would be located along the boundary of No 22 Colville

Drive to No 45 Newington Drive. The fence would be off-set from the neighbours properties by 1.5m. A gate within this length of fence would be provided to access the intervening land for maintenance purposes.

From No 45 Newington Drive, the fence would continue eastwards into the school grounds and away from these houses, following the southern and eastern boundaries of the wooded area before proceeding northwards to the top of the school playing fields.

The proposed fence would therefore not affect land or trees associated with the adjacent residential properties.

Impacts on SBI

In terms of the siting and ecological impacts, the fence would not be erected around or on any part of the SBI and the fence would not affect or impact this area.

Impacts on the wooded area

An Arboricultural Report has been submitted to assess the position of the fence in relation to the wooded area within the school grounds.

The Report determines that some pruning works would be required and one tree, identified as a dead Aspen advised to be removed but this would be required not to facilitate the development.

The existing fence along the southern edge of the wooded area would be removed and replaced by the new 2.4m high fence. As the fence would be located close to the trees along the boundary of the woods, the Report advises that it be installed using hand tools and under the supervision of an arboriculturalist. This can be conditioned.

Impacts on Protected Species

The school site also falls within an area identified for the protected species Great Crested Newts. Whilst objectors raise concerns that there will be 'indirect' impacts upon species movements, the Proposed Sections plan A-A & B-B, demonstrates that there will be a 100mm gap at the bottom of the fence which would allow species known in the area to access the fields and wooded areas.

GMEU have confirmed they are aware of the presence of GCN but do not regard a survey of the area would be required as works would be minor. It is advised however, that the applicant seek the advice from a professional ecologist as to whether or not the works would require a license or whether precautionary measures would suffice. This would be included an informative to the applicant.

Biodiversity Net Gain

In terms of Biodiversity Net Gain (BNG), the regulations define impact as "loss of degradation such that there is a decrease in the biodiversity value of that habitat". The proposals for the fences would not impact the habitat in such a way that there would be a loss or degradation and as such, BNG does not apply.

Internal fence

The proposed 1.8m high fence would be located internally, one leading from the school entrance to the building and the another provided between two buildings to the north and as such this fence would not affect resident's properties or cause ecological or arboricultural issues.

This fence would be permitted development.

It is therefore considered that given the siting and position of the fence the proposed development would be acceptable and comply with policies EN1/2, CF1/1, JP-P5, EN6/1 and EN6/3.

Visual impacts

The proposed fences would be a weldmesh types which are commonly found at schools and public areas, providing security without significant harmful visual impacts due to their 'see-through' appearance.

There are boundary fences and trees along the rear gardens of these houses and the proposed 2.4m high fence would be off-set from the boundary of the neighbours rear gardens and fences by 1.5m.

There is a difference in ground levels between the dwellings and the school, with the school set at a lower level. The fence would be marginally higher behind Colville Drive by 10cm and lower behind the houses on Newington Drive by 10.5cm. Given the set back from rear boundaries by 1.5m, comparative height of the proposed fence to the neighbours boundary fences, screening from trees and the weldmesh see through appearance of the fence, visual impacts to the neighbours properties are considered not to be significant.

The vehicular access and pedestrian gate proposed to the school entrance would be 2.4m high. The school is accessed via a short road off Colville Drive and given the set back from the street, it is considered the gates would not be harmful to the streetscene or affect the outlook of adjacent properties.

The other fence at 1.8m high would be positioned internally and not visible from outside the site, but would not in any case require planning permission.

It is therefore considered that the proposed development would be acceptable and would comply with policies EN1/2 and CF1/1.

Response to objections

- The highest part of the proposed fencing and gates would be 2.4m. There would be a 4m wide double entrance gate to the school entrance. The entrance gate to the wooded area from the school grounds would be for pedestrian access purposes only and use by the school.
- Objections relating to ecology, the SBI, trees and protected species have been covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings numbered -

Existing site plan TA-01
Proposed site plan TA-02 rev G
Safeguarding Scheme - fencing TA-03
Safeguarding Scheme - fencing TA-04
Arboricultural Report ref 22961/TT

and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.

3. The development hereby approved shall be carried out in accordance with the mitigation measures and recommendations detailed in the submitted Arboricultural Report ref 22961/TT.

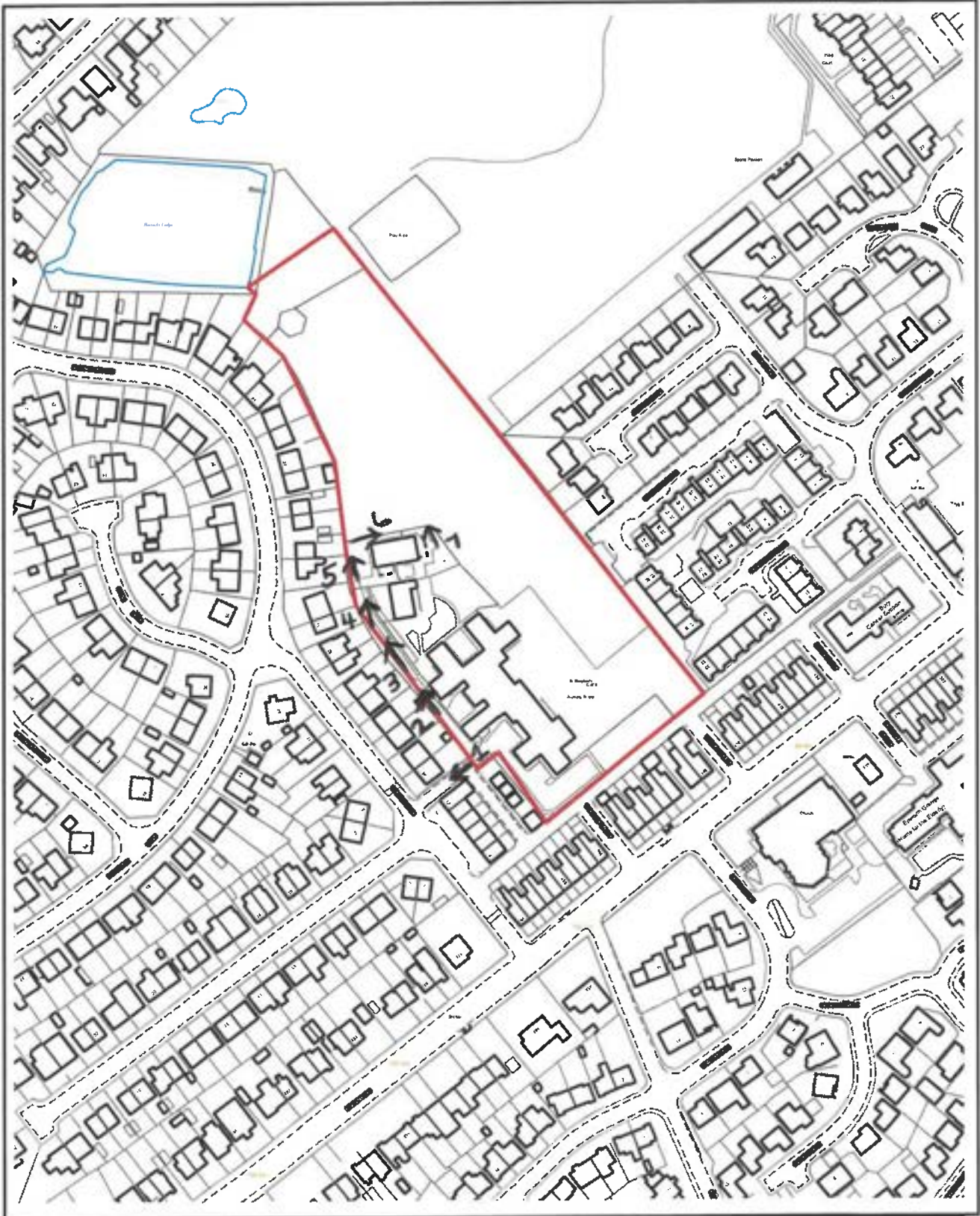
Reason. To avoid the loss of trees which are of ecological and amenity value to the area pursuant to Policy JP-G7 - Trees and Woodland and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

4. Beneath all areas of the canopies of the trees/Root protection areas, all construction work for the development hereby approved must be 'hand-dig' only under arboricultural supervision. No storage of materials or equipment is allowed.

Reason: To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and PfE Policy JP-G7 - Trees and Woodland.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APPLICATION NUMBER: 71738

**ADDRESS: St Stephens C of E Primary School
Colville Drive, Bury**

Planning, Environmental and Regulatory Services



Bury
Council

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71738

Photo 1



Photo 2



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Photo 3



Photo 4



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Photo 5



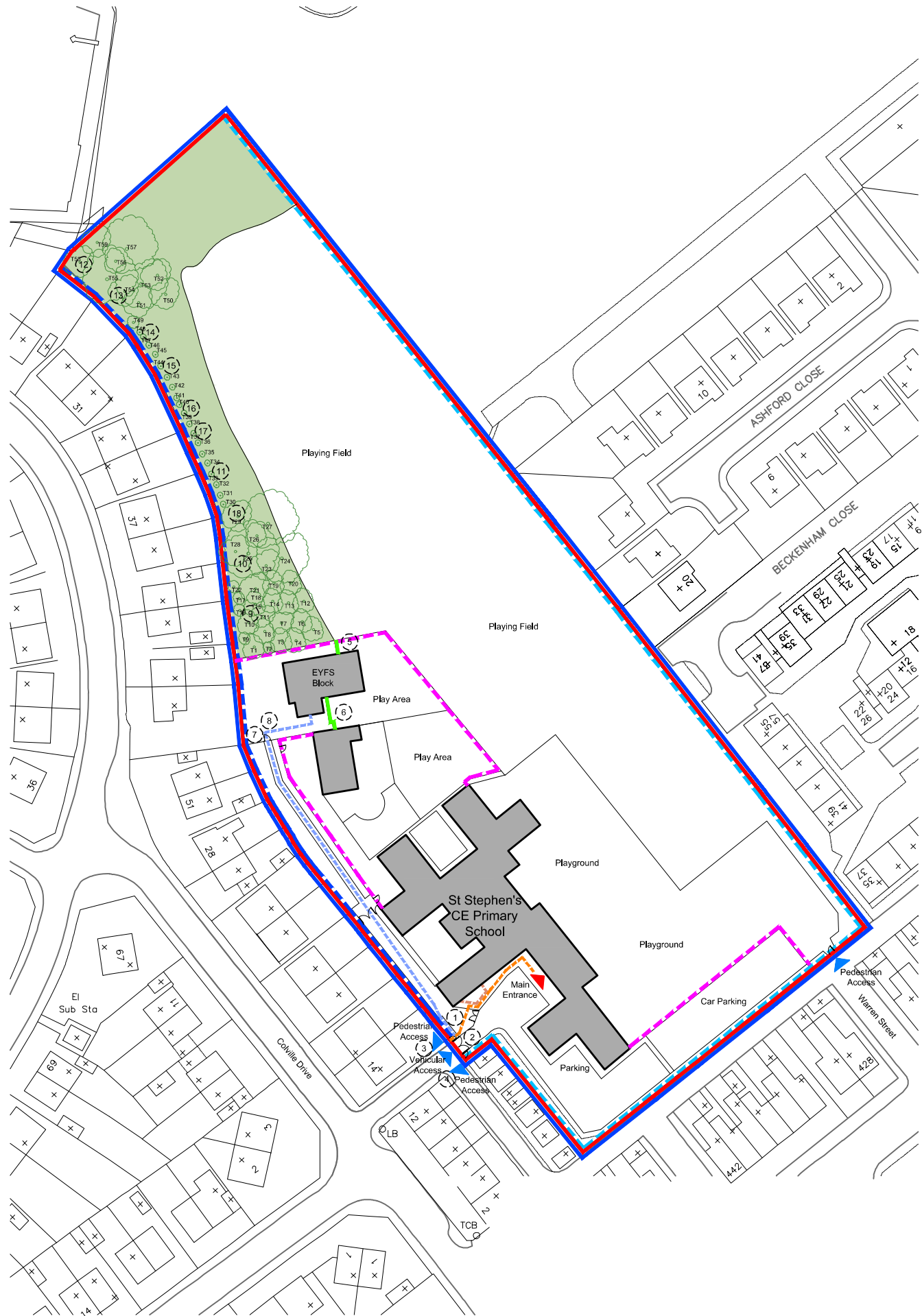
Photo 6



71738

Photo 7





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NOTES

KEY:

- Denotes line of land ownership boundary
- Denotes line of site boundary
- Denotes photograph location & reference. Please refer to separate Condition Survey Report.
- Denotes pedestrian access route to main entrance
- Denotes pedestrian access route to EYFS building entrance
- Denotes line of existing 1.6m high chain link fence (to be removed) in front of 1.85m high residential grade timber panel & post fencing
- Denotes line of existing 2m high weldmesh fencing to be retained
- Denotes line of existing 2.4m high mesh fencing to be retained
- Denotes line of existing 1.2m high mesh fencing to be replaced
- Denotes line of existing 2m high fencing to be removed
- Denotes area of existing vegetation & woodland
- Tree

Rev	Date	Comments	By
B	09/06/25	Trees Added	JRTM
A	21/05/25	Ownership Boundary added	JRTM

STATUS
TENDER

Client
Sycamore MAT
St Stephen's Church of England Primary School,
BL8 2DX

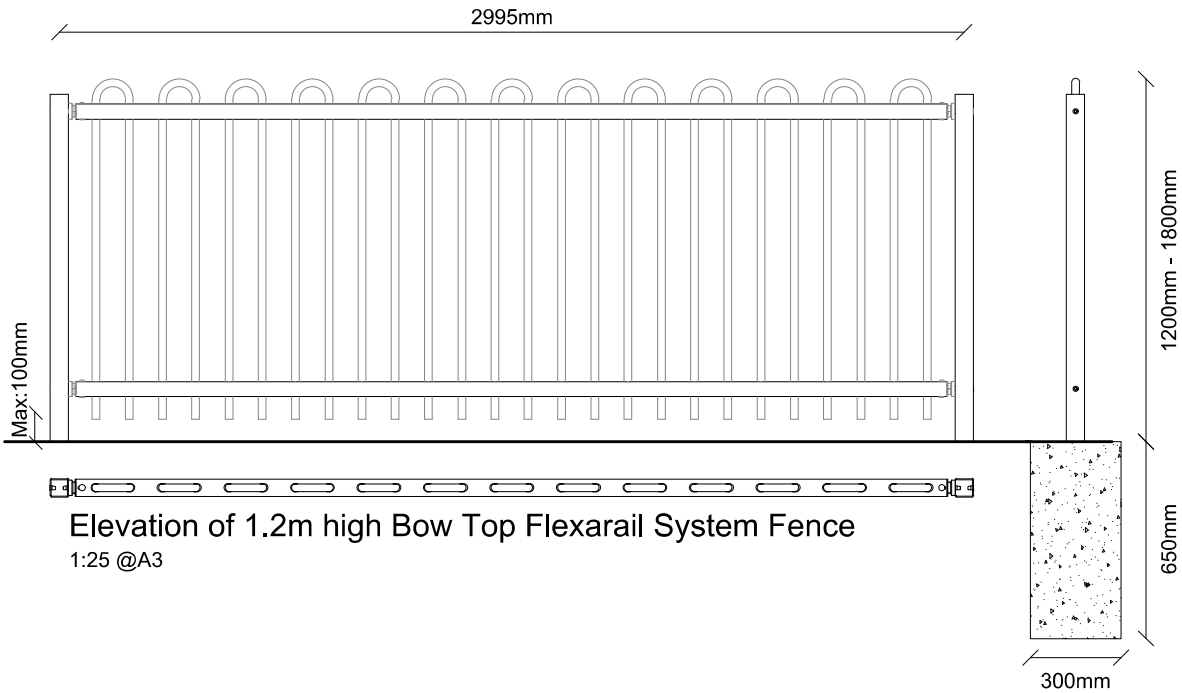
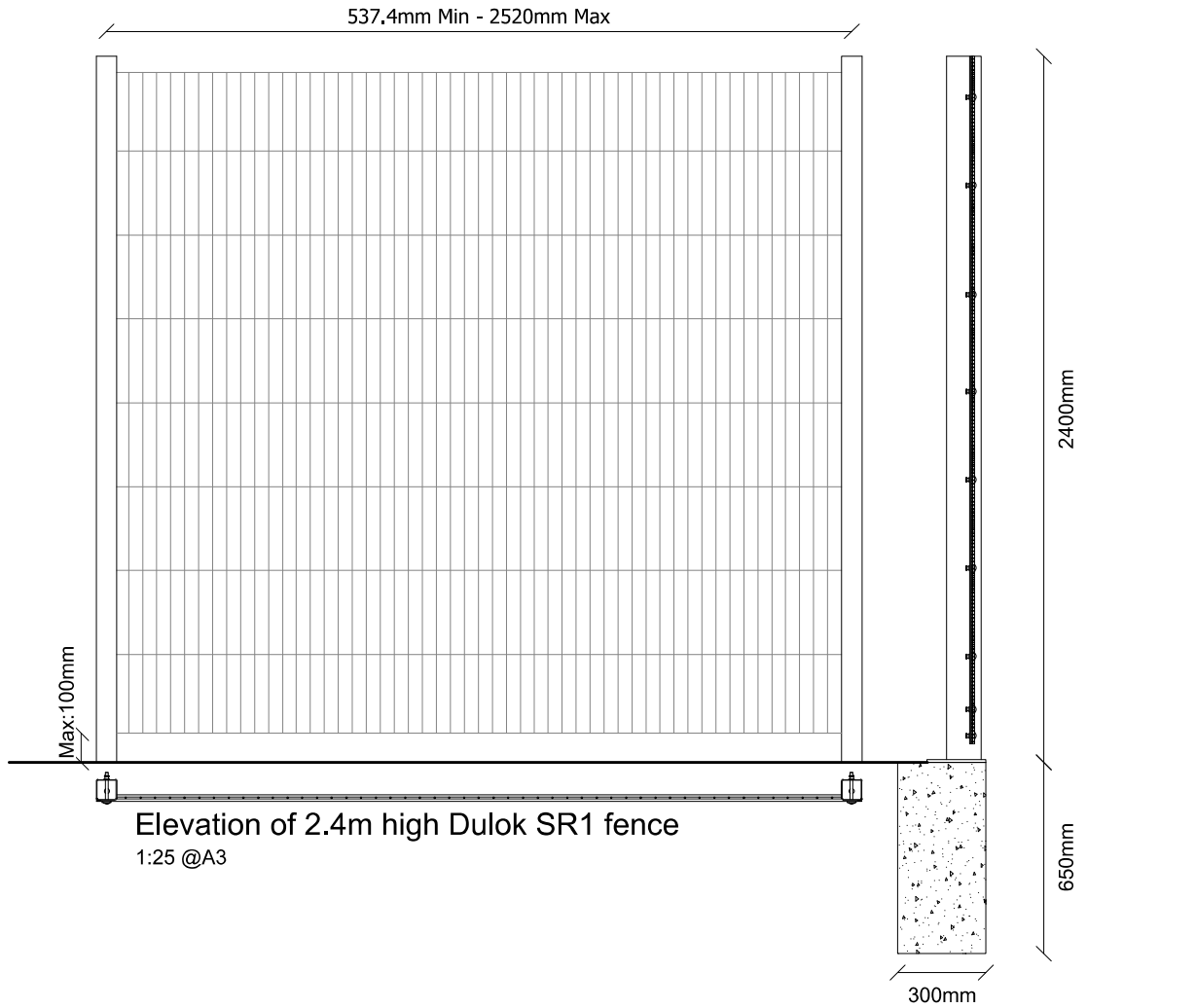
Project Title
Safeguarding Scheme - Fencing

Drawing Title
Existing Site Plan

Scale 1:1250@A3	Drawn by JRTM	Date March 2025
Job no. 2501-80	Drawing no. TA-01	Revision no. B



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NOTES

Whilst reference is made to manufacturers names or ranges, refer to schedule of works for details or alternatives etc, or other equal similar & Approved

Rev	Date	Comments	By
B	09/06/25	Image Added	JRTM
A	09/06/25	Amendments	JRTM

STATUS

TENDER

Client

Sycamore MAT
St Stephen's Church of
England Primary School,
BL8 2DX

Project Title

Safeguarding Scheme -
Fencing

Drawing Title

Detail Sheet 1

Scale 1:1250@A3	Drawn by JRTM	Date March 2025
Job no. 2501-80	Drawing no. TA-03	Revision no. B

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NOTES

Rev	Date	Comments	By

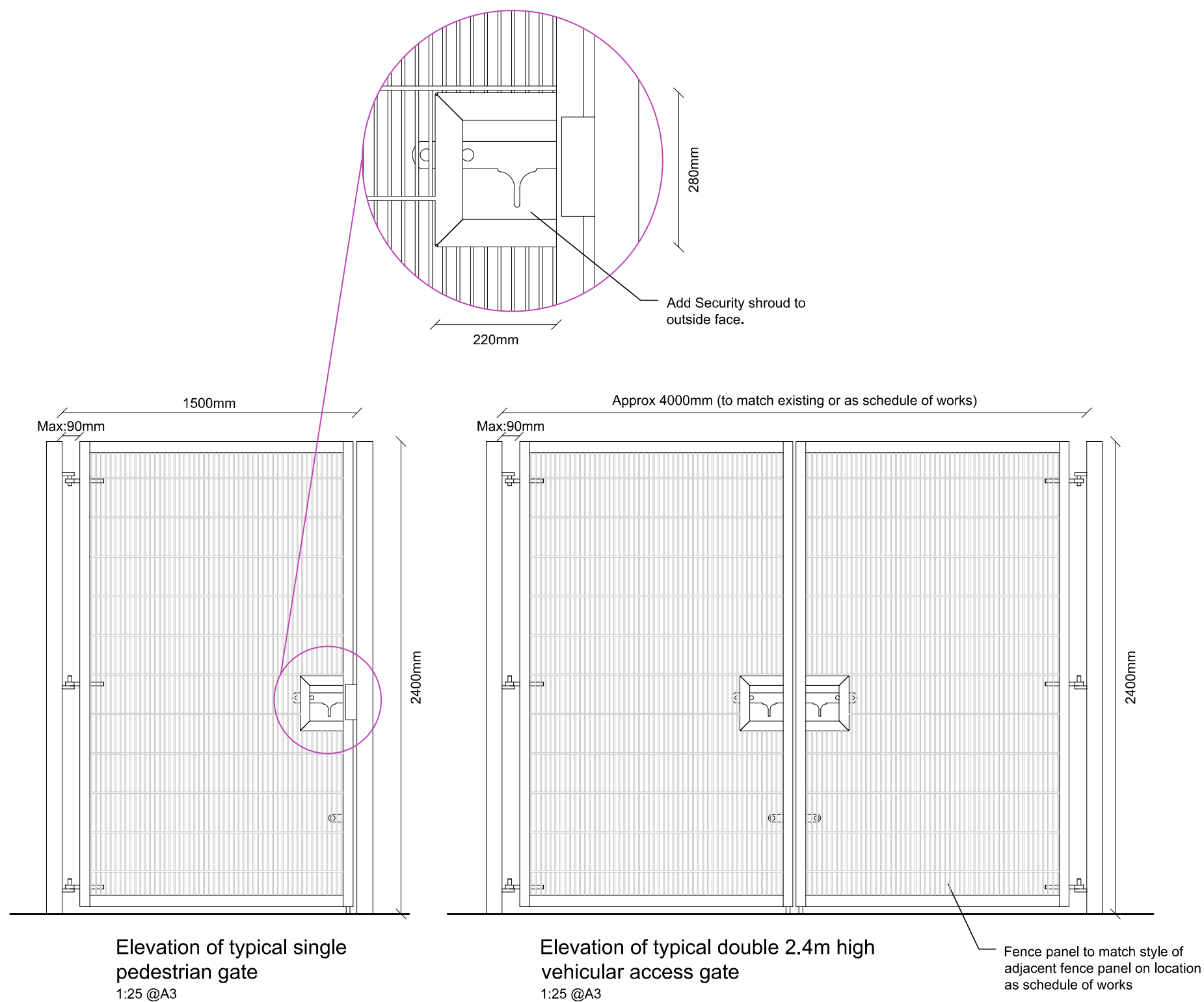
STATUS
TENDER

Client
Sycamore MAT
St Stephen's Church of
England Primary School,
BL8 2DX

Project Title
**Safeguarding Scheme -
Fencing**

Drawing Title
Detail Sheet 2

Scale 1:1250@A3	Drawn by JRTM	Date March 2025
Job no. 2501-80	Drawing no. TA-04	Revision no. -



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NOTES

KEY:

- Denotes line of land ownership boundary
- Denotes line of site boundary
- Denotes pedestrian access route to main entrance
- Denotes pedestrian access route to EYFS building entrance
- Denotes line of new 2.4m high CLD Dulok SR1 weldmesh fencing offset 1.5m from boundary line
- Denotes line of new 1.8m high CLD Rotop weldmesh fencing
- Denotes new 1.5m wide x 2.4m high CLD Lockmaster single gate with Dulok SR1 weldmesh infill
- Denotes new 1.5m wide x 2.4m high CLD Lockmaster single pedestrian gate with Dulok SR1 weldmesh infill & access controls linked back to School office
- Denotes new 4m wide x 2.4m high CLD Lockmaster automated double gates with Dulok SR1 weldmesh infill & access controls linked back to School office
- Maglock control only not limited to access control.
- Camera
- Existing 2400mm high fence
- Denotes line of existing 2m high weldmesh fencing to be retained

Rev	Date	Comments	By
A	21/05/25	Ownership Boundary added	JRTM

STATUS
TENDER

Client
Sycamore MAT
St Stephen's Church of England Primary School,
BL8 2DX

Project Title
Safeguarding Scheme - Fencing

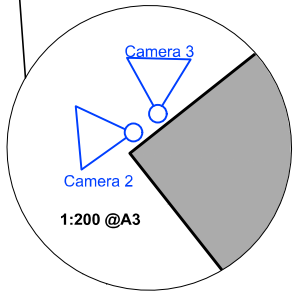
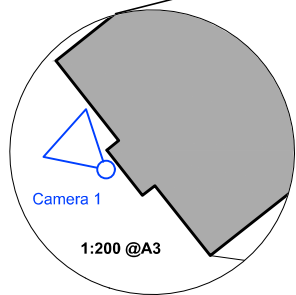
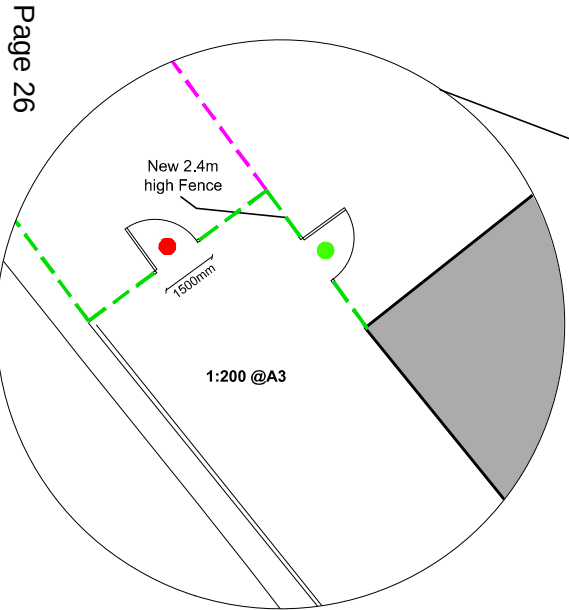
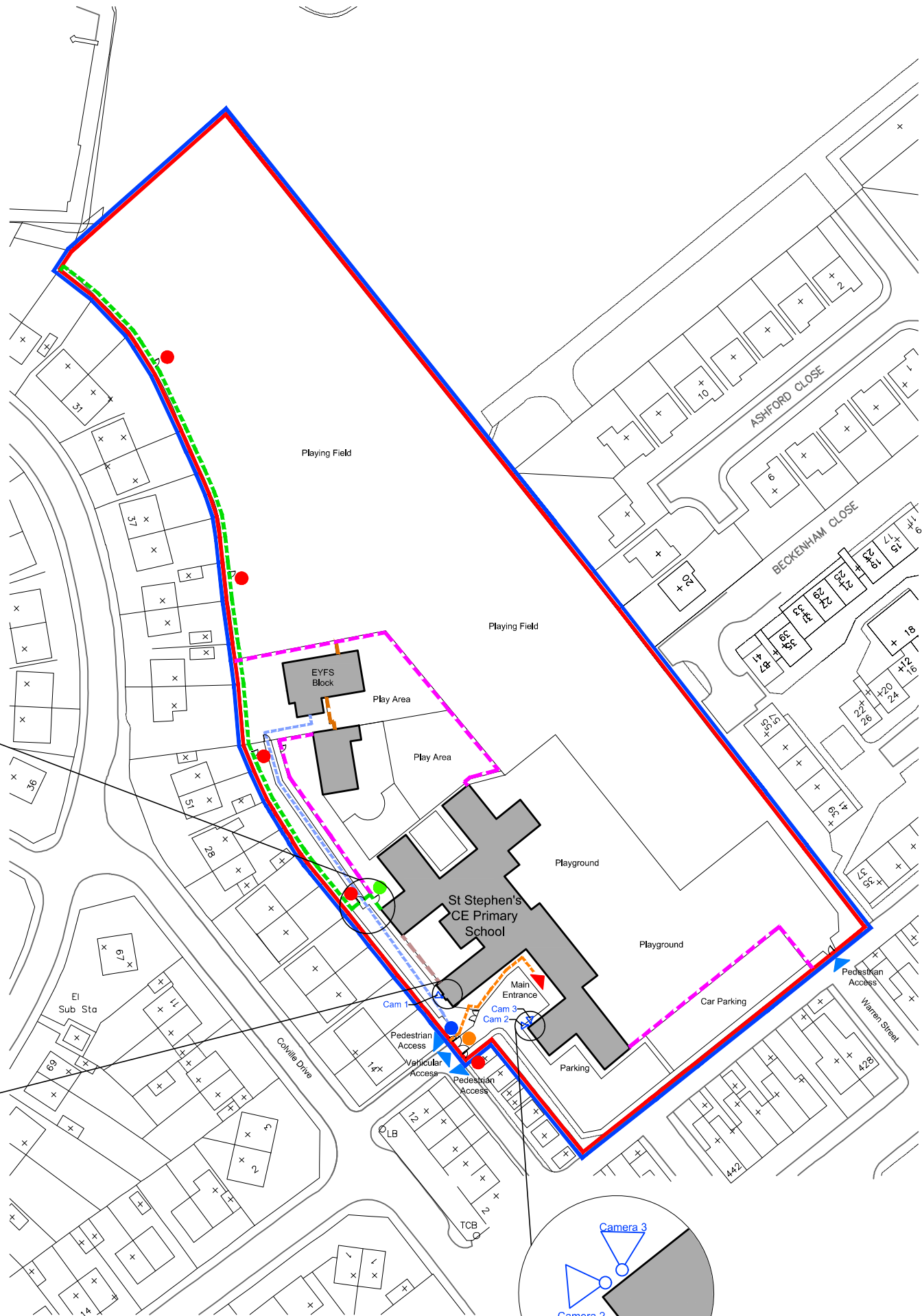
Drawing Title
Proposed Site Plan

Scale 1:1250@A3	Drawn by JRTM	Date March 2025
Job no. 2501-80	Drawing no. TA-02	Revision no. A



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Ward: Bury East

Item 02

Applicant: Transport for Greater Manchester (TfGM)

Location: Bury Interchange and land bounded by Pyramid Park/East Lancashire railway line, Knowsley Place/Duke Street, Bury, BL9 0EJ

Proposal: Full planning application for the infill of the existing underpass, engineering works (including remediation works; foundation/piling works; and other associated engineering works) to recontour the land within Pyramid Park to tie into existing levels, the construction of a fully accessible pedestrian bridge structure (including alterations to Metrolink-related infrastructure) across the existing Metrolink line to allow access between Knowsley Place, the Metrolink platform (via lift and stairs) and Pyramid Park; improvements to the existing Metrolink platforms and canopies; construction of a new sloped footpath with stairs within Pyramid Park site from bridge; hard/soft landscaping; and associated drainage and lighting schemes.

Application Ref: 71834/Full

Target Date: 08/07/2025

Recommendation: Approve with Conditions

Description

The application relates to the Metrolink tram station and associated land.

The application site comprises approximately 1.03 ha of an irregular land form which has a boundary with Pyramid Park and Market Street to the east, East Lancashire railway to the south, The Premier Inn, Knowsley Place and Q Park to the west, and Angoulême Way and Bury Interchange to the north.

The application site includes the Metrolink platform and railway infrastructure, part of Pyramid Park, an area of public realm at Union Square off Duke Street, existing pedestrian subway below the Metrolink track and a track across Pyramid Park to Market Street.

This application seeks full planning permission for a southern access which involves the construction of a footbridge with associated works to facilitate access to the Metrolink tram station at Bury from Union Square (off Knowsley Street). The application is Phase 1 of part of a wider strategic redevelopment of Bury Interchange.

The application comprises two main elements -

- the construction of a fully accessible pedestrian bridge structure (including alterations to Metrolink-related infrastructure) across the existing Metrolink line to allow access between Knowsley Place, the Metrolink platform (via lift and stairs) and Pyramid Park
- improvements to the existing Metrolink platforms and canopies

Associated works comprise -

- construction of a new sloped footpath with stairs within Pyramid Park site from bridge
- Infill of the existing underpass
- engineering works (including remediation works; foundation/piling works and other associated engineering works) to recontour the land within Pyramid Park to tie into existing levels
- hard/soft landscaping
- associated drainage and lighting schemes.

Two applications, one for a temporary access staircase between Angouleme Way underpass and the Metrolink platform (ref 72017) and a temporary site compound to serve the proposed development and future redevelopment of the Bury Interchange (ref 72044) have been submitted separately.

Relevant Planning History

70903 -Land remediation works, construction of vehicular access road and footway from Market Street with associated infrastructure and structural works - Approved 19/12/25

Publicity

Letters sent to 20 nearby properties on 11/4/25.

Site notice posted 25/4/25

Press advert 17/4/25

One comment received from an interested party in relation to the development at Pyramid Park.

Ecology / BNG

Need to ensure that the BNG strategies run independently and therefore support GMEU's comments that a clear delineation needs to be made between the BNG strategies for Pyramid Park and the TfGM scheme and so the report needs to be updated to reflect that.

Design and Access Statement

A potential pedestrian route to Market Street is shown running along northern boundary of Pyramid Park site. Consider that it would be more appropriate for access to Market Street to be through the Pyramid Park site and up the existing ramp route. The Pyramid Park Habitat Management and Monitoring plan has been submitted for consideration in order to verify the BNG strategy and this area is proposed for new planting and enhancement so should not allow any public access.

General point

There is an absence of images of views of the ramp / stairs that terminate in Pyramid Park, when viewed from Pyramid Park. Important to consider the interface between the two, albeit there is no approved residential scheme on Pyramid Park and so this strictly cannot be a material consideration in respect of the TfGM application. However, it is important to understand potential impacts on any future scheme at Pyramid Park.

The interested party has been informed of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objection subject to conditions

Borough Engineer - Drainage Section -No response received

Environmental Health - Contaminated Land - No objection subject to condition.

Environmental Health - Pollution Control - No objection subject to a condition.

Public Rights of Way Officer - No objection

Property & Technical Services - Estates Consultancy - No response received.

Greater Manchester Police - designforsecurity - No objection

United Utilities (Water and waste) - Require conditions for the submission of a drainage scheme and details of the means of ensuring the water main that is laid within the site boundary is protected from damage as a result of the development.

The Coal Authority - No objection

Greater Manchester Ecology Unit - No objection subject to condition.

Active Travel England - No comments to make

Metrolink - No objection in principle. Recommend conditions.

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions

Development Plan and Policies

NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN1/7	Throughroutes and Gateways
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN7/2	Noise Pollution
RT4/3	Visitor Accommodation
CF2/1	Bury College
HT2/1	The Strategic Route Network
HT2/4	Car Parking and New Development
HT3/1	Schemes to Assist Bus Movement
HT3/2	Bus Services
HT3/3	Design of Roads for Bus Routes
HT5/1	Access For Those with Special Needs
HT6/1	Pedestrian and Cyclist Movement
HT6/3	Cycle Routes
Area	Central Shopping Area
BY6	
Area	Manchester Road/Knowsley Street
BY4	
Area	Townside/Market Street
BY7	
JP-Strat1 2	Main Town Centres
JP-P1	Sustainable Places
JP-P6	Health
JP-J1	Supporting Long-Term Economic Growth
JP-C1	Our Integrated Network
JP-C2	Digital Connectivity
JP-C3	Our Public Transport
JP-C5	Streets For All
JP-C6	Walking and Cycling
JP-C8	Transport Requirements of New Development
JP-S2	Carbon and Energy
JP-S3	Heat and Energy Networks
JP-S5	Clean Air
JP-S6	Resource Efficiency
JP-G2	Green Infrastructure Network
JP-G8	A Net Enhancement of Biodiversity and Geodiversity

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For

simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principles and background and application development

The proposed bridge access and platform improvement works would be the first stage of a phased redevelopment of the Bury Interchange facility.

The Metrolink currently experiences poor connectivity and particularly from the south of the town. Direct connectivity from Union Square had been incorporated into the layout around Knowsley Place but the solution envisaged that the time of implementing the Knowsley place scheme sought to provide an at-grade crossing. This was always difficult to achieve given the difficult alignment of the Metrolink line and line of sight on running into the station itself.

The construction of the access bridge would provide an alternative access with a new pedestrian route from Union Square to the west and Pyramid Park to the east. The new access would also enable the Metrolink to continue its operations whilst works are carried out to the second phase of development which would comprise the redevelopment of the Bus Interchange which is a key strategic aim of Transport for Greater Manchester (TfGM).

The proposed new access scheme aims to improve connectivity and facilitate increased travel by public transport as well as contributing to the future regeneration of the town centre and associated developments by providing;

- a direct pedestrian route from the south to the Metrolink platform. The access to the platform would be via a ramp and lift. There is currently no direct access to the Metrolink platforms from the south with users having to cross several junctions and main roads. The development would improve this situation.
- a new pedestrian link between Union Square and Pyramid Park which would replace the subway link which runs under the Metrolink and which has been fenced off for circa 14 years, being the subject of constant flooding. The subway route is not a welcoming access or path, feeling contained and foreboding and is generally a poor environment. The proposed footbridge aims to provide direct access and connections, whilst at the same time providing an open, pleasant and secure route for pedestrians and user of the Metrolink.
- a link and connection to a future residential scheme at Pyramid Park and access to Market Street beyond.
- a continued service and access to the platform during the construction phase which would be the subject of a separate planning application.

It is therefore considered that the proposed development would offer a number of benefits, not only to uses of the Metrolink station but by connecting and integrating areas of the town to aid permeability to and from the town centre and connecting areas earmarked or on the process of future regeneration.

The proposed development is therefore considered acceptable in principle and would comply with the principles of the Places for Everyone Joint Development Plan, Unitary Development Plan and the NPPF.

Bridge

The siting and design of the bridge has been driven by a number of factors, principally to improve connectivity and permeability from the south and between Union Square and Pyramid Park, strengthen connections to the town centre and improve the experience of

Metrolink customers. The challenge to achieve this has been to balance the delivery of a well designed and attractive feature to provide a safe, secure, functional and usable piece of infrastructure that will stand the test of time whilst at the same time meeting all technical and construction standards (to avoid the overhead cabling and other such infrastructure) and minimising the impact on Metrolink operations during construction.

The test has also been how to integrate the bridge within Pyramid Park to provide a level landing point, which is challenged by its undulating topography and which is currently being remediated for a future redevelopment.

Siting and layout

The design process has resulted in a solution to work with the existing levels from Union Square, with the bridge extending over the Metrolink platform and track to land at a similar height at Pyramid Park with an approx 800mm rise and fall along the length of the bridge. Whilst landing at a similar level at Pyramid Park, the topography is such that there is a difference in landform and therefore the proposal involves some engineering works to recontour this part of the Pyramid Park site and incorporate a ramped access with handrails that would exit from the bridge to provide a switchback route and graded descent to ground level to comply with accessibility standards.

Until Pyramid Park has been fully developed, access from the bridge to the park would be gated, becoming fully open once the site has been developed.

Access from the Metrolink platform to the bridge would be from a lift shaft which would be located to the south of the platform and an alternative stair access connecting to the eastern side of the platform. Both the lift and stairs would lead to an open landing area that would link to the bridge and which would provide a waiting area with bench seating for passengers. The nature of this design would be such that the platform's useable space would be increased southwards thus benefiting users of the platform.

Design

Integral to the design of the bridge is the safety of future users, adequate sightlines and natural surveillance being of paramount importance together with incorporating a robust, convenient and functional yet attractive route to the Metrolink platform. Structural and construction logistics have also played a large part in designing out the bridge and its features.

The bridge was originally developed at 2m wide but is now proposed to be 3m in width to provide users with more spacious movement, improved visual sight lines and facilitate access for both wheelchair and mobility scooter users.

Featured columns would support the bridge at either end and intermittent profiled 'U' sections along the bridge would maintain its structural integrity.

In terms of its appearance the aspiration was to develop a structure which was not only robust but a sculptured feature of the area with the intention to blend with both the urban and rural setting.

The bridge would be constructed from weathered steel sheeting, a material which has a warm and 'natural' tone and weathers well. The maximum height of the sides of the bridge would be 3m, the lower panels up to 1.5m would have solid panels with the upper part a perforated weathered steel plate finish for permeability and openness so that users would not feel contained or constrained.

Anti graffiti coating paint would be applied to the inside face of the bridge.

A single panel wide opening from the bridge to the platform would serve the lift and stairs flanked by perforated panels either side, to again provide that sense of openness and permeability.

Visual sight lines would be maintained along the full length of the bridge and lighting and CCTV would be provided across the bridge and at its access and egress points.

The lift shaft would be constructed of lightweight metal cladding with perforated panels to the upper part to maintain a visual outlook and similarly so for the staircase balustrades to maintain sight lines to and from the bridge.

Metrolink platform

The works to the platform would comprise alterations to the canopy, combining solid cladding with glazed sections along the length. The solid sections would be to the northern area of the platform where the canopy extends below Angouleme Way as this area is less open to natural light and difficult to keep clean whereas at the southern end of the platform which is more open, glazing sections would be incorporated to provide a lighter and more open feeling.

Part of the canopy width would be reduced to form a "winged" roof, which again would open up the area whilst still providing shelter.

Tactile paving and paving flags would form the surface and platform markings would be upgraded to be functional without adding clutter and confusion.

Overall, the works would provide a legible and more welcoming space and by consolidating areas of the platform and introducing new furniture and signage, the overall experience and usability of the platform would be bettered for travellers.

Subway infill

The proposal to infill the existing subway which is a Public Right of Way (PROW) is subject to a temporary closure. The infilling proposals would mean the permanent extinguishment of the PROW and thus require a stopping up order. The intentions of the proposals recognise the far from acceptable nature of the route and the bridge aims to provide an improved, safer route. The PROW issues are discussed below.

The subway has been closed off for approximately 14 years and experiences frequent flooding due to it being at the lowest land level in the area.. It is also an uninviting and unappealing route for users and has poor visibility from outside and within making users feel vulnerable and unsafe.

The bridge would be an open structure with a good range of visibility and would incorporate lighting and CCTV along its route and to the lift and stairs which would serve the platform.

The infill of the subway is therefore considered to be a positive element of the overall scheme.

Landscaping and Public Realm

The existing public realm area in and around Union Square is already pedestrian focused, with granite cobbles utilised to identify a clear pedestrian focused movement route through the site that is distinct from the materials utilised in the adopted highway. These existing granite cobbles would be reinstated at the entrance to the bridge from Union Square providing a continuity of material palette. Whilst there would be some loss of vegetation in and around the access to the bridge from Union Square abutment, the applicant has sought to enhance the planting in the retained areas with 3 no. new trees proposed.

This landscaping strategy is further expanded with scrub and meadow planting proposed on the embankment from Union Square towards the Metrolink tracks. The landscaping on the Pyramid Park side of the proposal includes woodland planting, grassland, and scrub planting alongside the introduction of individual trees. The access from Pyramid Park

would also include the introduction of vegetated retaining walls to complement the wider planting scheme. The Pyramid Park side of the proposal in particular is the focus for the biodiversity enhancements that the scheme would provide by including native planting intended to provide habitats for birds, bats and insects.

The proposed landscaping has been integrated into the wider public realm strategy for the site maintaining step free access from both the Union Square and Pyramid Park entrances. Benches are proposed at least every 50 metres along this accessible route. The applicant seeks to install signage and wayfinding throughout the site with inclusion of Metrolink signage at the entrances to the bridge, and to direct users to the entrance from the bridge to the platforms.

The proposed development would therefore comply with policy JP-G8 and the principles of the NPPF.

Conclusion

Central to the scheme has been the drive to not only improve connectivity from the south and linkages with Pyramid Park but also improve and enhance customer experience of the Metrolink.

The design and siting of the bridge together with works to the platform have evolved taking into account the aspirations and objectives to strengthen connections to the town centre, improve pedestrians flows, create safe, secure and usable environments, improve the usability of the Metrolink systems and importantly, consider the integration of the scheme ahead of the wider interchange future development.

The resulting scheme is considered to meet these objectives and aspirations.

The link bridge has been designed taking account of the existing levels at Union Square and Pyramid Park to minimise as far as possible, intrusive engineering operations. It's design would be functional, yet at the same time high quality and interesting and one which could become a focal point of the area.

The works to the Metrolink platform to replace canopy overhangs, consolidate signage and generally improve the flow and accessibility of the areas would improve and ease customer experience of travelling by tram. The lift and stairs which would link to the bridge would aide pedestrian and customer movement providing a seamless transition from the platform to the bridge.

The infill of the subway which has been unusable for a long period of time and in any event, not a particularly appealing or safe environment for pedestrians is considered to be a beneficial and positive aspect of the scheme.

Landscaping and integration of the development on the Pyramid Park site would add to the enhancement and visual appeal of this site, support local biodiversity and on the whole, contribute positively to the pleasant surroundings. Improvements to Union Square would enhance this public realm area.

It is therefore considered that the proposed development would meet the applicant's objectives and aspirations to providing a functional, usable but importantly a high quality scheme which would greatly improve connectivity and movement of pedestrians and Metrolink users and contribute to the future redevelopment of the Interchange site.

The proposed development would therefore comply with policies JP-S1, JP-P1, JP-C5 and the principles of the NPPF.

Impacts on the surrounding area

Pyramid Park

Planning permission has recently been granted for the remediation of Pyramid Park (ref 70903) to facilitate a future residential development. The eastern area of Pyramid Park is designated as a Grade B Site Of Biological Importance (SBI) and a Wildlife Corridor is routed east to west to the south of the site following the East Lancashire Railway line.

The proposed new footbridge would link to the northern area of the Pyramid Park site providing a ramped access from the bridge. The bridge and ramp would not affect the SBI or the Wildlife Corridor.

The applicant has worked closely with the project team for this site and continues to do so to ensure remediation works and Biodiversity Net Gain of the respective application areas align (see Ecology section below).

The proposed link to this site and Market Street beyond would improve connectivity to the Metrolink and the town centre creating a more usable and safer route comparative to the existing subway which is no longer for purpose or the purposes of the future developments.

As such, it is considered that any impacts on this site would be limited and could in any event be controlled and mitigated for by conditional controls. As such the proposed development is considered to be acceptable.

The Premier Inn

The nearest sensitive receptor would be the hotel which sits directly next to the Metrolink platform and tram line and the construction of the bridge would be directly behind this building.

Once in situ, the bridge would be 10m away from the nearest part of the hotel building angled away from the hotel. It would become more visible from some windows once it stretches over the tram lines but given the weathered materials and permeable design, it is considered that visual impacts would be limited, and no worse than some of the existing Metrolink infrastructure which is visible from the hotel.

The development would increase numbers of people using the area and Metrolink. The hotel is located at Union Square, an already publicly accessible area and used as a connection to and from the town centre and the south as well as serving the hotel, Council offices and Q park. It is therefore considered that an increase in users of this area would not significantly harm the operations of the hotel or amenity of residents.

In terms of construction of the bridge, there would be associated activities and disturbances to the area. However these would be temporary and impacts would be short term. The applicant has submitted a Construction Environmental Plan, proposing sound reducing machinery and monitoring noise outputs.

The applicant states that sensitive receptors nearby would be informed of any works which would be necessary outside of usual construction times.

The hotel have been notified by letter of the proposed development and no comments have been received.

It is therefore considered that given the temporary nature of the construction works and mitigations in place to reduce impacts as far as possible the proposed development would not have significantly harmful impacts to the hotel and its residents.

Public Right of Way (PRoW)

The existing subway which is accessed via steps from Union Square is a Public Right of Way but has been closed off for a significant period of time, circa 14 years. The subway has been and continues to be a liability and prone to flooding and as a pedestrian route, is not viable, usable or an inviting route for pedestrians and cyclists.

Part of the proposal includes the permanent closure of the subway which would be carried out under a mechanism separate to planning and through a Stopping Up Order under the Town and Country Planning Act.

By replacing the subway route, the proposed footbridge over the tram line to Pyramid Park would form a permissive pathway, replacing the existing PRoW and would provide a safe, accessible and sustainable route for pedestrians and cyclists.

This is considered to be a betterment for users, improving connectivity and permeability from different areas of the town whilst also facilitating access to the Metrolink platform itself.

It is therefore considered that under the appropriate processes, the closure of the subway would be acceptable and comply with PfE policies JP-S1, JP-C5, JP-C6, and JP-P1 and the principles of the NPPF.

TfGM response

From a TfGM Highways perspective, a Construction Management Plan should be employed to cover areas including a routing strategy for vehicles accessing / egressing the site, abnormal loads siting of construction equipment, requirements for any temporary Traffic Regulation Orders, welfare facilities for staff, on site staff parking and access arrangements and swept path analysis to demonstrate all vehicles can turn on site.

Metrolink

From a TfGM Highways perspective, a Construction Management Plan would be employed which broadly covers and is not limited to the following areas:

- Routing Strategy for vehicles accessing / egressing the site
- Abnormal Loads
- Siting of Construction equipment
- The requirement for any temporary Traffic Regulation Orders
- Welfare facilities for staff
- First aid details
- On-site car parking for staff
- Swept path plans to demonstrate all vehicles can turn on site - details of banksman etc if turning manoeuvres can't occur on site
- Access arrangements
- Hours of operation
- Delivery timings
- Number of staff on site

This can be conditioned.

Active Travel

Active Travel England (ATE) has no comment to make as the development would not meet the statutory thresholds for its consideration.

Traffic and pedestrian access from Union Square

Currently, traffic in and out of Union Square is relatively light, mostly from drop off's/pick up's and deliveries to the Premier Inn. The access to Union Square is not controlled but the volume of traffic is not significant enough to cause access problems for vehicles or

conflicts with other vehicles and pedestrian users.

The proposed development could ultimately encourage vehicular drop off's and pick up's by Metrolink users or other users of the bridge, increasing vehicular traffic within the public realm and a predominantly pedestrian area. This was a potential issue raised by the Design for Security Team (see full response below).

To control the level of traffic to and from Union square for safety purposes, a condition for a scheme for the management, maintenance and control of vehicular access to and from Union Square is therefore recommended (condition 8), which could be in the form of a barrier or bollard entry/exit for example and which would need to be worked up in partnership and agreement with the landowner.

It is therefore considered that the proposed development with this conditional control would be acceptable.

Ecology

Summary

The main issue is biodiversity net gain and the adjacent proposed development. Other ecological issues associated with the proximity to an SBI, wildlife corridor, nesting birds, other wildlife and invasive species can be dealt with via condition.

Proximity to Townside Site of Biological Importance

As noted by the ecological consultant, Bury Council has recently granted permission for the western two thirds of the SBI and dependent on which development commences first, it may not be a significant issue. However should the SBI still remain for whatever reason, given the access road already passes through the SBI and proposed pedestrian slope stops around the boundary with the SBI, and only would impact what is currently buffer habitats, GMEU are satisfied that the SBI could be protected through appropriate fencing as part of the Construction and Environmental Management Plan which can be provided as a prior to development condition.

Wildlife Corridors

As noted by the ecological consultant, the works are at the junction of the East Lancs Railway and Metrolink Wildlife corridors. Whilst GMEU would disagree with their assessment of the functionality of the corridors, the works would not significantly compromise the effectiveness of these corridor and are satisfied that no further information or measures are required.

Protected Species

No evidence of any protected species was found, with no trees or structures on the site assessed as providing bat roosting potential. GMEU have no reason to doubt the findings of the report, previous surveys failing to find any evidence of protected species other than foraging and commuting bats, associated primarily with th SBI. They take on board the consultant's recommendation for updated badger surveys, but would regard it as very unlikely that they would colonise and therefore recommend an informative along the following is applied to any permission.

The applicant is reminded that under the Protection of Badgers Act 1992 it is an offence to intentionally or recklessly interfere with a badger sett. If a badger sett is found on or near the developments site work should cease immediately and a suitably experienced ecologist employed to advise on how best to proceed.

Nesting Birds

Trees and scrub will be lost, potential bird nesting habitat. All British birds nests and eggs

(with certain limited exceptions) are protected by Section 1 of the Wildlife & Countryside Act 1981, as amended. GMEU recommend a condition along the following lines be applied to any permission.

No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a precautionary working method statement for nesting birds by a suitably experienced ecologist has been supplied to and agreed in writing by the LPA.

Other Wildlife

The dense scrub will provide potential cover for small mammals such as hedgehog and amphibians. There is also recorded roe deer in this area. GMEU agree with the consultant that precautionary working measures during site clearance are required and these should be provided prior to any earthworks or vegetation clearance. A condition along the following lines is therefore recommended:

Prior to any vegetation clearance or earthworks a precautionary working measures method statement for mammals including hedgehog and amphibians will be provided to and agreed in writing by the LPA.

Invasive Species

An unnamed species of Cotoneaster was recorded on the site. GMEU are also aware that species such as Japanese knotweed, Himalayan balsam and Monbretia are present along the Metrolink corridor nearby though currently not adjacent to the site. GMEU recommend control of the Cotoneaster and biosecurity measures for other invasive species are put in place prior to development commencing. This would be conditioned.

Contributing to and Enhancing the Natural Environment & Biodiversity Net Gain (BNG)

Section 187 of the NPPF 2024 states that the planning policies and decisions should contribute to and enhance the natural and local environment. 10% BNG is mandatory under Schedule 7A of the Town & Country Planning Act 1990 (as inserted by Schedule 14 of the Environment Act 2021).

The development would result in the loss of early successional habitat, including young trees and scrub along with ornamental planting. The main wildlife issue is likely to be loss of bird nesting habitat. Soft landscape and wildlife mitigation proposals have been provided. The development is subject to 10% biodiversity net gain. The development currently fails to achieve 10% net gain on site and overlaps the on-site BNG proposals (see planning application 71735) for the adjacent development at the Pyramid Park site. The overlap is however on habitats that the adjacent development was retaining not enhancing and the proposed development appears to have taken the baseline as the post development habitats for the adjacent site.

As the Pyramid Park application is amending its metric, no changes are required to the Metrolink bridge metric. GMEU are satisfied that no additional information is required at this stage, with any minor issues, dealt with at discharge of conditions stage.

With regards the metric, GMEU have no reason to doubt the baseline. The applicant has clarified that the 0.09ha was assigned as modified grassland to align with the baseline and habitats submitted for the remediation application for Pyramid Park.

All the proposed habitat targets appear realistic.

The on-site proposals include a number of habitats that are regarded as significant including urban trees, other neutral grassland, mixed scrub and woodland. These will require control

via a Habitat Management and Monitoring Plan. Given the units generated, around two, GMEU would recommend the HMMP is secured via a section 106, but the decision is for the LPA on whether or not to utilise a standard condition or legal agreement.

Off-site units will also need to be purchased. Given the low number of units, whether or not the modified grassland is changed, (a fraction of a unit), GMEU are satisfied that this is not a constraint on the development.

In order to discharge the statutory biodiversity gain condition, the HMMP, final version of the statutory metric and biodiversity gain plan will need to be provided. In order to complete the biodiversity gain plan they will need to have purchased the off-site credits with the evidence of purchase registered with defra.

With regard wildlife 2 bird and 2 bat boxes are proposed. Given there is no loss of bat roosting opportunities and significant loss of bird nesting opportunities GMEU would recommend more bird boxes are provided. Two bat boxes are an adequate enhancement of the site. The final details of bird and bat boxes and locations can be dealt with via a prior to development with installation prior to operation condition.

As such, the proposed development is considered to comply with JP-G8 and chapter 15 - Conserving and enhancing the environment of the NPPF.

Pollution control

The Environmental Health Pollution Control Section have no objection subject to a condition for the construction to be carried out in accordance with the Environmental Management Plan.

Coal Authority

The Coal authority have reviewed the site location plan provided and can confirm that the site falls within the Coal Authority's defined Development Low Risk Area. On this basis we have no specific comments to make.

However, in the interest of public safety, it is requested that the Coal Authority's Standing Advice note is drawn to the applicant's attention, where relevant. This would be included as an informative.

Design for security

Having looked at the proposals the Design for Security Team are satisfied that the recommendations made within the CIS have been largely implemented and the police have been thoroughly consulted and involved pre-planning to identify and mitigate against the potential risks.

The electronic bollard restricting access to Union Square is not in use and could become an unofficial drop-off/pick-up for the Metrolink station (particularly during the reconstruction of the interchange building), which the space is not designed for, and could potentially leave pedestrians entering and leave the bridge vulnerable. Recommend that the operation of this bollard is reinstated prior to the bridge being used.

A condition would be included for the submission of a scheme for the management and control of vehicular access to and from Union Square to be approved.

Drainage

United Utilities have been consulted and the drainage proposals are not acceptable to United Utilities. This is because there is no robust evidence that the drainage hierarchy has been thoroughly investigated and the proposals are not in line with the Non-Statutory Technical Standards for Sustainable Drainage Systems.

A condition is therefore recommended for submission of details of a sustainable surface water drainage scheme and a foul water drainage scheme for approval and for details of the means of ensuring the water main that is laid within the site boundary is protected from damage as a result of the development.

The proposed development would therefore accord with PfE policy JP-S4 and the principles of the NPPF.

Policy JP-S1 - Carbon and energy

Given the nature of the development at the Metrolink and its open and unheated space, incorporating renewable energy systems would not be feasible for this scheme. However, provision would be included within the tram stop electrical infrastructure to accommodate future PV installation on the Interchange (Phase 2) building roof amongst other carbon energy saving proposals which would come forward in a future planning application.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to -

Submission Documents

Crime Impact Statement ref 2024/0223/CIS/01 Rev P02 Version B
Phase 1 - Southern Access Footbridge & Metrolink Platform Flood Risk Assessment ref 16012-REN-BRY-XXX-T-CE- 100001 Rev P02 by Renaissance
Phase 1 - Southern Access Footbridge & Metrolink Platform Drainage Strategy ref 16012-REN-BRY-XXX-T-CE-100002 Rev P02 by Renaissance
Preliminary Risk Assessment Report For Bury Interchange Phase 1 ref 16012-TRE-BRY-XXX-RP-EN-000001 REV.P02 by Tier Environmental Ltd
Ground Investigation Report For Bury Interchange Trackside Works ref 16012-TRE-BRY-XXX-RP-EN-000003 REV.P02 by Tier Environmental Ltd
Explosive Ordnance Desk Top Study ref 16012-EOD-BRY-XXX-RP-HS-000001 Rev P01 by EOD Contracts Ltd
Ecological Desk Study ref 16102-TEP-ZZZ-ZZZ-M-EN-000002 (TEP 10850.002) Version 2.0 by TEP
Phase 1 Bury Interchange - Footbridge Installation SI Works ref 16012-TEP-ZZZ-ZZZ-T-EN-00001 P01 Version 1.0 by TEP
Biodiversity Net Gain (BNG) Design Stage Report ref

16102-TEP-ZZZ-ZZZ-T-EN-00005 Version 2.0 by TEP
 Arboricultural Impact Assessment ref 16102-TEP-ZZZ-ZZZ-M-EN-00007
 Version 1.0 by TEP
 Ecological Impact Assessment ref 16102-TEP-ZZZ-ZZZ-M-EN-000003 Version 2.0
 by TEP
 Bury Interchange, Footbridge Installation - Bat And Bird Box Specification
 Technical Note ref 16102-TEP-ZZZ-ZZZ-T-EN-00006 14th March 2025 by TEP
 Bury Interchange Phase 1 Energy Strategy re 16012-FUT-BRY-XXX-T-BV-000009
 Rev P03 by Futurserv
 Construction Environmental Management Plan (CEMP) ref
 16012-WDC-BRY-XXX-T-XX-000050 Rev P02
 10th March 2025 by Willmott Dixon

Submission plans

Planning Application Phase 1a site Plan (Existing Site Overlay and Approved Red
 Edge) ref 16012-HBA-ZZZ-ZZZ-D-AR-080004 rev P03
 Location Plan ref 16012-HBA-BRY-ZZZ-D-AR-080000 Rev P05
 Existing Site Plan ref 6012-HBA-BRY-ZZZ-D-AR-080002 Rev P05
 Planning Application Combined Phasing Strategy Wider Site Plan (Existing Site
 Overlay) 16012-HBA-ZZZ-ZZZ-D-AR-080003 Rev P06
 External Services Layout Pyramid Park ref 16012-FUT-BRY-XXX-D-BV-000010
 Rev P02
 Existing Canopy Plan ref 16012-HBA-BRY-CNP-D-AR-080011 Rev P04
 Topographical Plan ref 16012-HBA-BRY-ZZZ-D-AR-080001 Rev P05
 Existing Platform Plan ref 16012-HBA-BRY-ZZZ-D-AR-080010 Rev P04
 Existing Platform Elevations ref 16012-HBA-BRY-ZZZ-D-AR-080012 Rev P02
 Existing Platform - Section AA ref 16012-HBA-BRY-ZZZ-D-AR-080013 Rev P01
 Existing Platform - Section BB ref 16012-HBA-BRY-ZZZ-D-AR-080014 Rev P01
 Proposed Site Plan (1:1000) ref 16012-HBA-ZZZ-ZZZ-D-AR-080020 Rev P01
 Proposed Site Plan (1:500) ref 16012-HBA-BRY-ZZZ-D-AR-080020 Rev P01
 Site Masterplan ref 16012- OOB- ZZZ- ZZZ- D- LA- 080001 Rev P03
 Site Plan 16012- OOB- ZZZ- ZZZ- D- LA- 080002 Rev P03
 Proposed Canopy Complete GA Plan ref 16012-HBA-BRY-CNP-D-AR-080101
 Rev P07
 Proposed Bridge GA Plan ref 16012 -HBA-BRY-CNP-D-AR-080107 Rev P07
 Proposed Platform Complete GA Plan ref 16012-HBA-BRY-PFM-D-AR-080100
 Rev P04
 Proposed Bridge GA Plan - Platform Level ref
 16012-HBA-BRY-PFM-D-AR-080104 Rev P04
 Proposed Platform Elevations ref 16012-HBA-BRY-ZZZ-D-AR-080200 Rev P04
 Proposed Bridge Elevations ref 16012-HBA-BRY-ZZZ-D-AR-080201 Rev P04
 Proposed Platform - Section AA ref 16012-HBA-BRY-ZZZ-D-AR-080300 Rev P04
 Proposed Platform - Section BB ref 16012-HBA-BRY-ZZZ-D-AR-080301 Rev P04
 Proposed Platform - Bay Study 1 ref 16012-HBA-BRY-ZZZ-D-AR-080500 Rev P04
 Proposed Platform - Bay Study 2 ref 16012-HBA-BRY-ZZZ-D-AR-080501 Rev P04
 Proposed Bridge - Bay Study 1 ref 16012-HBA-BRY-ZZZ-D-AR-080502 Rev P04
 Proposed Bridge - Bay Study 2 ref 16012-HBA-BRY-ZZZ-D-AR-080503 Rev P04
 Proposed Lift And Stair - Bay Study ref 16012-HBA-BRY-ZZZ-D-AR-080504 Rev
 P04
 External Works Plan ref 16012- OOB- ZZZ- ZZZ- D- LA- 080003 Rev P03
 Existing & Proposed Indicative Levels With Existing Tree 16012- OOB- ZZZ-
 ZZZ- D- LA- 080010 Rev P02
 Demolition Plan ref 16012- OOB- ZZZ- ZZZ- D- LA- 080005 Rev P02
 Boundary Treatment Strategy ref 16012- OOB- ZZZ- ZZZ- D- LA- 080020 Rev P02
 Circulation Strategy ref 16012- OOB- ZZZ- ZZZ- D- LA- 080030 Rev P02

Planting Strategy ref 16012- OOB- ZZZ- ZZZ- D- LA- 080040 Rev P02
 Proposed Site Sections ref 16012- OOB- ZZZ- ZZZ- D- LA- 080050 Rev P02
 Lighting & Signage And Wayfinding Strategy 16012- OOB- ZZZ- ZZZ- D- LA- 080055 Rev P03
 Underpass Sections ref 16012 -REN-BRY-XXX-D-SE-142000 Rev P02
 Underpass Infill Plan ref 16012 -REN-BRY-GRF-D-SE-141110 Rev P03
 Below Ground Drainage Plan Sheet 1 ref 16012-REN-BRY-XXX-D-CE-131100 Rev P02
 Below Ground Drainage Plan Sheet 2 ref 16012-REN-BRY-XXX-D-CE-131101 Rev P02
 Lighting Scheme Footbridge ref 6012-FUT-BRY-XXX-D-BV-000011 Rev P01
 Lighting Scheme Pyramid Park ref 16012 -FUT-BRY-XXX-D-BV-000012 Rev P01

and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.

3. Excepting demolition and site clearance, no development hereby permitted shall take place within Pyramid Park until a Site Condition Report is submitted to the Local Planning Authority for approval detailing land which falls both within this application and planning approval 70903 following completion of approved remedial works under 70903.

Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

4. The development hereby permitted shall not be brought into use until written confirmation is provided to the Local Planning Authority that unexpected or previously unidentified contamination was not encountered during the course of development works.
 If, during development, unexpected contamination is found to be present on the site, no further works shall be carried out at the affected location until the following are submitted to the Local Planning Authority for approval:

- I. Risk Assessment (GQRA or DQRA);
- II. Remediation Strategy & Verification Plan;

Where remediation is required, it shall be carried out in accordance with the approved Remediation Strategy. Upon completion of remediation works, a Verification Report shall be submitted for approval. The Verification Report must include information validating all remediation works carried out; details of imported materials (source/quantity/suitability); details of exported materials; and details of any unexpected contamination.

Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

5. Any soil or soil forming materials to be brought to site for use in soft landscaping, filling and level raising shall be tested for contamination and suitability for use. Proposals for contamination testing including testing schedules, sampling

frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to the Local Planning Authority for approval prior to any soil or soil forming materials being brought onto site.

The approved contamination testing shall then be carried out and validity evidence (soil descriptions, laboratory certificates, photographs etc.) submitted to the Local Planning Authority for approval prior to the development being brought into use.

Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

6. Prior to the commencement of development (except demolition and site clearance), details of a sustainable surface water drainage scheme and a foul water drainage scheme shall be submitted to and approved in writing by the Local Planning Authority. The drainage schemes must include:
 - (i) An investigation of the hierarchy of drainage options in the National Planning Practice Guidance (or any subsequent amendment thereof). This investigation shall include evidence of an assessment of ground conditions and the potential for infiltration of surface water in accordance with BRE365;
 - (ii) A restricted rate of discharge of surface water agreed with the local planning authority (if it is agreed that infiltration is discounted by the investigations);
 - (iii) levels of the proposed drainage systems including proposed ground and finished floor levels in AOD;
 - (iv) Incorporate mitigation measures to manage the risk of sewer surcharge where applicable; and
 - (v) Foul and surface water shall drain on separate systems.
 - (vi) Full details of any proposed reconfiguration of the attenuation tank adjacent to 3KP / Premier Inn, including updated capacity assessment

The scheme shall be in accordance with the principles outlined in the "Phase 1 - Southern Access Footbridge & Metrolink Platform Flood Risk Assessment" must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or subsequent revisions of it. This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution.

Design details should comply with guidance contained in the Greater Manchester's Sustainable Drainage Design Guide, March 25. Consultation with United Utilities should be undertaken to assess mitigations to reduce impacts on the combined sewer system which the system ultimately outfalls to.

Prior to occupation of the proposed development, the drainage schemes shall be completed in accordance with the approved details and retained thereafter for the lifetime of the development.

Reason. To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution pursuant to PpE Policy JP-S4 and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

7. No construction shall commence until details of the means of ensuring the water main that is laid within the site boundary is protected from damage as a result of the development have been submitted to and approved by the Local Planning Authority in writing. The details shall outline the potential impacts on the water

main from construction activities and the impacts post completion of the development on the water main infrastructure that crosses the site and identify mitigation measures to protect and prevent any damage to the water main both during construction and post completion of the development. Any mitigation measures shall be implemented in full in accordance with the approved details.
Reason. In the interest of public health and to ensure protection of the public water supply pursuant to policy JP-S4 and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

8. Prior to first occupation/public usage of the bridge hereby approved, a scheme shall be submitted to and approved in writing by the Local Planning Authority for the management, maintenance and control of vehicular access to and from Union Square. The scheme should include specifications for the siting and extent of any structures with details regarding the design, means of power supply, lighting, communication system, security management measures and programme of installation.

The approved details only shall be implemented to an agreed timetable and thereafter maintained as approved by the LPA.

Reason. In order to ensure the safety of access of pedestrians in the dual purpose square pursuant to PpE Policies JP-C5 and JP-C6.

9. The development hereby approved shall be carried out in accordance with the mitigation measures for Construction Impacts detailed in section 4.3 of the Construction Environmental Management plan (CEMP) dated 10th March 2025 and the measures shall be implemented for the duration of the construction of the development hereby approved.

Reason. To protect the amenity of nearby occupiers and sensitive receptors and ensure the safe management of the site during construction works pursuant to Policies EN7/2 - Noise Pollution, JP-C8 - Transport Requirements of New Development and JP-S1 - Sustainable Development.

10. No development shall take place until a Metrolink Specific Construction Management Plan (CMP) with detailed method statements of construction and risk assessments, has been submitted to, and approved in writing by Bury Council (approval to be in consultation with Transport for Greater Manchester) and an appropriate Asset Protection Agreement has been entered into. The approved Metrolink CMP shall include agreed safe methods of working on Metrolink Infrastructure and adjacent to the Metrolink Hazard Zone and shall be adhered to throughout the construction period. The CMP shall provide for: -

- the retention of 24hr unhindered access to the Metrolink equipment cabinets and chambers for the low voltage power, signalling and communications cables for Metrolink both during construction and once operational.
- loading and unloading of plant and materials;
- storage of plant and materials used in constructing the development;
- construction and demolition methods to be used; including the use of cranes (which must not oversail the tramway or Metrolink corraling infrastructure);
- the erection and maintenance of security hoarding/fencing; and;
- measures to control the emission of dust and dirt during construction.

Reason. To safeguard the amenities of the locality and to ensure that the developer complies with all the necessary system clearances and agrees safe methods of working to meet the safety requirements of working on and adjacent to the Metrolink system.

11. No works to Metrolink Infrastructure shall take place until the full details of the proposals for both the proposed works and the potential future reinstatement have been agreed with TfGM by way of the Metrolink Engineering Assurance and Change Processes.

The submission topics for review shall include, as a minimum, designs and supporting information relating to:-

- a. new structures and changes to existing;
- b. fencing location, type and construction;
- c. lighting and potential to impact tram drivers;
- d. safety and security, e.g. climb and touch potential of overhead line equipment; the protection of Metrolink cables; and the requirements of the Light Rail Security Programme;
- e. consideration of stray current and any earthing and bonding requirements; and
- f. Metrolink maintenance access to all Metrolink assets.
- g. an appropriate monitoring regime of the Metrolink Infrastructure. All monitoring shall be carried out as agreed with Metrolink.

Please Note that updated H&S file(s) will be required for any amended Metrolink Assets in line with Metrolink Asset Information Requirements and CDM 2015 regulations.

Reason. In the interests of safeguarding Metrolink infrastructure pursuant to policies and for maintaining safety of customers and user of the development.

12. (a) Prior to the commencement of the development, an electromagnetic compatibility plan shall be submitted for approval in writing by Bury Council, as Local Planning Authority (approval to be in consultation with Transport for Greater Manchester). This plan shall detail that there are no electromagnetic compatibility impacts predicted from the development in line with BSEN 50121 and BS EN 61000-6-4 (emissions) including pre-development testing.

(b) Prior to the first use of the development, a verification report will be required to validate that the work undertaken conforms to the recommendations and requirements approved as part of part (a) of this planning condition. The verification report shall include post completion testing to confirm compliance with the criteria agreed in part (a). In instances of non-conformity, these shall be detailed along with mitigation measures required to ensure compliance with the electromagnetic compatibility criteria. A verification report and measures shall be agreed until such a time as the development complies with part (a) of this planning condition.

Any mitigation measures shall be implemented in accordance with a timescale to be agreed with the Local Planning Authority. Any measures shall thereafter be retained and maintained in situ.

Reason. To safeguard Metrolink infrastructure and operations.

13. No development shall commence unless and until details of fencing to protect the SBI have been submitted to and approved by the Local Planning Authority. The approved details shall thereafter be implemented and maintained for the duration of the construction of the development.

Reason. To safeguard the ecological and biological importance of the SBI

pursuant to Policy EN6/2 and EN6/3.

14. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a precautionary working method statement for nesting birds by a suitably experienced ecologist has been supplied to and agreed in writing by the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
15. Prior to any vegetation clearance or earthworks a precautionary working measures method statement for mammals including hedgehog and amphibians shall be provided to and approved in writing by the Local Planning Authority. The approved measures shall be incorporated prior to the commencement of development and thereafter maintained for the duration of the construction of the development.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
16. Prior to any vegetation clearance or earthworks a control and biosecurity measures method statement and timetable for implementation for invasive species shall be provided to and approved in writing by the Local Planning Authority. The approved method statement shall thereafter be implemented to the agreed timetable. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.
Reason. To ensure the safe and satisfactory development of the site pursuant to interest National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
17. Prior to above ground works, details of the location of 4 no bird and 2 no bat boxes shall be submitted to the Local Planning Authority for approval. The approved bird and bat boxes and locations shall thereafter be implemented prior to the first use of the development thereby approved.
Reason. To ensure ecological enhancement of the site pursuant to Policies JP-G8 - A Net Enhancement of Biodiversity and Geodiversity and chapter 15 - Conserving and enhancing the natural environment of the NPPF.
18. No development shall commence unless and until a dilapidation survey of the adopted and unadopted footways and carriageways leading to and abutting the sites at Union Square/Duke Street/Knowsley Street in the event that subsequent remedial works are required following construction of, and statutory undertakers connection to, the development has been submitted to and agreed in writing with the Local Planning Authority. All highway remedial works identified as a result of the dilapidation survey shall be implemented prior to the development hereby approved being brought into use.
Reason. To maintain the integrity of the adopted highway, in the interests of highway safety pursuant to Policies JP-C5 and JP-C8.
19. In addition to the site access arrangements, measures and facilities detailed in the approved 'Construction Environmental Management Plan (CEMP)' reference 16012-WDC-BRY-XXX-T-XX-000050 P02 and on the approved plans, no

development shall commence unless and until the following has been submitted to and agreed in writing with the Local Planning Authority:

1. Access point/arrangements for construction traffic, taking into consideration the need to maintain safe pedestrian/vehicular access to existing buildings served from Duke Street, and all temporary works required to facilitate access for construction vehicles.
2. Details of site hoarding/gate positions, taking into consideration the need to maintain vehicular access to existing buildings served from Duke Street.
3. The provision, where necessary, of temporary pedestrian facilities/protection measures.
4. A scheme of appropriate warning/construction traffic speed signage in the vicinity of the site and its accesses.
5. Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site and/or measures to control/manage delivery vehicle manoeuvres.
6. Parking on site or on land within the applicant's control of operatives' and construction vehicles, together with storage on site or on land within the applicant's control of construction materials.
7. Measures to ensure that all mud and other loose materials are not spread onto the adjacent adopted highways as a result of the groundworks operations or carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations.

The approved plan shall be adhered to throughout the construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the construction period.

Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent highways, ensure adequate construction traffic access and materials storage arrangements for the duration of the demolition and construction periods and that the adopted highways are kept free of deposited material from the ground works operations pursuant to Policies EN1/2 - Townscape and Built Design and JP-C8 - Transport Requirements of New Development.

20. No development, other than site clearance, demolition, remediation or ground works, shall commence unless and until the required stopping-up order has been secured.

Reason. To secure the satisfactory development of the site in highway terms pursuant to Policy JP-C8 - Transport Requirements of New Development.

21. No development shall commence until Approval in Principle has been granted for the bridge by the Local Highway Authority, which will ultimately carry public highway subject to appropriate diversion processes being completed

Reason. To ensure good practice in design of structures and protect public safety pursuant to Policy JP- P1 and the principles of the NPPF.

22. The development shall not commence until a Habitat Management and Monitoring Plan (the HMMP), prepared in accordance with the Biodiversity Gain Plan including:

1. a non-technical summary;
2. the roles and responsibilities of the people or organisation(s) delivering the

HMMP;

3. the planned habitat creation and enhancement works to create or improve habitat to achieve the biodiversity net gain in accordance with the approved Biodiversity Gain Plan;

4. the management measures to maintain habitat in accordance with the approved Biodiversity Gain Plan for a period of 30 years from the completion of development; and

5. the monitoring methodology and frequency in respect of the created or enhanced habitat to be submitted to the local planning authority

has been submitted to, and approved in writing by, the local planning authority. Only the approved details and scheme shall be implemented.

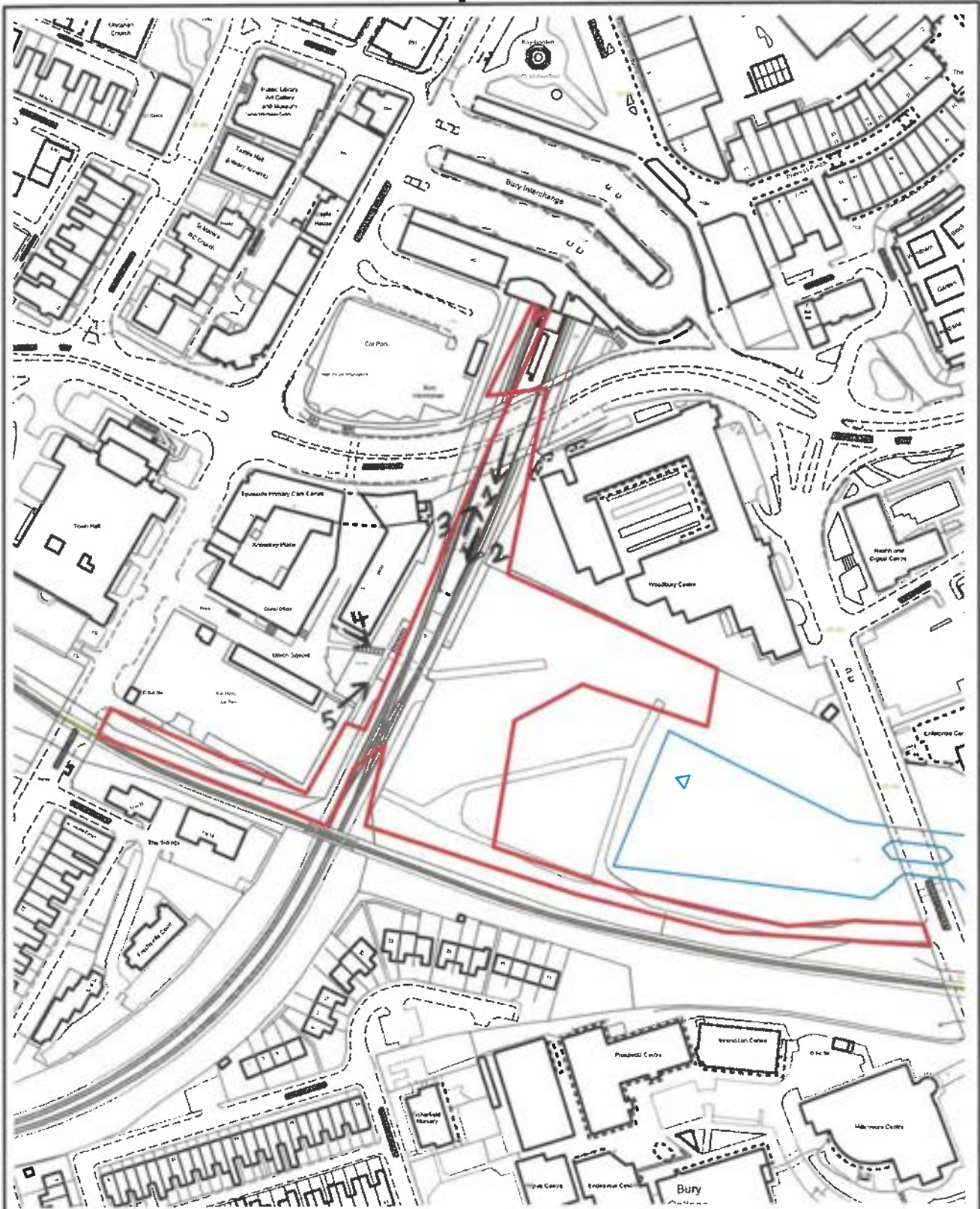
Reason. To ensure the development delivers a biodiversity net gain on site in accordance with Schedule 7A of the Town and Country Planning Act 1990 and Places for Everyone Joint Development Plan Policy JP-G8 A Net Enhancement of Biodiversity and Geodiversity.

23. Details/Samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APPLICATION NUMBER: 71834

ADDRESS: Bury Interchange and Pyramid Park/East Lancashire
Railway line



Bury
Council

Planning, Environmental and Regulatory Services

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71834

Photo 1



Photo 2



71834

Photo 3



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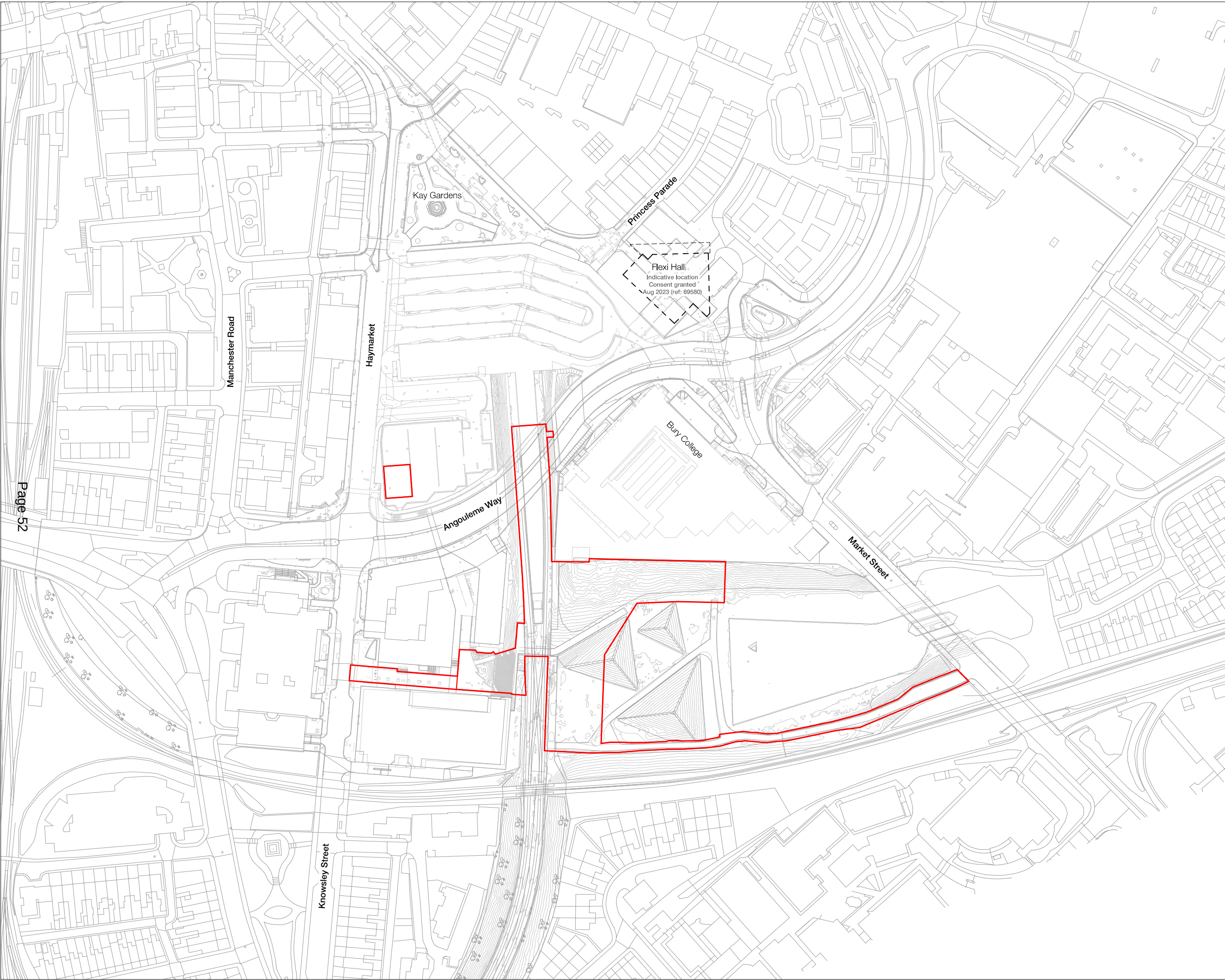
Photo 4



71834

Photo 5





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Rev	Description	Date
P01	Issued for Information	12.12.24
P02	Issued For Planning	13.03.25
P03	Updated Issue for Planning	23.04.25

— Bury Interchange (Phase 1a) Site Boundary Line

Note
Boundary lines are shown as indicative

26-28 Hilton Street
Manchester M1 2SH

mail@hawkinsbrown.com
hawkinsbrown.com

Hawkins\Brown

Project
Bury Interchange
Haymarket St
Bury
BL9 0AY



Drawing
Planning Application Phase 1a
Site Plan (Existing Site Overlay)

Scale @ A1
1 : 1000

Date
Feb 2025

Drawn By
JL

Checked By
NT

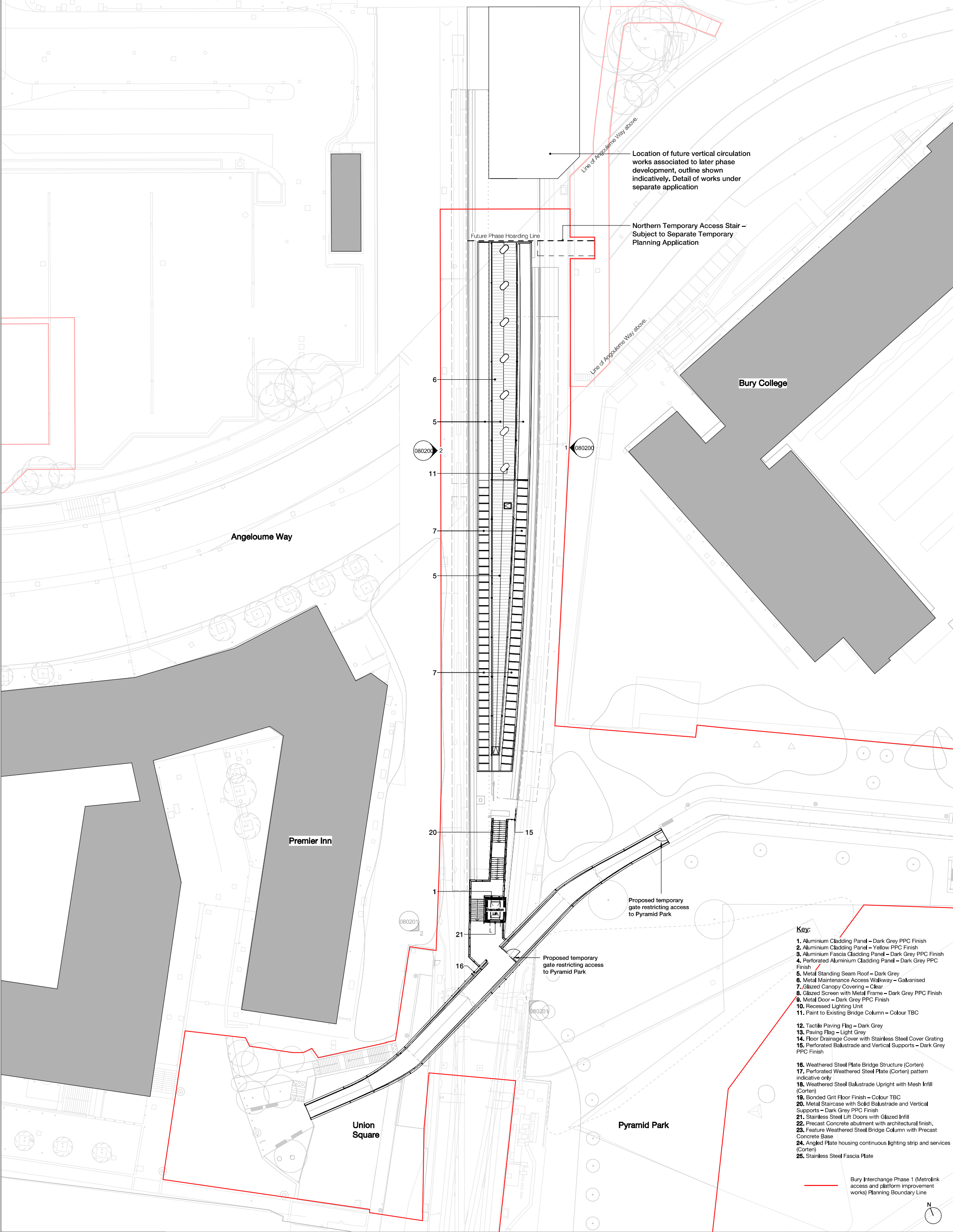
Job Number
16012

Status
S5

Purpose of Issue
For Planning

Drawing No.
16012-HBA-ZZZ-ZZZ-C-AR-080004

Rev
P03



Rev	Description	Date
P01	Issued For Review and Comment	21.02.25
P02	Issued For Planning	05.03.25
P03	Issued For Planning	21.03.25
P04	Issued For Planning	26.03.25
P05	Issued For Planning	27.03.25
P06	Updated Issue for Planning	23.04.25
P07	Issued for Planning	12.05.25

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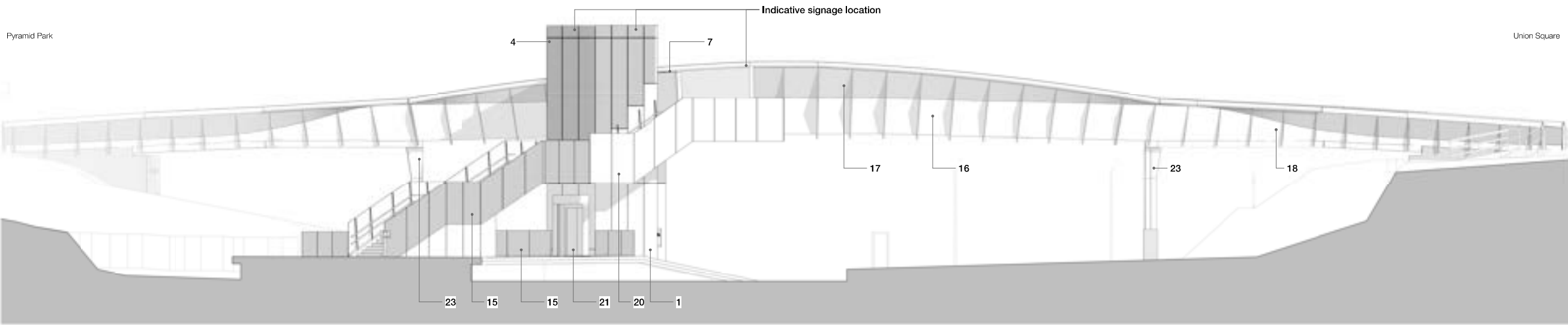
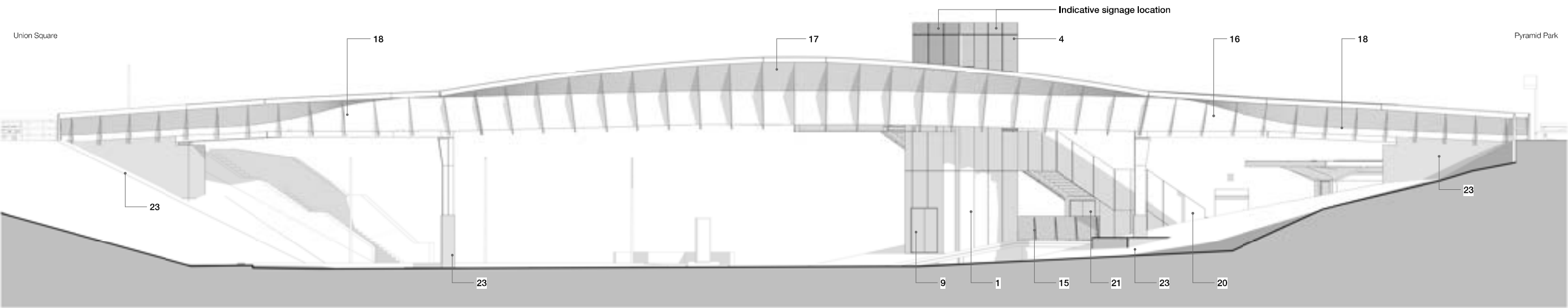
Scale @ A1	Date	Job Number
1 : 250	Feb 2025	16012
Drawn By	Checked By	Status
JL	NT	S5
Drawing No.	Rev	Purpose of Issue
16012-HBA-BRY-CNP-D-AR-080101	P07	For Planning

Date	Job Number	Project
Feb 2025	16012	Bury Interchange
Checked By	Status	Haymarket St
NT	S5	Bury
Rev	Purpose of Issue	BL9 0AY
P07	For Planning	

Project	Drawing
Bury Interchange	Proposed Canopy Complete GA Plan
Haymarket St	
Bury	
BL9 0AY	

25-26 Vinton Street Manchester M1 2SH	info@hawkinsbrown.com hawkinsbrown.com
Bury Interchange Phase 1 (Metrolink access and platform improvement works) Planning Boundary Line	

Hawkins\Brown



Key:

1. Aluminium Cladding Panel – Dark Grey PPC Finish

2. Aluminium Cladding Panel – Yellow PPC Finish

3. Aluminium Fascia Cladding Panel – Dark Grey PPC Finish

4. Perforated Aluminium Cladding Panel – Dark Grey PPC Finish

5. Metal Standing Seam Roof – Dark Grey

6. Metal Maintenance Access Walkway – Galvanised

7. Glazed Canopy Covering – Clear

8. Glazed Screen with Metal Frame – Dark Grey PPC Finish

9. Metal Door – Dark Grey PPC Finish

10. Recessed Lighting Unit

11. Paint to Existing Bridge Column – Colour TBC

12. Tactile Paving Flag – Dark Grey

13. Paving Flag – Light Grey
14. Floor Drainage Cover with Stainless Steel Cover Grating

15. Perforated Balustrade and Vertical Supports – Dark Grey PPC Finish

16. Weathered Steel Plate Bridge Structure (Corten)

17. Perforated Weathered Steel Plate (Corten) pattern indicative only

18. Weathered Steel Balustrade Upright with Mesh Infill (Corten)

19. Bonded Grit Floor Finish – Colour TBC

20. Metal Staircase with Solid Balustrade and Vertical Supports – Dark Grey PPC Finish

21. Stainless Steel Lift Doors with Glazed Infill

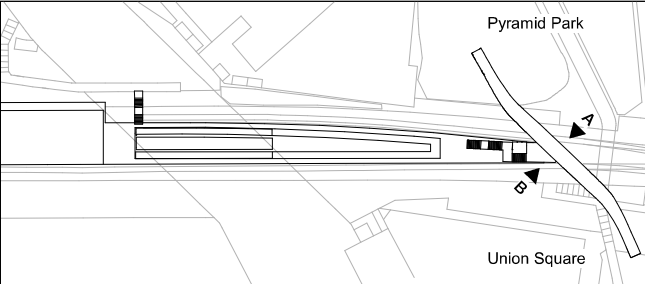
22. Precast Concrete abutment with architectural finish.

23. Feature Weathered Steel Bridge Column with Precast Concrete Base

24. Angled Plate housing continuous lighting strip and services (Corten)

25. Stainless Steel Fascia Plate

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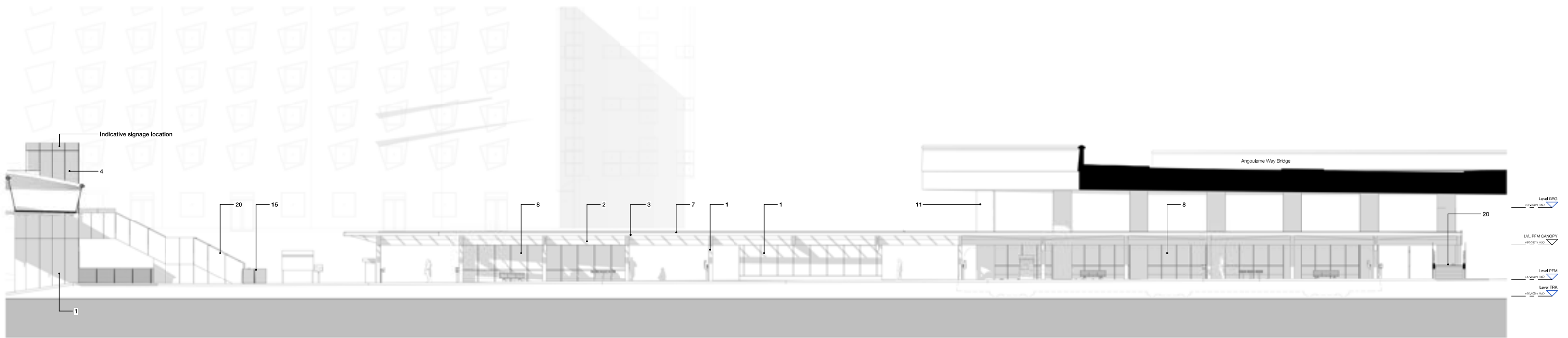


Scale @ A1 1 : 100	Date Feb 2025	Job Number 16012	Project Bury Interchange Haymarket St Bury BL9 0AY
Drawn By JL	Checked By NT	Status S5	
Drawing No. 16012-HBA-BRY-ZZZ-D-AR-060201	Rev P04	Purpose of Issue For Planning	Drawing Proposed Bridge Elevations

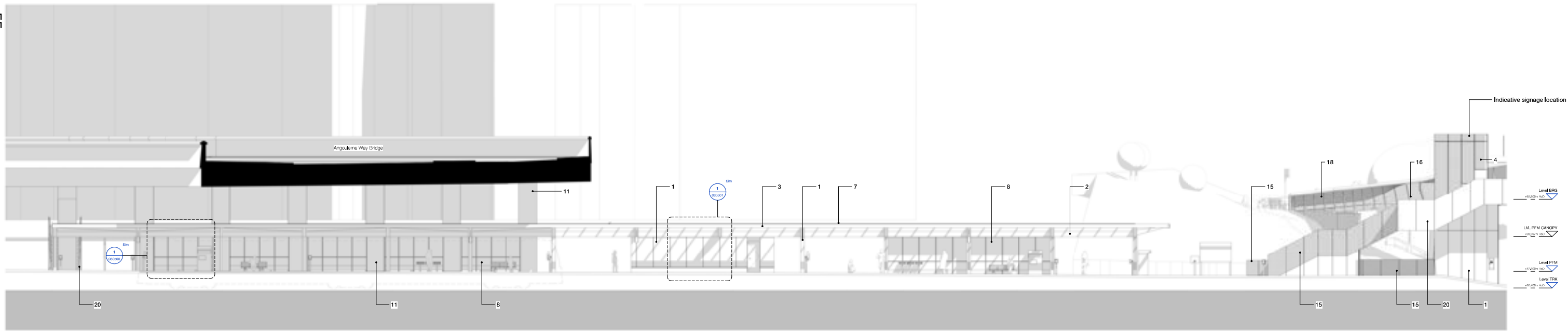
26-28 Hulton Street
Manchester M1 2EH

mail@hawkinsbrown.com
hawkinsbrown.com

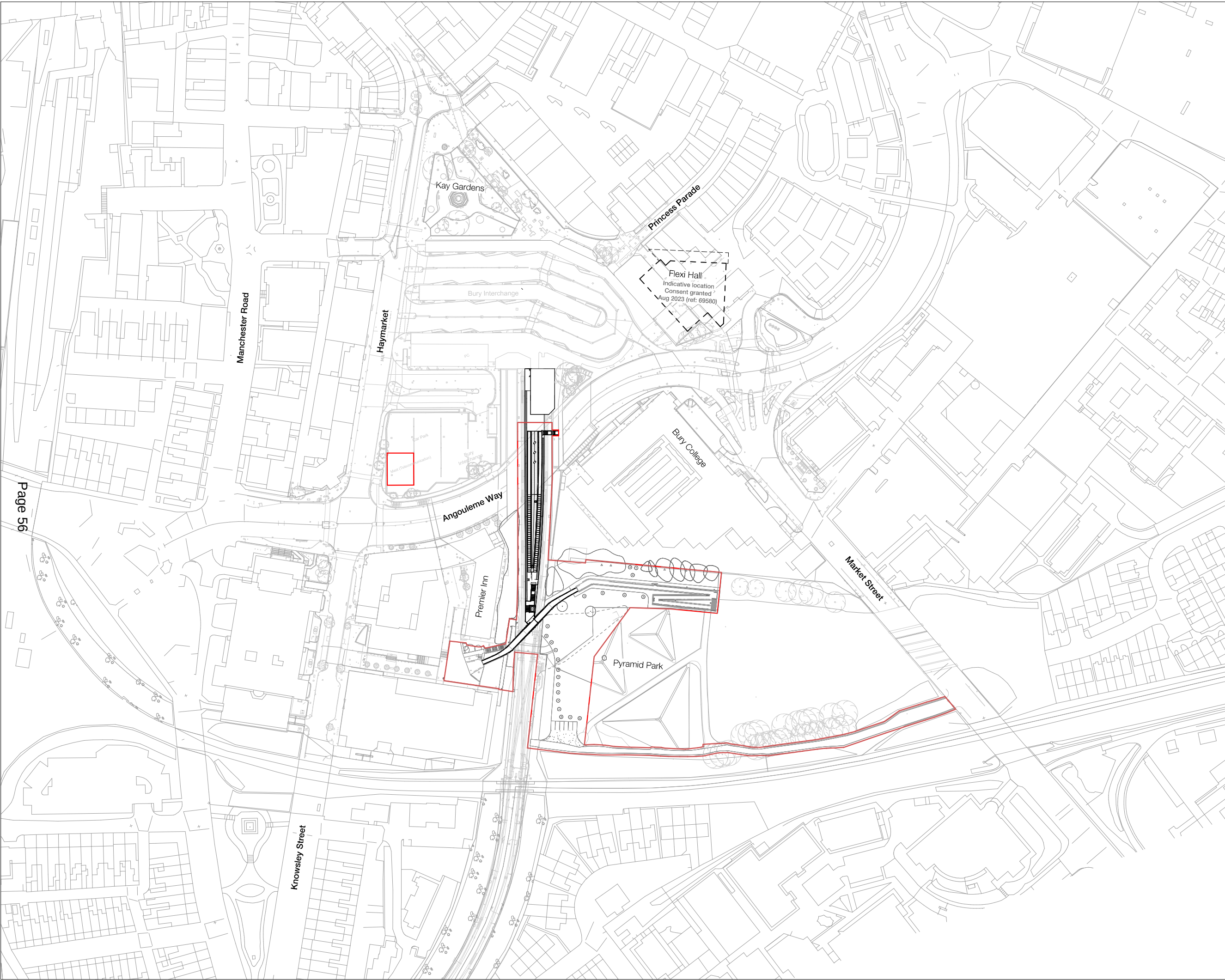
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1 Platform Elevation A
1 : 100



2 Platform Elevation B
1 : 100



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Rev	Description	Date
P01	Issued For Planning	27.03.25

26-28 Hinton Street
Manchester M1 2SH
mail@hawkinsbrown.com
hawkinsbrown.com

Hawkins\Brown

Project
Bury Interchange
Haymarket St
Bury
BL9 0AY



Drawing
Proposed Site Plan

Scale @ A1 1 : 1000	Date March 2025
------------------------	--------------------

Drawn By NT	Checked By NT
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Job Number	Status	Purpose of Issue
16012	S5	For Planning

Drawing No.	Rev
16012-HBA-ZZZ-ZZZ-D-AR-080020	P01



Legend

- Site Boundary
- Areas covered in other Consultants' package
Refer to notes on Plan
- Existing Levels to be Raised to +86-87m
- Hardworks**
 - TP01 - Tactile Paving
Hazard warning corduroy pavers
 - P01 - Paving Type 1
Natural stone flags
 - P02 - Paving Type 2
Tarmac
 - P03 - Paving Type 3
Existing concrete pavers to be retained
 - P04 - Paving Type 4
Union Square granite paving to be retained / reinstated
 - P05 - Paving Type 5
Gravel Maintenance Area
 - Existing Tarmac to be Retained to TFGM site access road
 - ST01 - Proposed Steps with Handrails
 - Existing Walls to be Retained
 - Proposed Walls / Vegetated Retaining Wall
To Engineer's detail and specification
 - K01 - Kerb Type 1
Natural Stone Kerb
 - K02 - Kerb Type 2
Concrete Raised Road Kerb
 - K03 - Kerb Type 3
Concrete Pin Kerb

Softworks

- Proposed Grass
- Existing Vegetation to be Retained / Reinstated
- Proposed Scrub Planting
- Proposed Grassland
- Proposed Wildflower Meadow
- Proposed Woodland Planting
- Proposed Tree / Sapling
- Existing Tree to be Retained

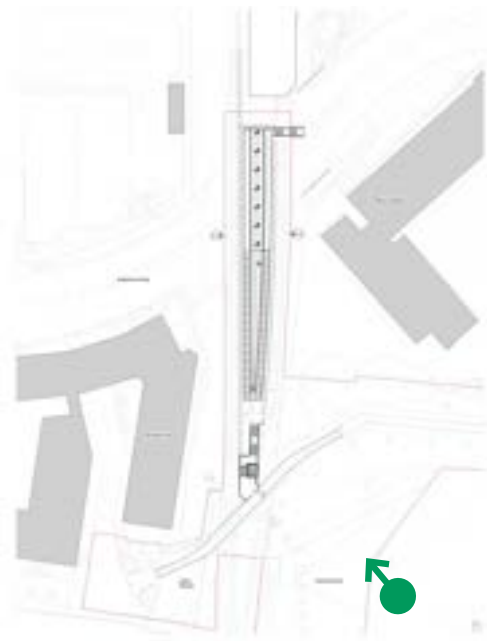
Furniture

- F01 - Proposed Bench
Steel and timber bench – installed at varying seating heights (400-500mm). At Union Square, two benches to be provided without armrests and backrests, while the remaining six benches to include both armrests and backrests.
- F02 - Proposed HVM Bollard
- H01 - Proposed Handrail to Steps and sloped path
With mid-rail and tapping rail. To Metrolink's specification.
- H02 - Proposed Illuminated Handrail to Union Square Steps
Stainless steel
- G01 - Proposed Maintenance Gate
- Lighting**
 - Existing Lighting Column to be Retained
 - Proposed Lighting Column
Details and specification by Engineers
 - Ground Spot Light
- Signage and Wayfinding**
 - S01 - Metrolink Flag Sign
To Metrolink's specification
 - S02 - Metrolink Portal Sign
To Metrolink's specification
 - S03 - Cyclists Dismount Sign
Fixed to lamppost
- Ecological Enhancements**
 - Bird Box
1B Schwegler Nest box
 - Bat Box
1F Schwegler Bat Box
 - Bug Hotel
NHBS Insect Hotel
 - Dead Wood Log Piles
Using felled trees on site

For more information on the proposed materials and furniture refer to "Outline Specification and Visual Narrative" chapter within the Landscape Design and Access Statement.

9 Illustrative massing images

9.1 Aerial view of Southern Access looking North



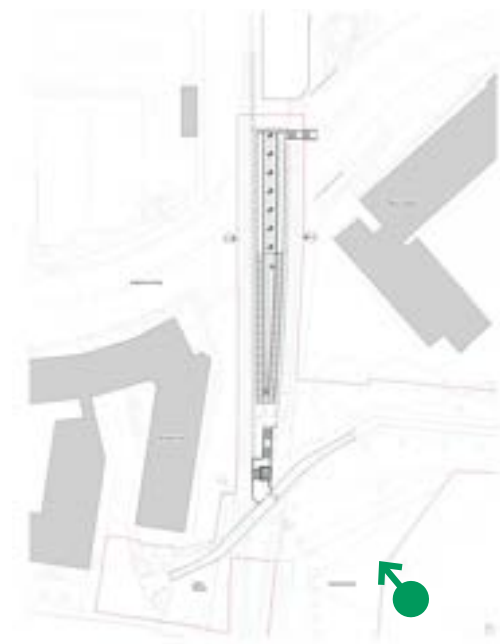
9

Illustrative massing images

9.2

Aerial view from Pyramid Park looking West

Page 59



9

Illustrative massing images

9.4

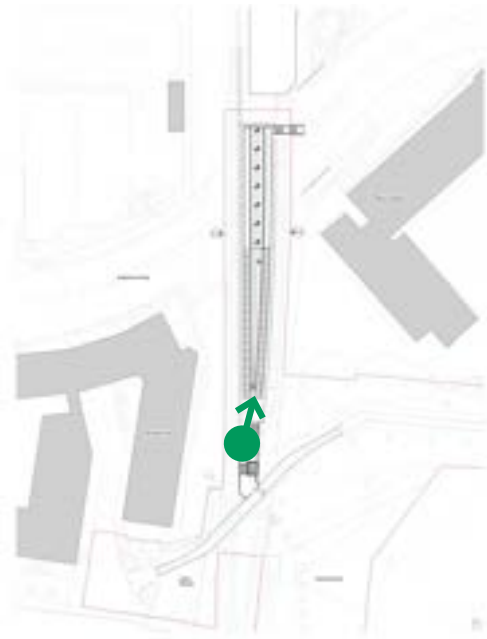
Street level view from Pyramid Park approach

Page 60



9 Illustrative massing images

9.6 Platform level view looking North



9 Illustrative massing images

9.7 Platform level view looking South

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Ward: North Manor

Item 03

Applicant: Mr & Mrs S Hoyle

Location: Ivy House, Bolton Road West, Ramsbottom, Bury, BL0 9RW

Proposal: Variation of condition no.2 (approved plans) on planning permission 65114 (1 no. dwelling):
Amendments to previously approved dwelling and garage - size, position and external alterations

Application Ref: 71963/Full

Target Date: 04/08/2025

Recommendation: Approve with Conditions

Description

The site forms part of the rear garden to No. 1 Ivy Street. The site is level and there is a lower garden area, which is approximately 2 metres lower. There are a number of mature trees in the lower garden area. Access is taken from Ivy Street and there is parking for 2 vehicles.

There are residential properties to the north, south east and west and a commercial building (Nabb Works) is located to the south east of the site.

Planning permission was granted in 2016 and 2020 for the erection of a dwelling in the rear garden of No. 1 Ivy Street. The proposed dwelling would be single storey at the rear of 1 Ivy Street with a lower ground floor set into the slope of the land. The proposed dwelling would be constructed from stone with a green roof and there would be a balcony along the rear elevation. The site would be accessed from Ivy Street and a ramp would provide access to parking and a garage at the lower level.

The proposed development involves the variation of condition 2 (approved plans) to accommodate the following amendments:

- Width of the proposed dwelling - The width of the proposed dwelling has been increased by 0.58 metres towards the south eastern boundary. The depth of the proposed dwelling has been reduced by 0.2 metres.
- Height of the proposed dwelling - This has been reduced by 0.2 metres at the highest point.
- External terrace - The external terrace that wrapped around the south east and south west elevations has been removed.
- Roof overhang - The roof overhangs have been reduced from 1.9 metres to 1.25 metres at the highest point on the roof; 1 metre to 0.6 metres at the lowest point on the roof and from 0.8 metres to 0.6 metres on the gable elevations.
- Doors - 1 bi-folding door on the south eastern elevation has been replaced with a window. 2 patio doors with glazed screens and 1 full height window on the south west elevation have been replaced with 4 windows in a symmetrical pattern
- Windows - The 5 windows on the north east (4) and north west (1) elevations have been removed.
- Glazed fanlights - the 4 glazed fanlights above the upper level openings on the south east (3) and south west (1) elevations have been removed.
- Rooflights - 1 additional rooflight has been added and the size position of the others have been amended. a roof lantern would be installed above the seating area in the

kitchen.

- Garage - The garage has been re-located and is in line with the gable wall of the proposed dwelling.
- Size of garage - The proposed garage has been reduced in width by 0.1 metres and has been increased in length by 0.2 metres.
- Height of the garage - The proposed garage has increased in height by approx 0.35 metres due to low ground levels, but the datum level of the garage roof has not changed.
- Garage roof/privacy screens - The proposed privacy screen on the garage roof/terrace area would be changed to a living wall system.

The access to the proposed dwelling would remain as approved.

Relevant Planning History

59345 - Erection of 1 no. dwelling with associated car parking and landscaping at land to rear of 1 Ivy Street, Ramsbottom. Approved with conditions - 19 January 2016.

65114 - Erection of 1 dwelling at Ivy House, Bolton Road West, Ramsbottom. Approved with conditions - 24 June 2020.

71712 - Non-material amendment following grant of planning permission 65114: Replacement of glazing over windows to first floor with stonework; replacement of box window seat at ground floor with two windows; rear elevation of garage to be sited away from boundary with neighbouring property; lengthen the garage and reduce internal level; reduce height of the property to accommodate existing garden levels of other properties and addition of glazed balustrade to perimeter of garage roof at Ivy House, Ivy Street, Ramsbottom. Refused - 26 March 2025.

The application was refused as the works were more than non-material.

Adjacent site

40275 - Single storey extension and car port at side and erection of conservatory on other side at 7 Ash Grove, Ramsbottom. Approved with conditions - 25 February 2003

40314 - Conservatory at rear at 5 Ash Grove, Ramsbottom. Approved with conditions - 21 March 2003.

57624 - First floor extension at side, dormers at front and rear at 467 Bolton Road West, Ramsbottom. Approved with conditions - 30 June 2014.

Enforcement

24/0476 - Not in accordance with approved plans (permission 65114) at Ivy House, Bolton Road West, Ramsbottom. Case closed - 9 June 2025

Publicity

The neighbouring properties were notified by means of a letter on 9 June 2025.

3 letters have been received, which have raised the following issues:

- Concerned about the height and size of the structure. No dimensions have been included on the plans and the drawings do not indicate the height of the building relative to the adjacent properties.
- It would appear that many of the panels have been reduced in size or supplied cut to size, so this can not be used as a reason for changes in size.
- Don't think that anyone could object to the rear wall being moved away from the boundary but a garage of almost the same size could be achieved with the front and

rear walls of the garage being in line with the house walls. Does the extension of the garage interfere with the provision/ size of the Attenuation Tank?

- One concern is the formation of a terrace on the whole area of the roof. As a matter of privacy this should revert back to the original plan with living wall screening.
- In so far as the perimeter trees are concerned it would be ideal if the proposed trees are mature trees screening the property and to some degree, restoring the appearance of the original wooded area. I would hope that shrubs which would take many years to mature will be rejected.
- Concerns about the impact of the proposed development on surrounding properties and outbuildings and walls.
- Object to a terrace on the garage roof as this would overlook the neighbouring gardens and invade the resident's privacy.
- Planting established trees would be the best way to provide screening.
- Previously raised concerns about the height of the structure and the noise from works on site that are outside the permitted times of site operation.
- It is incredulous that building materials are cited as being the reason for the significant increase in size of the structure, including the increase of the garage by 2 metres. This, compounded by the failure to adhere to the hours of site operation, bring me to the conclusion that the applicant has little regard for the planning process.
- Concerned that the Council has failed to monitor the site and build, despite receiving complaints, and this has then allowed the applicant to continue to build.
- The structure was built on an area of woodland where a number of natural bird species and habitats were present for hundreds of years. There has been a distinct lack of wildlife since the building has been created and I made this observation at the time of the original application.
- Object to the variation of plans on the grounds of Article 8 of the Human Rights Act, Right to Privacy as the proposed changes will significantly impact on my home. The formation of the terrace on the garage roof was always planned and why the garage was increased in size. Photographs have been provided, which show, despite tree foliage, the terrace will directly overlook my property.
- Object on the grounds of the site being overdeveloped. The increase in size of the plot has exacerbated this point.
- Concerned that the applicant has not considered the impact of the building on the surrounding area including Byron Rd, Ash Grove and Keats Rd as the site can be seen from Dunedin Road and Byron Road. The 'terrace' will be seen from a significant distance.

The neighbouring properties have been notified of revised plans, which have reduced the size of the terrace, by means of a letter on 7 July.

Any comments received will be reported in the Supplementary Report.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

None required.

Pre-start Conditions - Not relevant.

Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/6	Garden and Backland Development
EN1/2	Townscape and Built Design

EN1/3	Landscaping Provision
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8/2	Woodland and Tree Planting
HT2/4	Car Parking and New Development
HT4	New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The principle of residential development on the site was established with the grant of planning permission for 1 dwelling in January 2016 and June 2020. The development was commenced within the time limit and as such, is extant. Therefore, the proposed development would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed dwelling has been located in the rear garden of No. 1 Ivy Street and is two storeys in height. The proposed dwelling is set into the sloping site and only the ground floor of the building would be visible from street level, with the lower ground floor below. The proposed dwelling is of a modern design and would use traditional material of stone with a green roof.

As the application is a Section 73 application, the scope of the application is to consider the changes being applied for.

The proposed dwelling has been increased in width by 0.58 metres and the depth has been reduced by 0.2 metres. The overall height of the proposed dwelling has been reduced by 0.2 metres and the roof overhangs have been reduced from 1.9 metres to 1.25 metres. The proposed changes do not affect the overall design approach and would be acceptable in design terms.

The proposed external changes include:

1. The removal of the external terrace that wrapped around the south east and south west elevations
2. The glazed fanlights above the upper level openings on the south east and south west elevations have been removed
3. 1 additional rooflight has been added
4. The size and position of the other rooflights have been amended
5. A roof lantern would be added above the kitchen
6. A bi-folding door has been replaced with a window
7. 2 patio doors and a full height window have been replaced with 4 windows in a

symmetrical layout

8. The privacy screen would be changed to a living wall system

These relatively minor changes would not impact upon the overall design approach and would be acceptable in design terms.

The proposed garage has been relocated off the boundary with No. 461 Bolton Road West 1.4 metres such that it is now in line with the wall of the proposed dwelling. The proposed garage would be square and has been increased by 1 metre to the south with a roof terrace above. Whilst the proposed garage would be larger in footprint, it would be located at the lower level and would be of the same design as the previously approved scheme. The proposed roof terrace has been reduced in size and would have the same projection over the garage as the previously approved application.

Overall, the proposed development would not represent a significant change and would not impact upon the design of the proposed dwelling. The level of private amenity space would be acceptable and the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policy EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case

There would be 26.4 metres between No. 1 Ash Grove and the gable elevation of the proposed dwelling. This would be in excess of the 13 metre aspect standard, based on a two storey blank wall and in excess of the 16 metre aspect standard, which takes into account the difference in levels.

There would be 36.5 metres between No. 3 Ash Grove and the proposed dwelling. There would be 32.4 metres between the rear of No. 5 Ash Grove and the proposed dwelling and garage. Both these distances would be in excess of the 23 metres aspect standard required.

There would be 18.9 metres between the building (Nab Works) to the south and the proposed garage; 22.8 metres between the proposed balcony and the building (Nab Works) to the south and 25.4 metres between the proposed dwelling and the building (Nab Works). The distances would exceed the aspect standards required.

There would be 20.2 metres between the proposed dwelling and No. 7 Ash Grove. The previously approved balcony on the southern elevation has been deleted, which would represent an improvement on the previously approved situation. No. 7 Ash Grove is located on an angle in relation to the proposed dwelling and the distance of 20.2 metres would be acceptable as there would not be a direct relationship.

The opaque full height glazing on the boundary with No. 461 Bolton Road would be replaced with a living wall system, which is a wall covered with vegetation. The proposed living wall system would prevent any overlooking into the adjacent garden.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Highways issues - The proposed amendments would not impact upon the previously approved access and visibility splays. The proposed garage would be 1 metre larger and has been located 1 metre further into the site. However, a vehicle would be able to turn around using the turning facilities provided within the rear garden. Therefore, the proposed

development would not be detrimental to highway safety and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Response to objectors

- The overall height of the structure is less than the previously approved dwelling and this is detailed on the floor plans & elevations overlay plan.
- The proposed terrace on the garage roof has been reduced in size to that which was previously approved.
- The impact upon surrounding outbuildings and walls would be a building regulations issue.
- The issues relating to privacy and overlooking have been addressed in the report above.
- Noise from construction is not a material planning consideration and is covered under the Environment Protection Act.
- A complaint was made to planning enforcement, which has resulted in an application being submitted in March and this application in June. All works have been undertaken at the applicant's own risk.
- The application site formed part of the garden to Ivy House. GM Ecology Unit were consulted on the original approval (65114) and had no objections, subject to the inclusion of conditions relating to nesting birds and landscaping. The requirements to comply with this will pertain.
- Due to the distance between the proposed dwelling and No. 9 Ash Grove, which is located on an angle, the proposed terrace would not have a significant adverse impact upon the amenity of the occupiers of this dwelling. The removal of a section of terrace improves relationships in terms of privacy.
- The proposed development would comply with the aspect standards and would provide a suitable amount of amenity space. As such, the proposed development of a dwelling on this site would not be overdevelopment.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 2021-06 001, 2021-06 010, 2021-06 SK010, 2021-06 SK011 A, 2021-06 011 A, 2021-06 012 A, 2021-06 013, 2021-06-015, 2021-06 SA and the development shall not be carried out except in accordance with the, drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. The development shall only be carried out in accordance with the details approved under condition 3 of permission 65114.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design.
4. The development hereby approved shall be carried out in accordance with the Remediation Strategy approved under condition 4 of permission 65114. The Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
5. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
6. The development shall only be carried out in accordance with the details approved under condition 7 of permission 65114.
The approved scheme shall thereafter be implemented not later than 12 months from the date the building(s) is first occupied or within the first available tree planting season,; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.
7. No development shall commence unless and until surface water drainage proposals have been submitted to and approved in writing by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable

development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

8. The turning facilities indicated on the approved plans shall be provided before the dwelling is first occupied and the areas used for the manoeuvring of vehicles associated with the existing and new dwelling shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H1/2 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design
9. The car parking for the existing and new dwelling indicated on the approved plans shall be surfaced and made available for use prior to the dwelling hereby approved being occupied and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
10. The development shall only be carried out in accordance with the details approved under condition 11 of permission 65114.
The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.
Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.
11. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
12. The access alterations/improvements to the shared access to ensure that the driveway widths indicated on the approved plans are provided, along with any highway remedial works required as a result of the construction of the development and statutory undertakers connections to the new dwelling, shall be implemented before the development is first occupied.
Reason. To ensure good highway design and maintain the integrity of the adopted highway, in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H1/2 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design

13. The bin storage arrangements for the existing and new dwelling indicated on the approved plans shall be made available for use prior to the development hereby approved being occupied and thereafter maintained at all times.

Reason. To ensure adequate off-highway bin storage facilities are provided for both dwellings within the curtilage of the site, in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy H1/2 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development

Policy EN1/2 - Townscape and Built Design

For further information on the application please contact **Helen Leach** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APPLICATION NO: 71963

ADDRESS: Ivy House, Bolton Road West
Ramsbottom

Planning, Environmental and Regulatory Services

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Bury
Council

71963

Photo 1



Photo 2



71963

Photo 3



Photo 4



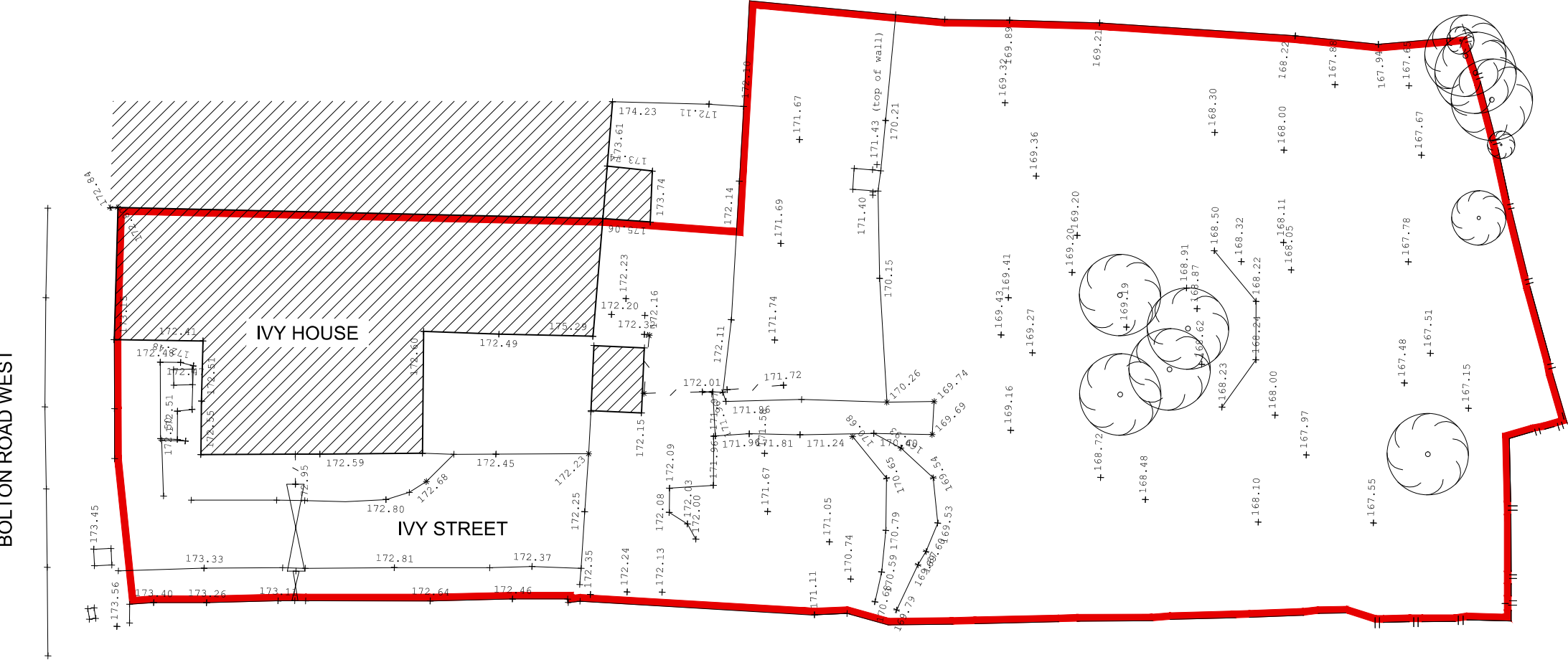
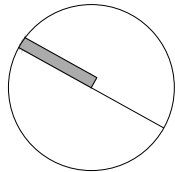
71963

Photo 5



Photo 6





EXISTING SITE PLAN

SCALE 1:200



General Notes:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
ANY DISCREPANCIES PLEASE NOTIFY JH ARCHITECTURAL DESIGN LTD.

Revision	Date

FOR INFORMATION

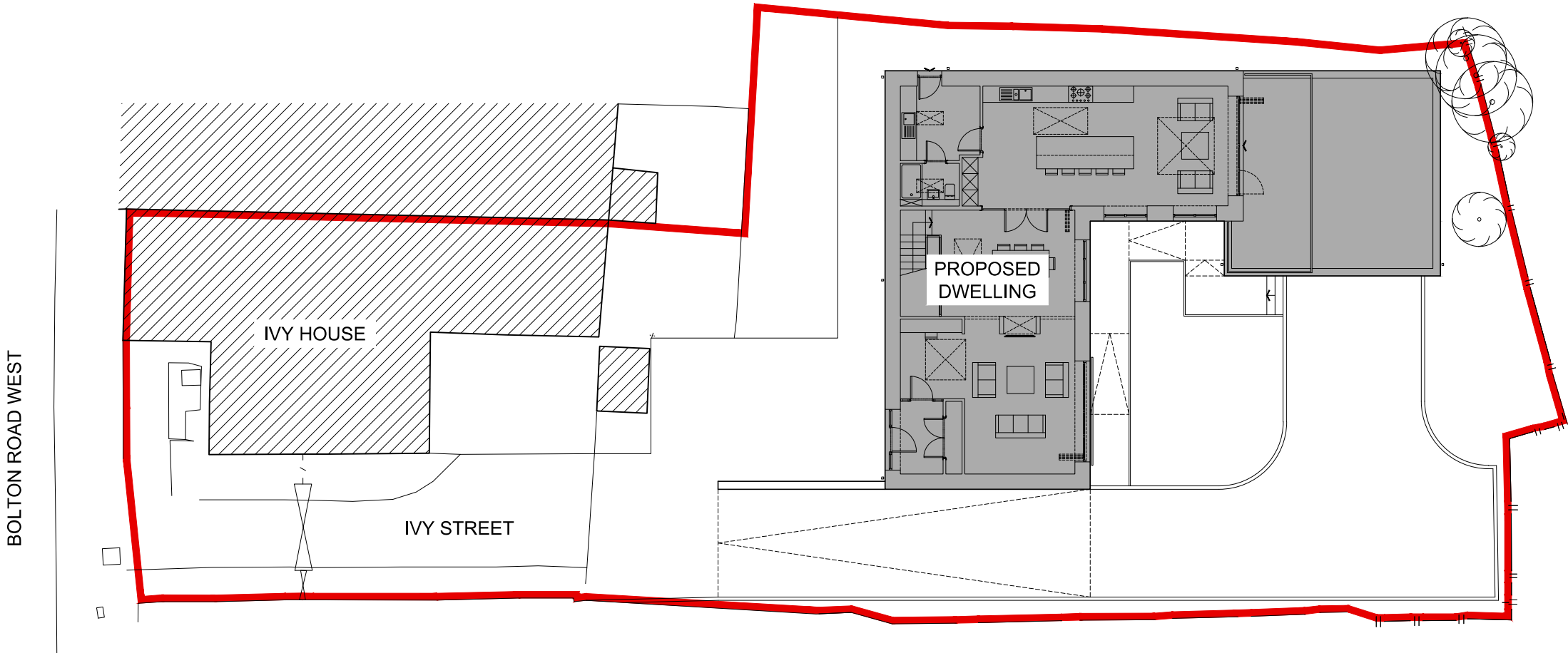
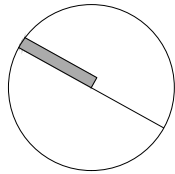
Client MR & MRS HOYLE	
Job PROPOSED DWELLING AT IVY HOUSE BOLTON ROAD WEST RAMSBOTTOM BURY	
Drawing EXISTING SITE PLAN	
Date APRIL 2025	Scale 1:200 @ A3

JH

Architectural
Design Ltd

a: 11 The Grove Horsforth LS18 4BB
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e: jared@jharchdesign.co.uk

Job No. 2021-06	Drawing No. 010	Rev. -
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PROPOSED SITE PLAN

SCALE 1:200



General Notes:
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ANY DISCREPANCIES PLEASE NOTIFY JH ARCHITECTURAL DESIGN LTD.

KEY:	
	EXISTING BUILDINGS.
	PROPOSED DWELLING - UPPER GROUND FLOOR PLAN SHOWN.

A	TERRACE AREA REDUCED.	04.07.25
	Revision	Date

FOR PLANNING APPROVAL

Client
MR & MRS HOYLE

Job
PROPOSED DWELLING AT
IVY HOUSE
BOLTON ROAD WEST
RAMSBOTTOM
BURY

Drawing
PROPOSED SITE PLAN

Date
APRIL 2025

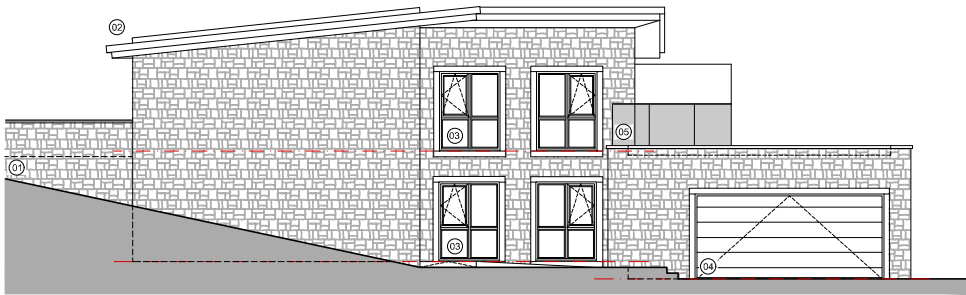
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JH Architectural
Design Ltd

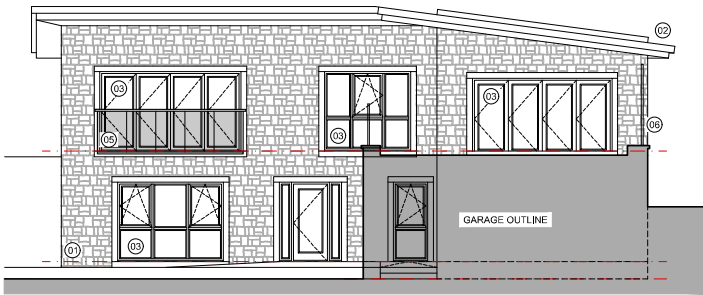
a: 11 The Grove Horsforth LS18 4BB
m: 07779 147 030
e: jared@jharchdesign.co.uk

Job No. 2021-06	Drawing No. 011	Rev. A
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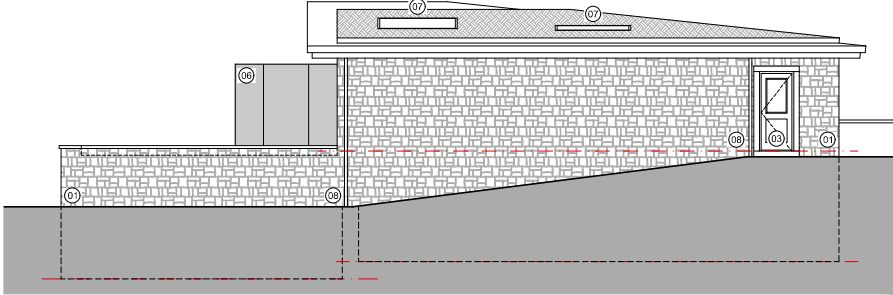
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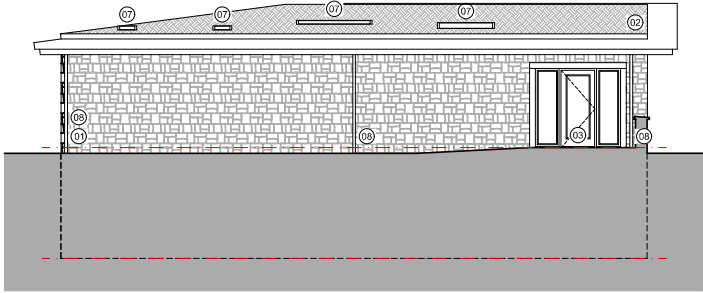
SOUTH WEST ELEVATION
SIDE ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
REAR ELEVATION

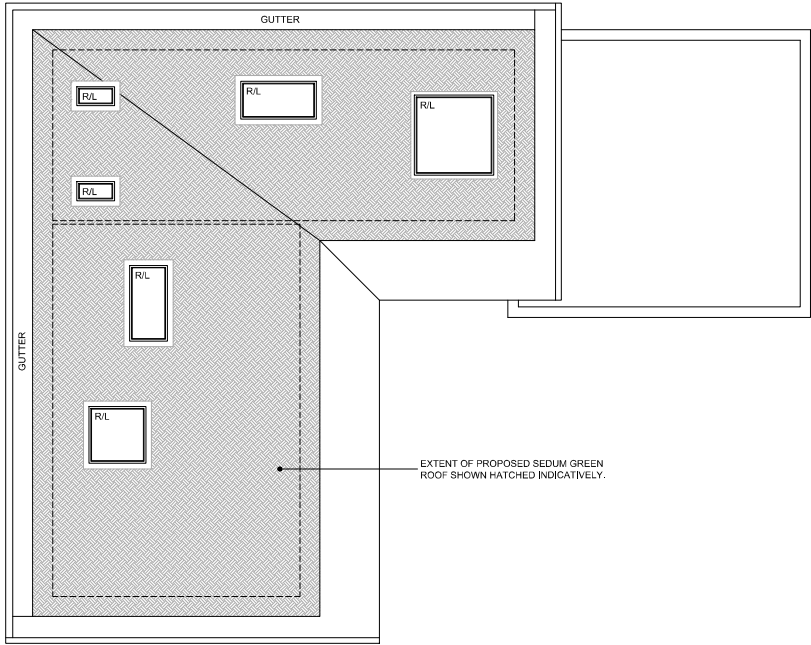


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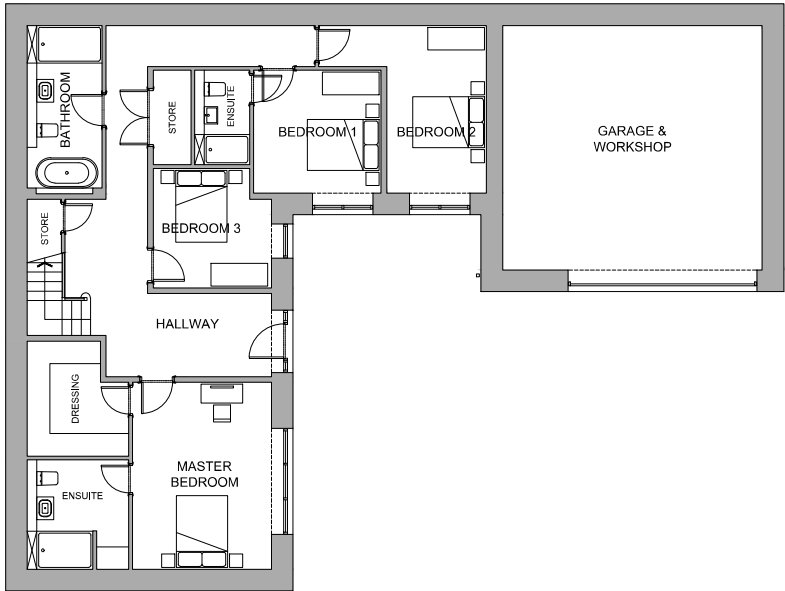


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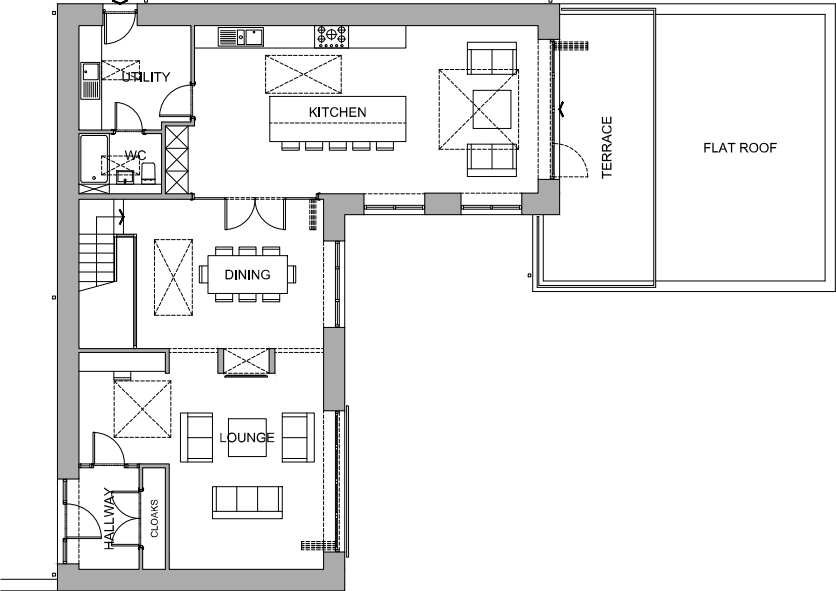
- MATERIAL KEY:
- 01 PROPOSED LOCAL STONEMWORK WALLING.
 - 02 PROPOSED SEDUM GREEN ROOF.
 - 03 PROPOSED POLYESTER POWDER COATED ALUMINIUM FRAMED DOUBLE GLAZED DOORS & WINDOWS - COLOUR: TBC.
 - 04 PROPOSED POLYESTER POWER COATED INSULATED SECTIONAL GARAGE DOOR - COLOUR: TBC.
 - 05 PROPOSED CLEAR GLASS BALUSTRADE & JULIET BALCONY.
 - 06 FULL HEIGHT OBSCURE GLASS SCREEN.
 - 07 ROOFLIGHTS.
 - 08 POLYESTER POWDER COATED ALUMINIUM RWP'S - COLOUR & LOCATIONS TBC.



PROPOSED ROOF PLAN



PROPOSED LOWER GROUND FLOOR PLAN
SCALE 1:100



PROPOSED GROUND FLOOR PLAN

A.	TERRACE AREA REDUCED.	04.07.25
	Revision	Date

FOR PLANNING APPROVAL

Client MR & MRS HOYLE	
Job PROPOSED DWELLING AT IVY HOUSE BOLTON ROAD WEST RAMSBOTTOM, BURY	
Drawing PROPOSED PLANS & ELEVATIONS	
Date APRIL 2025	Scale 1:100 @ A1

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Design Ltd

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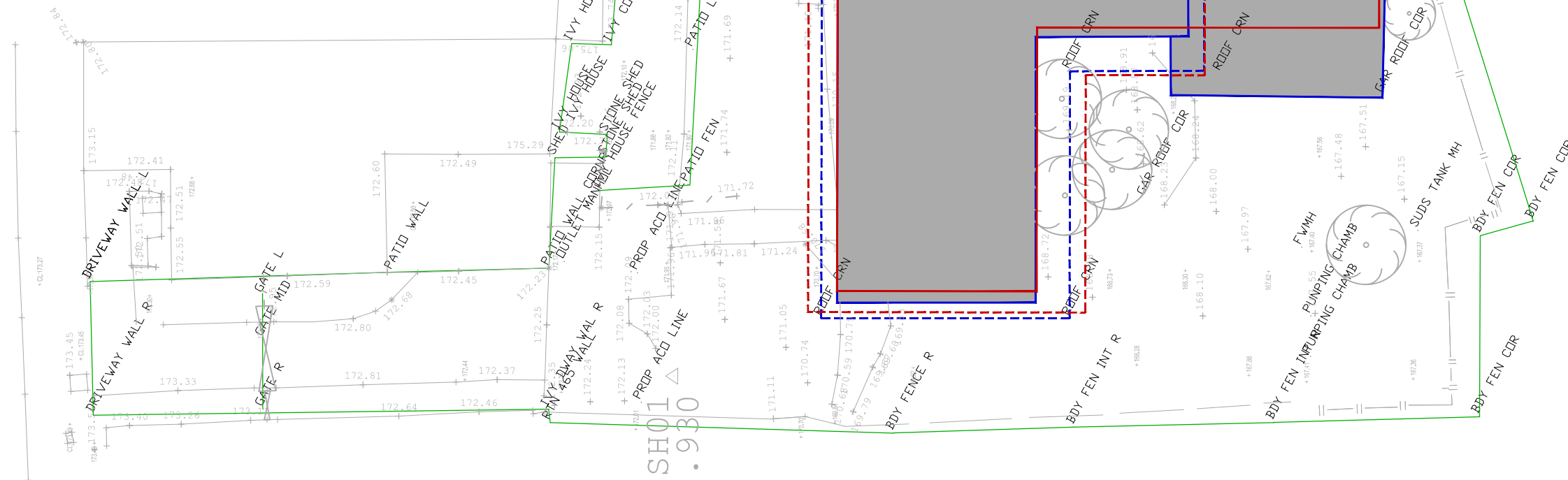
Job No. 2021-06	Drawing No. 012	Rev. A
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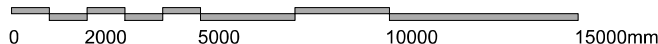
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SITE PLAN

SCALE 1:200



KEY:

RED LINE INDICATES THE PROFILE / FOOTPRINT
OF THE PROPOSED DWELLING FROM THE
CURRENT PLANNING APPROVAL DRAWINGS.

BLUE LINE INDICATES THE PROFILE / FOOTPRINT OF THE PROPOSED DWELLING TAKEN FROM AN AS BUILT SURVEY.

NB: DOTTED LINES INDICATES THE EXTENT OF THE ROOF OVERHANGS.

Revision

Date

FOR INFORMATION

Client
MR & MRS HOYLE

Job
PROPOSED DWELLING AT
IVY HOUSE
BOLTON ROAD WEST
RAMSBOTTOM, BURY

Drawing
SITE PLAN OVERLAY

Date
MAY 2025

Scale
1:200 @ A3

**JH Architectural
Design Ltd**

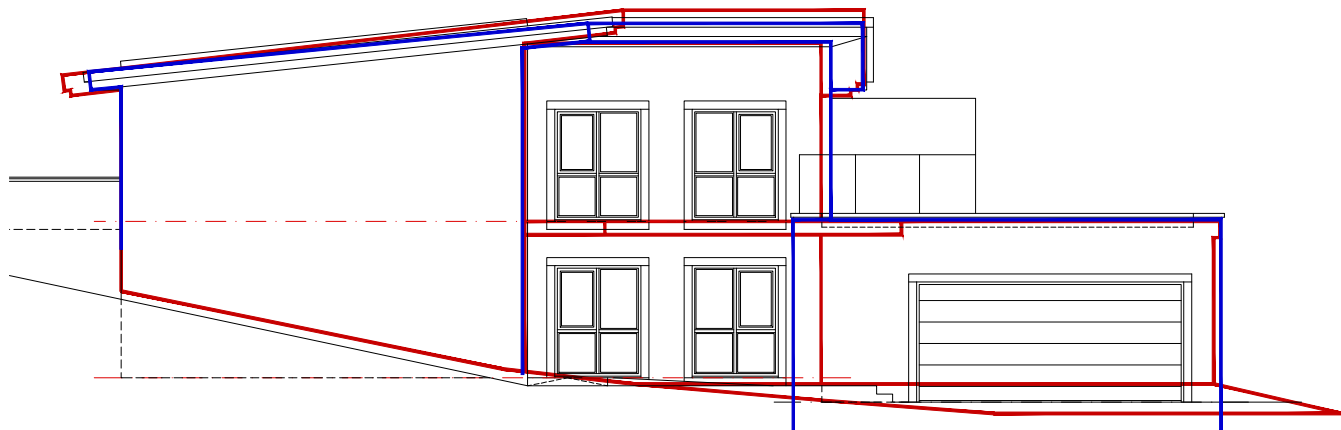
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m: 07779 147 030
e: iared@iharchdesign.co.uk

Job No.
2021-06

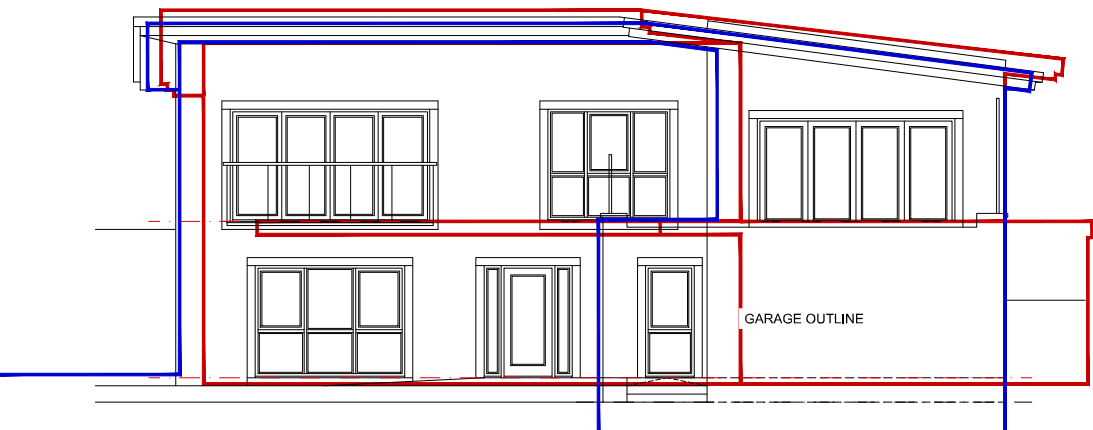
Drawing No.
SK010

Rev.

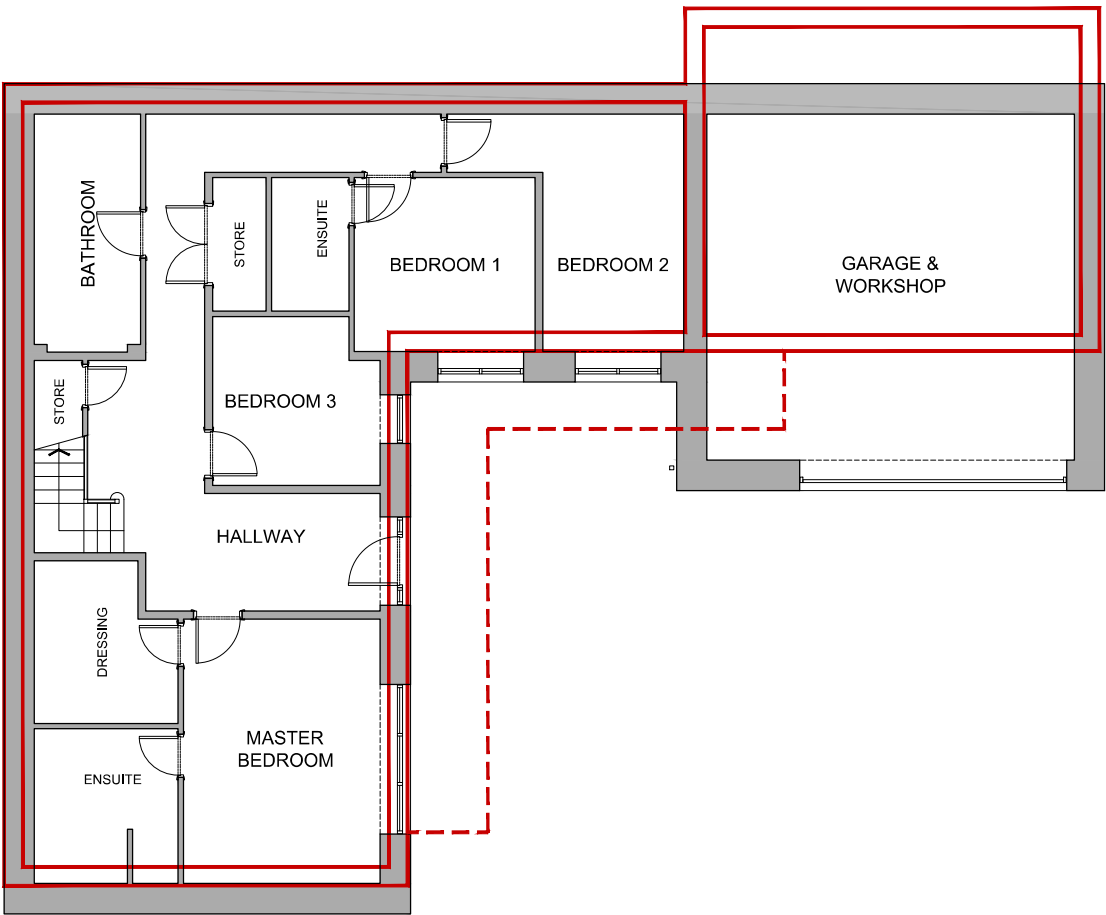
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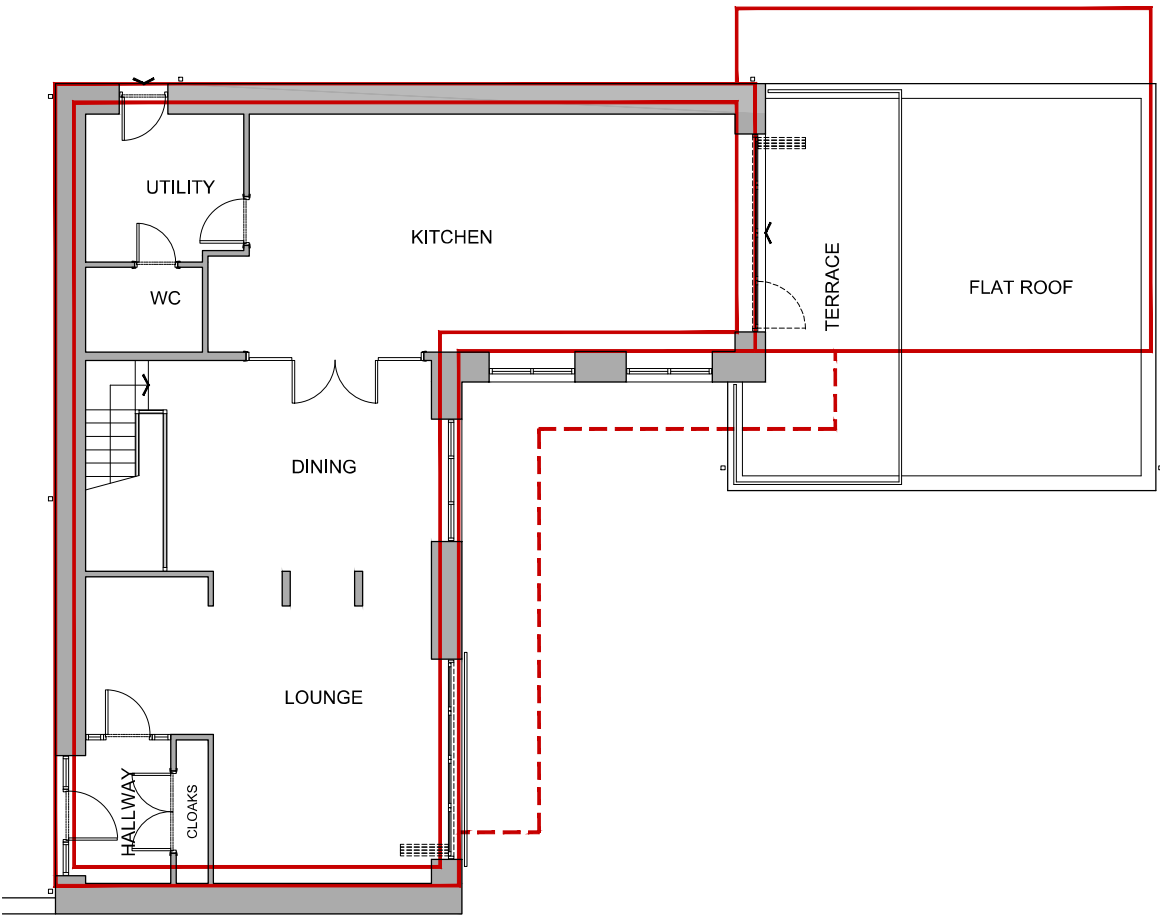
SOUTH WEST ELEVATION
SIDE ELEVATION
SCALE 1:100
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SOUTH EAST ELEVATION
REAR ELEVATION



PROPOSED LOWER GROUND FLOOR PLAN
SCALE 1:100
0 1000 2000 4000 8000mm



PROPOSED GROUND FLOOR PLAN

KEY:
RED LINE INDICATES THE PROFILE / FOOTPRINT OF THE PROPOSED DWELLING FROM THE CURRENT PLANNING APPROVAL DRAWINGS.
BLUE LINE INDICATES THE PROFILE / FOOTPRINT OF THE PROPOSED DWELLING TAKEN FROM AN AS BUILT SURVEY.

A	TERRACE AREA REDUCED.	04.07.25
Revision		Date

FOR INFORMATION

Client MR & MRS HOYLE	
Job PROPOSED DWELLING AT IVY HOUSE BOLTON ROAD WEST RAMSBOTTOM, BURY	
Drawing FLOOR PLANS & ELEVATIONS OVERLAY	
Date MAY 2025	Scale 1:100 @ A2

JH Architectural Design Ltd

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Job No. 2021-06	Drawing No. SK011	Rev. A
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Ward: Prestwich - Sedgley

Item 04

Applicant: Mr Asim Humza

Location: 65 Windsor Road, Prestwich, Manchester, M25 0DB

Proposal: Change of use from shop to restaurant and the retention of extract flue and AC unit

Application Ref: 71520/Full

Target Date: 09/07/2025

Recommendation: Approve with Conditions

Description

The application follows a temporary approval for a period of 12 months, granted in February last year. This application now seeks permanent consent and includes the use of the external canopy area at the front for customer seating. The first floor would remain in residential use with access via an external staircase at the rear.

The building has a ground floor area of 67sqm and is situated at the end of a row of two storey commercial properties that form a Neighbourhood Shopping Centre. The property was previously a jewellers shop which closed in 2022. The attached property on the east side is No.67 and is an accountant's office and on the west side, the detached property comprises two apartments (Nos.63A and B). Properties across Windsor Road and to the rear are also residential.

The previous application, submitted in 2023 initially sought permanent consent with opening to 11pm but, after concerns were raised about the potential impact from noise and disturbance to surrounding residential properties later in the evening, it was agreed that, in the first instance, to seek a temporary consent for 12 months and restrict opening to 9pm which is in line with the current licence arrangement. This would enable the business operations to be monitored in the light of any residential amenity issues such as noise and disturbance.

The extractor flue and an air conditioning unit are situated on the side/SW elevation facing No.63B, towards the rear. Bin storage for the commercial unit and the flat on the first floor would be at the rear of the premises with access to the unmade road at the rear and also down the side of the property onto Windsor Road.

A noise report has been submitted with the application that assesses the impact of the existing kitchen extractor and condenser units. The report states that sound measurements were undertaken of the LAeq sound pressure levels over periods of 5 minutes with the installed kitchen extract fan and condenser unit operating (due to steady noise). Measurements were subsequently undertaken of the LA90 sound pressure levels over periods of 5 minutes for the background noise level (with the installed kitchen extract fan and condenser unit off). Atypical noises were excluded as far as reasonably possible.

The result of the assessment were reported as follows:

- Kitchen extract fan and condenser unit - 61dB
- Condenser only - 58dB
- Kitchen extractor unit only - 57dB
- Background (plant off) - 42dB

With both the installed kitchen extract fan and condenser unit operating the measured LAeq atmospheric plant noise emission levels were 19dB above the representative LA90 background sound level.

The report states that in order to reduce atmospheric plant noise emission levels from the installed kitchen extract fan and condenser unit, attenuation measures will be required and these are:

- The installed kitchen extract fan shall be fitted with an atmospheric silencer.
- The installed kitchen extract fan unit and all ductwork/silencers between the penetration of the facade and the exhaust end of the atmospheric silencer shall be acoustically lagged (50mm (min.) mineral wool slab (min. 16kg/m³) wrapped with a polymeric heavy mass barrier material of at least 10kg/m²).
- As the required acoustic enclosure could not be fitted in the current location, relocation of the condenser unit to the rear of the property is required where an enclosure could be fitted.
- The other option is to remove of the condenser unit from site altogether

Relevant Planning History

43163 - Part change of use of ground floor to tearoom - Approve with Conditions
10/11/2004

69917 - Change of use of ground floor from shop to restaurant (Class E) with installation of a external flue pipe at the rear of the building - Refused 26/10/2023

70340 - Change of use of ground floor from shop to restaurant (Use Class E) with opening times 07.30 - 21.00; canopy at front and installation of an external flue pipe at the side/rear (Temporary consent for 12 months) - Approved 21/02/2024

23/0337 - Change of use of property to restaurant/hot food take away and installation of flue at rear of building - 21/09/2023

24/0035 - Premises used as a bar - 30/01/2024

24/0430 - Breach of condition no.3 (opening times) of planning permission 70340 -
31/12/2024

24/0451 - Building works at rear - 11/12/2024

Publicity

Immediate neighbours notified by letter dated 15/05/2025.

Three objections have been received from residents and these are summarised below:

- The use of the property as a cafe is inappropriate in a residential area.
- The extractor flue and AC unit have caused noise problems - proven by the noise report.
- Use of the canopied area has been a breach of planning control and has caused continued noise and disturbance.
- Opening beyond closing time, sometimes until midnight and later.
- Even earlier closing would cause a nuisance.
- Bins are often left on pavement and block access.
- Anti-social behaviour by customers and staff causing neighbourhood tension, disruption and conflict.
- Loud music/ noise pollution.
- Police have visited.
- Parking problems.
- Application forms are incorrect.

All objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - Surface water run-off should not run off onto the public footway.

Environmental Health - No objection subject to mitigation measures undertaken on the flue

and AC unit.

Waste Management - No objection.

Licensing Department - The current licence restricts the sale of alcohol to 20.30hrs with closing at 21.00hrs.

Prestwich Village Neighbourhood Forum - No comment.

Police - securebydesign - The original objection is withdrawn if opening is restricted to 21.00hrs (as opposed to 11pm) as this would reduce potential for anti-social behaviour arising.

Pre-start Conditions - N/A

Development Plan and Policies

NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
EN1/8	Shop Fronts
EN7/2	Noise Pollution
HT2/4	Car Parking and New Development
EC4/1	Small Businesses
EC6/1	New Business, Industrial and Commercial
S1/5	Neighbourhood Centres and Local Shops
S2/6	Food and Drink
EN5/1	New Development and Flood Risk
PFE	Places for Everyone

Issues and Analysis

Policy - UDP policy EC4/1 Small Businesses states that proposals for small businesses will be acceptable when the scale of development is appropriate to, and the use is environmentally compatible with, the surrounding area in which it is to be located, and where they do not conflict with other policies and proposals of the Plan.

S1/5 - Neighbourhood Centres and Local Shops. The Council will seek to retain retailing (Class A1), as the predominant use in small neighbourhood centres and in new or existing local shops, to cater primarily for the day-to-day needs of residents and businesses.

S2/6 - Food and Drink. The Council in considering all proposals which involve restaurants, hot food takeaways, cafes, snack bars, wine bars and public houses, together with any other uses contained within Class A3, will have regard to the following factors:

- a) the amenity of nearby residents by reason of noise, smell, litter and opening hours;
- b) whether or not the proposal would result in an over concentration of Class A3 uses, which could adversely change the nature or character of a centre as a whole;
- c) parking and servicing provision associated with the proposed development and its effects in terms of road safety, traffic generation and movement;
- d) provision for the storage and disposal of refuse and customer litter;
- e) the environmental impact of any ventilation flues and/or ducting.

EN7/2 Noise Pollution. In seeking to limit noise pollution the Council will not permit:

- a) development which could lead to an unacceptable noise nuisance to nearby occupiers and/or amenity users;
- b) development close to a permanent source of noise.

HT2/4 Car Parking and New Development. The Council will require all applications for development to make adequate provision for their car parking and servicing requirements in accordance with the Council's car parking standards.

Previous Temporary consent - The previous consent, granted in February 2024, was for 12 months and restricted the use of the external canopy area. It also required details of the flue to be submitted. It is clear that the external area under the canopy has been used for customer seating and there have been allegations of opening beyond the 9pm closing time. A number of food delivery websites indicate opening to 22.30.

Use - In principle, the initial replacement of a shop with a restaurant/cafe use (serving food and drink for consumption largely on the premises) was appropriate in land use terms and indeed in isolation, the use of the original ground floor of the property, falling into the current Class E Use, would be deemed as permitted and not require planning permission.

Given the 'permitted development' and the previous consent, the two main factors to consider in this application are the impact of the customer seating under the canopy at the front and presence of the extractor flue and AC unit.

Economy - Converted from the vacant shop, the property is a commercial unit that contributes to the economic vitality of the wider shopping centre. The National Planning Policy Framework indicates that planning policies and decisions should help create the conditions in which businesses can invest and significant weight should be placed on the need to support economic growth. It also states that planning policies and decisions should aim to achieve healthy, inclusive and safe places.

Visual amenity - Visually the external canopy, although relatively prominent on the forecourt, does not appear particularly incongruous within the shopping centre and does not have a seriously harmful visual impact. Given it is a relatively lightweight structure, it could be removed at any time. The flue on the side elevation is set well back down the side passageway and is not particularly prominent when viewed from the public road.

The visual impact of the cafe/bar, in its present form in this location and with opening to 9pm, is not considered seriously harmful to the visual amenity of the streetscape. The proposal in principle would therefore not have a serious impact on visual amenity. Complies with UDP Policy EN1/2 Townscape and Built Design and S2/6 Food and Drink in terms of visual amenity.

It is noted that any later opening into the evening would have a greater visual impact on the streetscape through lighting and general activities associated with a cafe use, particularly given the existing canopy on the frontage.

Residential Amenity - UDP Policy S2/6 Food and Drink states that the impact on the amenity of nearby residents from noise, fumes/smells, litter and opening hours is a crucial factor any assessment of a proposal of this kind.

Situated close to residential properties, it is important to ensure that any noise and disturbance caused by the business is minimised.

Hours of Operation - With an opening time restricted to 9pm daily and a further restriction on the use of the area under the canopy, the previous temporary consent appeared to be reasonable and allowed the business operations to be assessed against residential amenity over a 12 month period.

For almost a year, the Local Planning Authority were unaware of any obvious problems arising in terms of noise and disturbance. In recent months however, complaints were received with regard to opening hours and noise and disturbance.

Complaints were investigated and checks were made but no evidence found of any breach.

Whilst the complaints may be valid, issues could be addressed with better management on the applicant's side and where appropriate, enforcement of any breaches by the Council.

As previously stated, the 12 month temporary consent was granted in order to assess the impact with regard to noise and disturbance, particularly with a focus on the canopy area. With complaints received and some evidence to suggest that opening times have not always been followed, it is considered that some control over the use, particularly the area under the canopy, is required, at least for a temporary period to determine if noise and disturbance issues can be appropriately addressed. Granting a further temporary consent and limiting the use for customer seating in this area to 19.30hrs (7.30pm) by suitable conditions may be a reasonable solution to this end. It is also important to note that there are regulations, other than planning, that exert control on noise and disturbance - Environmental Health, Anti-Social Behaviour team, Licencing and Police.

Flue and Extraction - With regard to the extractor flue on the side of the premises, the implementation of mitigation measures to reduce noise, set out in the noise report, would significantly reduce noise impact and it is considered that, with these measures in place, the flue would be acceptable.

The noise report recommends that the AC unit on the side elevation should either be relocated to the rear elevation or removed completely. The applicant has confirmed that the AC unit would not be used and as such a condition would be attached to require it to be removed on the interests of residential amenity.

Conclusion - With mitigation measures in place regarding the flue and AC unit, good management and strict adherence to the current licence restrictions on the sale of alcohol to 20.30hrs and business opening to 21.00hrs, it is considered that noise and disturbance from what is a relatively modest sized cafe would be significantly mitigated, particularly as the unit is the only food and drink/cafe use within the commercial row.

Given the operational restrictions set out above, it is not considered that the proposed use would have a particularly serious and detrimental impact on the residential amenity and as such would comply with UDP Policies S2/6 Food and Drink, EC4/1 Small Businesses and EN7/2 Noise Pollution.

Traffic - The premises, along with the majority of other businesses within the neighbourhood centre, has no specific/dedicated on-site parking. It is noted that the immediate area is usually busy with cars parked in front of the commercial row in chevron formation. As such it is difficult to determine which businesses within the centre are generating what levels of traffic. It is also noted that Bowker Vale tram station is less than 200m further along Windsor Road and this could well be contributing to the parking congestion.

Although the cafe/bar use is within a neighbourhood centre and focuses on local custom, it will undoubtedly generate some vehicular traffic. But as previously stated, this is the same for all the businesses along the commercial row. In the evenings when Windsor Road would be more likely to be 'parked up' with residents' cars, the commercial 'daytime' businesses would be closed so freeing up parking spaces. Given the premises are relatively modest in scale, the impact on parking may not be so significant.

Whilst the Council's Traffic Team recognises parking issues along this part of Windsor Road, it is not considered that the proposal could be reasonably refused on traffic/ parking grounds, not least due to the considerations of permitted development. As such, subject to a condition requiring a suitable surface water run-off arrangement to be installed on the canopy, there is no objection from the traffic team and the proposal is considered

acceptable and complies with UDP Policies S2/6 Food and Drink and HT2/4 Car Parking and New Development.

Waste management/litter - Refuse bins serving the residential unit at first floor should be kept off the frontage. This clearly has not been happening on a regular basis but with better management and enforcement, a more suitable arrangement could be achieved with bins store to the rear. Condition restricting commercial bin collection to opening hours and restricting bin storage on the frontage would be attached to any approval.

Public representations - The material planning issues raised by objectors have been addressed in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

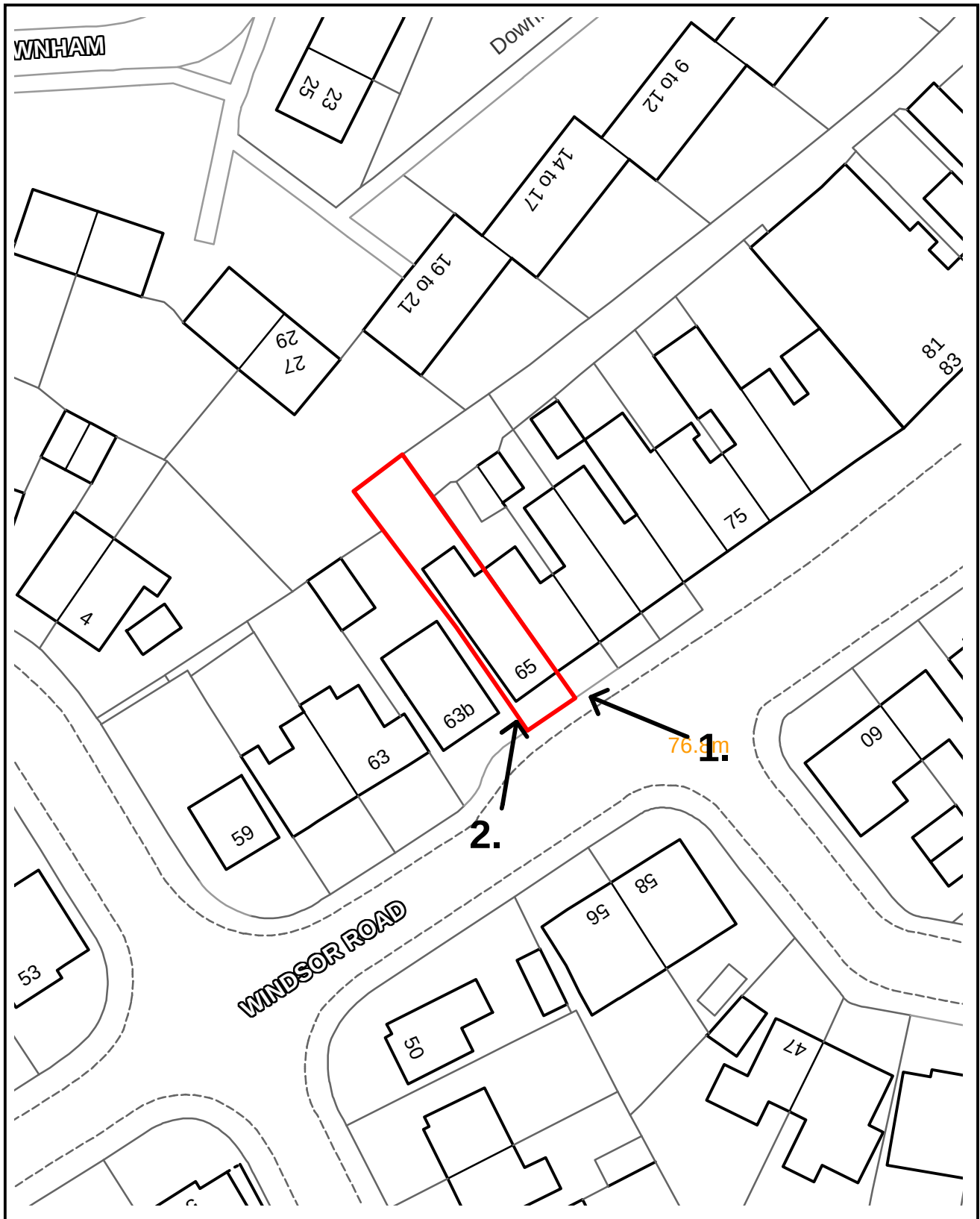
1. Permission is hereby granted for a limited period only, namely for a period expiring 12 months from the date of this decision notice, and the building, works and use comprising the development for which permission is hereby granted are required to be respectively removed and discontinued at the end of the said period and the land reinstated to its former condition unless a valid application is received by the Local Planning Authority for its retention.
Reason. In view of the nature of the development and in order to retain control over its continued use having regard to the particular nature of the site and surroundings pursuant to The National Planning Policy Framework.
2. This decision relates to drawings numbered 02, 03, 05C, 06D, 07 and 10 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.
3. Within one month, all mitigation methods for the kitchen extraction fan unit must be carried out as recommended by the noise assessment dated 13 May 2024 (Lighthouse Acoustics ref 1424/le/02). Mitigation measures include:
The installed kitchen extract fan shall be fitted with an atmospheric silencer as specified in the Silencer Schedule 1424/SS1 enclosed at the rear of the report.
The installed kitchen extract fan unit and all ductwork/silencers between the penetration of the facade and the exhaust end of the atmospheric silencer shall be acoustically lagged comprising 50mm (min.) mineral wool slab (min. 16kg/m³) wrapped with a polymeric heavy mass barrier material of at least 10kg/m².
Reason. In order to mitigate noise in the interests of residential amenity pursuant

to UDP Policies S2/6 Food and Drink and EN7/2 Noise Pollution.

4. Within one month of the date of this decision notice, the existing condenser unit shall be removed completely from the site.
Reason. In order to mitigate noise in the interests of residential amenity pursuant to UDP Policies S2/6 Food and Drink and EN7/2 Noise Pollution.
5. The business shall not be open to customers outside the following times: 08.00 to 21.00 daily
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policy S2/6 Food and Drink of the Bury Unitary Development Plan.
6. Within one month, the surface water run-off from the canopy shall be channelled into the existing drain as indicated in the revised plan Dwg 10 to the written satisfaction of the Local Planning Authority.
Reason. In order to reduce surface water run-off to the public footway in the interests of flood risk and water pollution, pursuant to UDP Policies EN5/1 Flood Risk and EN7 Pollution Control.
7. All refuse bins shall be stored at the rear of the premises and only brought to the front on the appropriate collection day. No collections shall be undertaken beyond the closing time of 21.00hrs.
Reason. In the interests of residential amenity pursuant to UDP Policy S2/6 Food and Drink.
8. The external area under the canopy shall only be available for customer seating until 19.30hrs. After this time all seating shall be stored away to avoid useage.
Reason: In order to reduce possible noise and disturbance from the outside area in the interests of residential amenity pursuant to UDP Policies S2/6 Food and Drink and EN7/2 Noise pollution.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

71520- Viewpoints



ADDRESS: 65 Windsor Road, Prestwich,
Manchester, M25 0DB



Bury
Council

Planning, Environmental and Regulatory Services

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71520

Photo 1



Photo 2

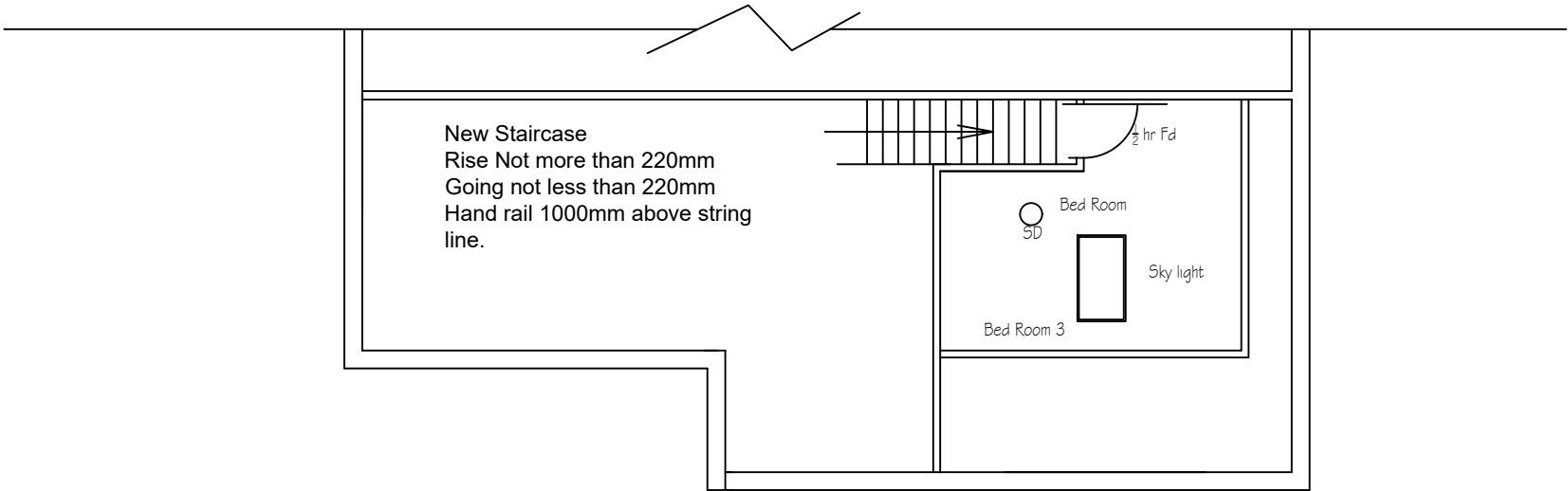


SITE LOCATION PLAN
AREA 2 HA
SCALE 1:1250 on A4
CENTRE COORDINATES: 383294, 403110

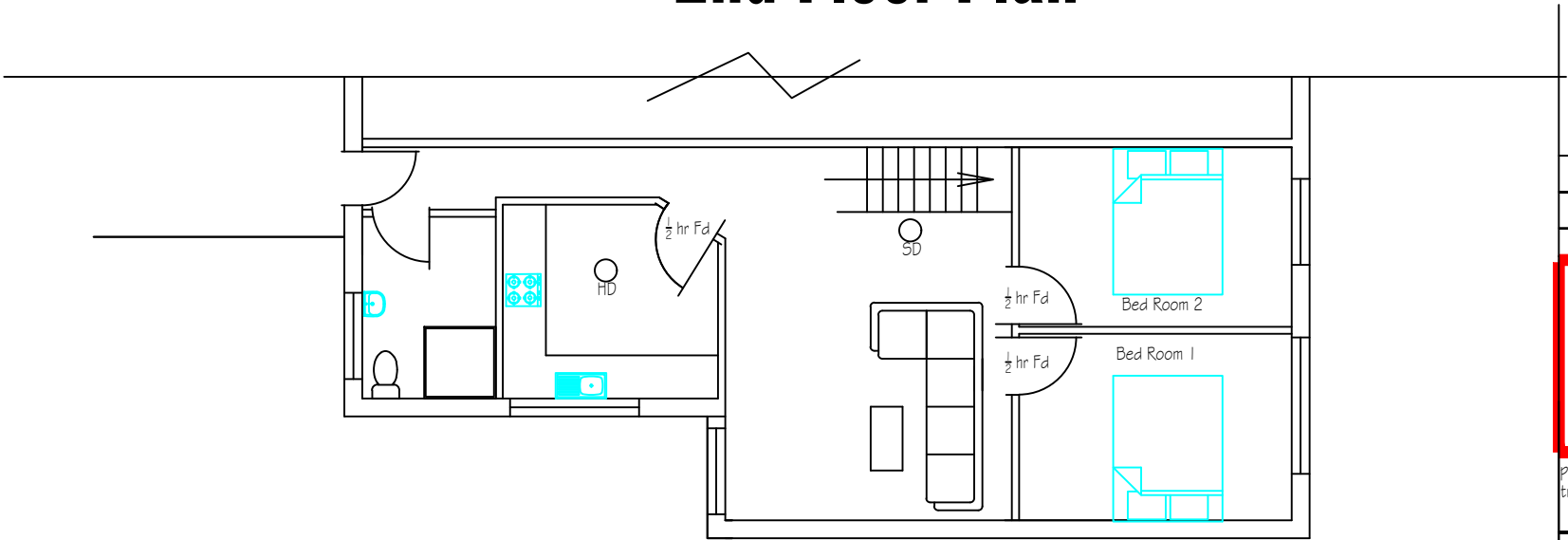


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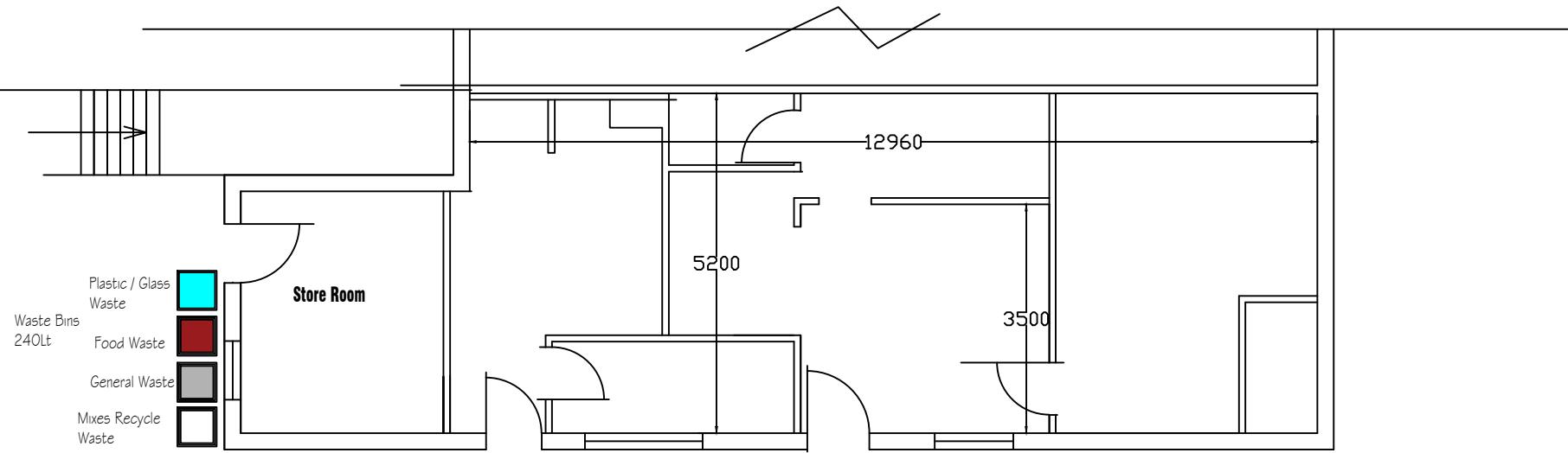


2nd Floor Plan



1st Floor Plan

H S H  Engineering Design Services Ltd 428 Cheetham Hill Road Cheetham Manchester M8 9LE. UK 01617956385,07940197 333			
project title	Proposed change of the ground floor from a shop to restaurant including installation of an external flue pipe.		
client	Mr Asim Humza		
dwg. title	Existing Plan		
dwg.no.	sheet no.	scale.	job no.
03		1:100 @ A3	
65 Windsor Road Pretwich M25 ODB			
drawn by.	checked by.	approved by.	date
TZ			March 2023

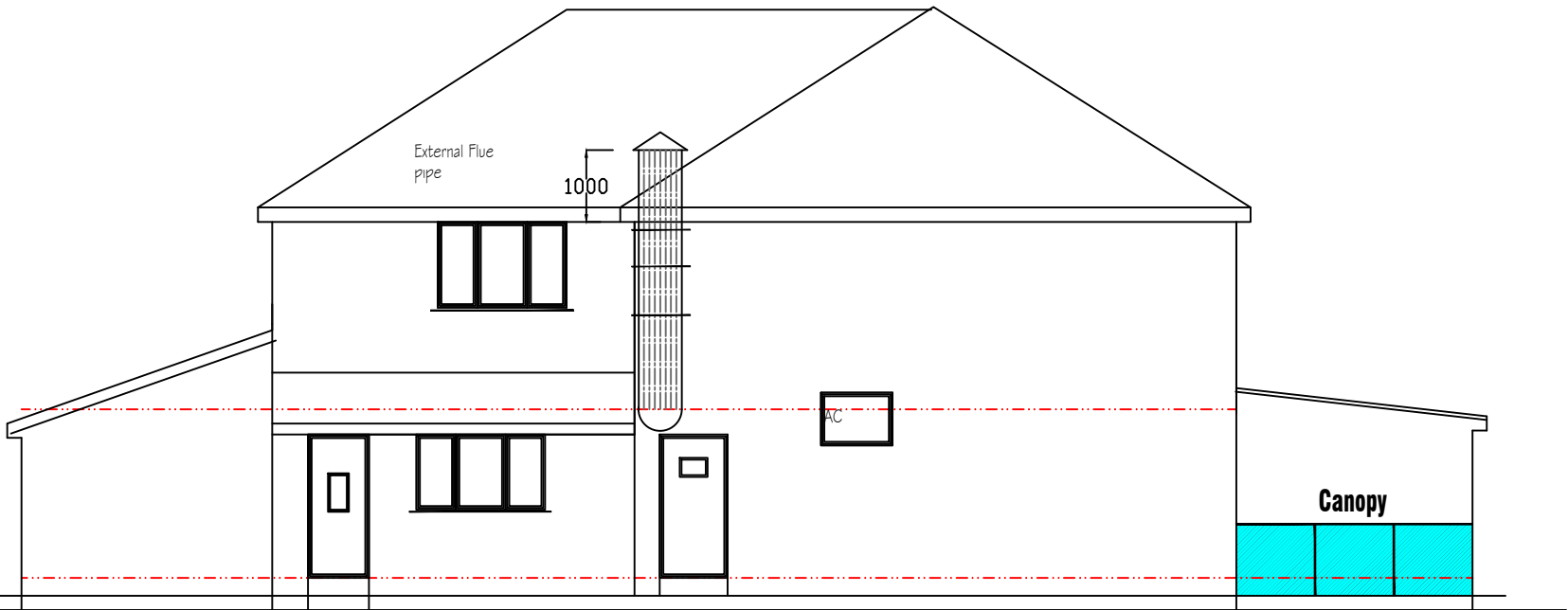


THE BUILDER MUST CHECK THE SITE AND THE APPROVED DRAWINGS BEFORE COMMENCING THE WORKS AND MUST TAKE ANY WORKING MEASUREMENTS AS NECESSARY.ANY DISCREPANCY IN THE DRAWING MUST BE REPORTED TO THE CLIENT .

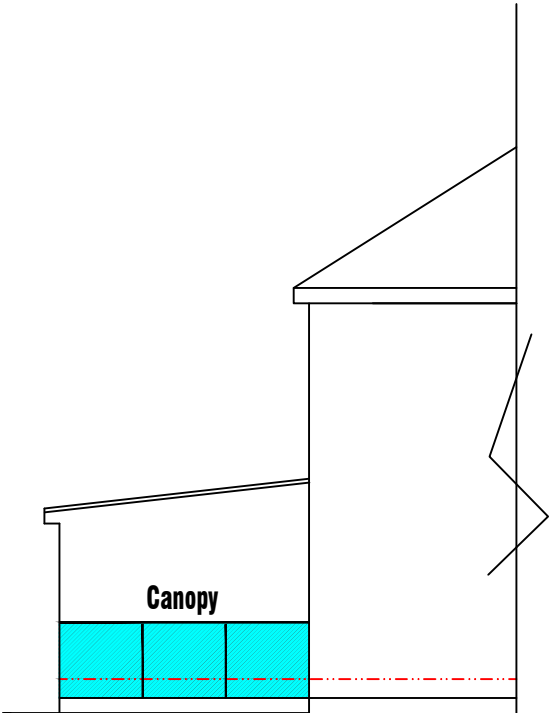
Site Layout Plan

H S H Engineering Design Services Ltd 428 Cheetham Hill Road Cheetham Manchester M8 9LE, UK 01617956385,07940197 333			
project title	Proposed change of the ground floor from a shop to restaurant including installation of an external flue pipe.		
client	Mr Asim Humza		
dwg. title	Bin Location Plan		
dwg.no.	sheet no.	scale.	job no.
07		1:100 • A3	
65 Windsor Road Pretwich M25 ODB			
drawn by.	checked by.	approved by.	date
TZ			March 2023

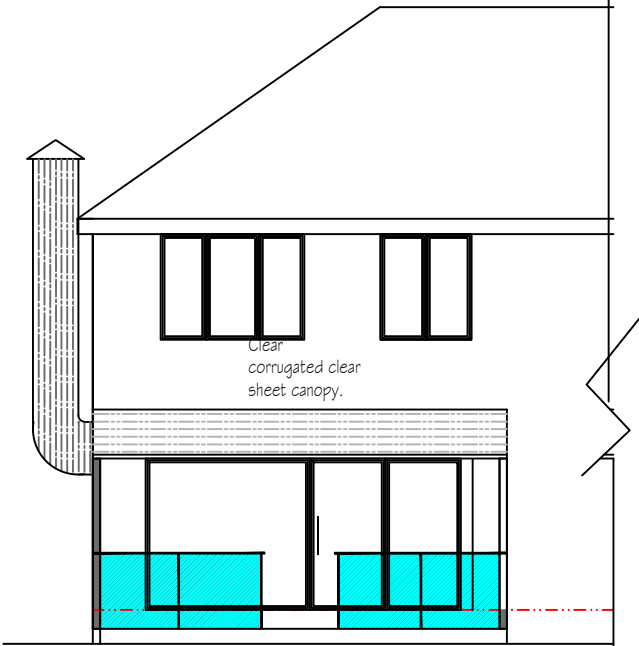
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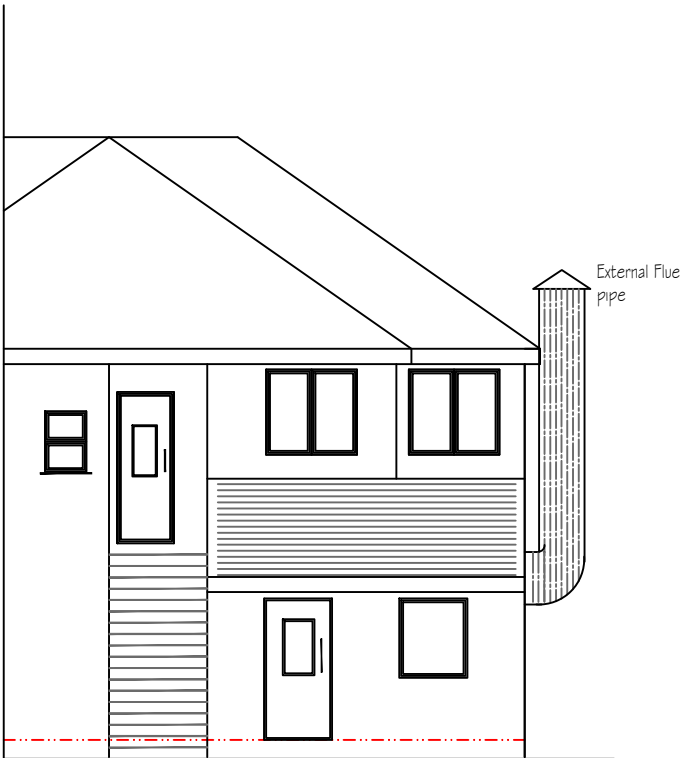
Side Elevation



Elevation From No 67



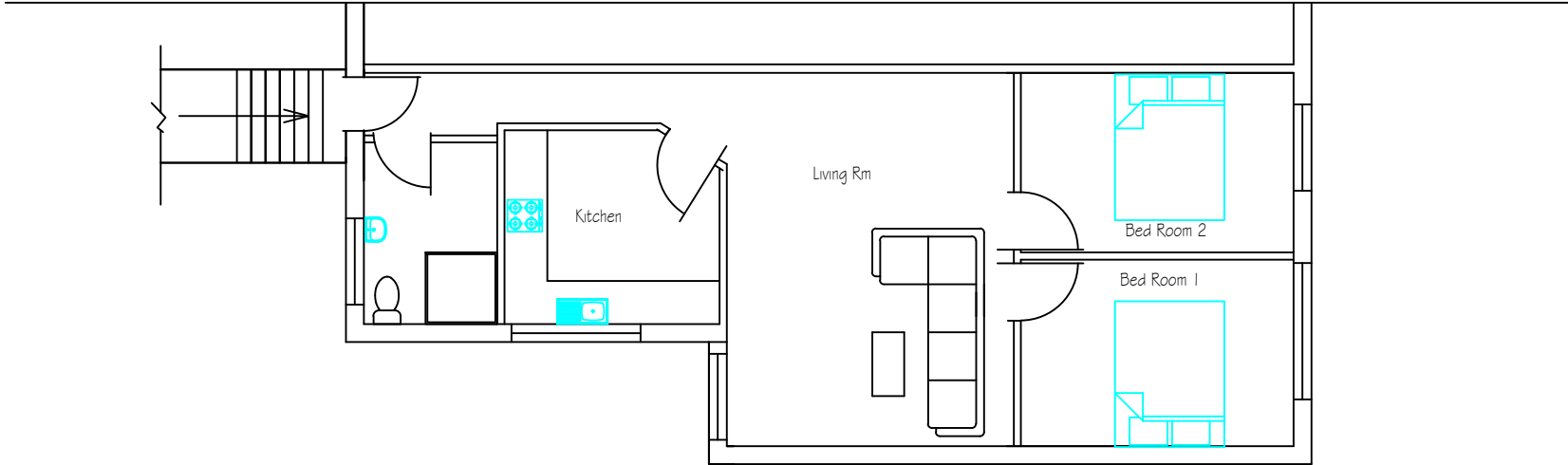
Front Elevation



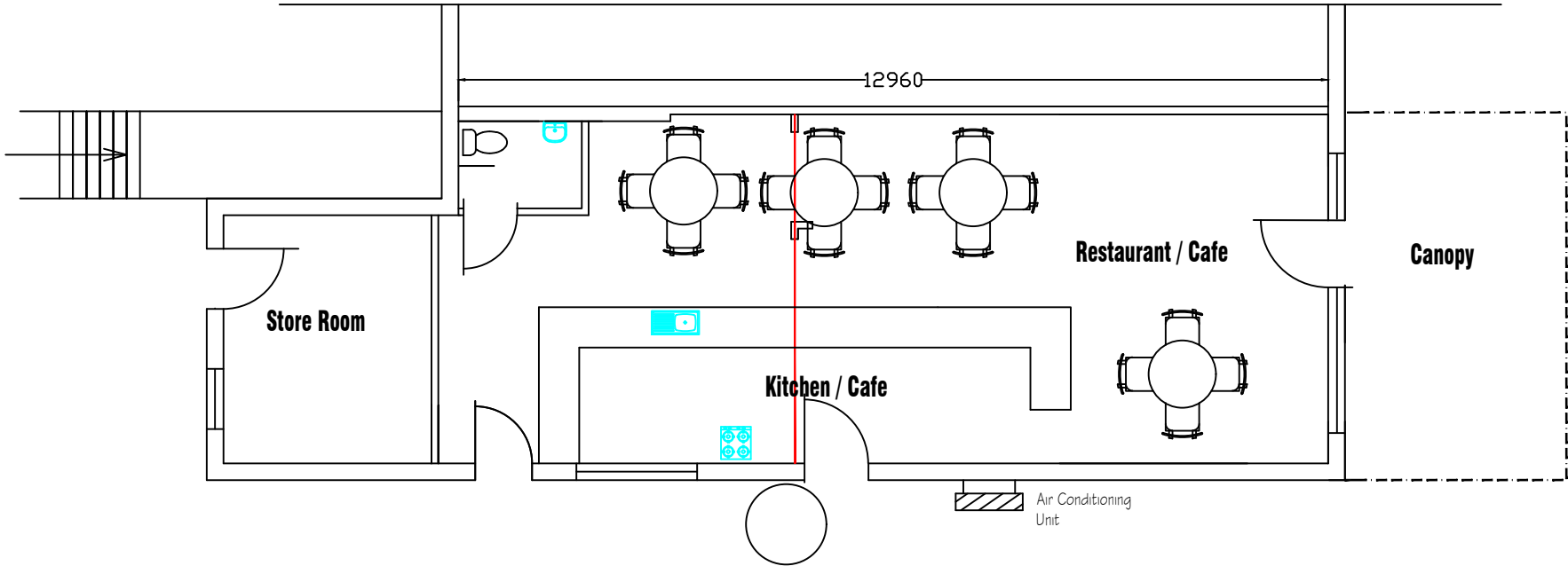
Rear Elevation

Date	Rev	Description	
25.9.23	A	Planning	
24.01.24	B	Planning	
25.01.24	C	Planning	
H S H Engineering Design Services Ltd 428 Cheetham Hill Road Cheetham Manchester M8 9LE. UK 0161 7956385, 07940197 333			
project title	Proposed change of the ground floor from a shop to restaurant including installation of an external flue pipe.		
client	Mr Asim Humza		
dwg. title	As Constructed		
dwg. no.	sheet no.	scale.	job no.
6D.		1:100 ● A3	
65 Windsor Road Pretwich M25 0DB			
drawn by.	checked by.	approved by.	date
TZ			March 2023

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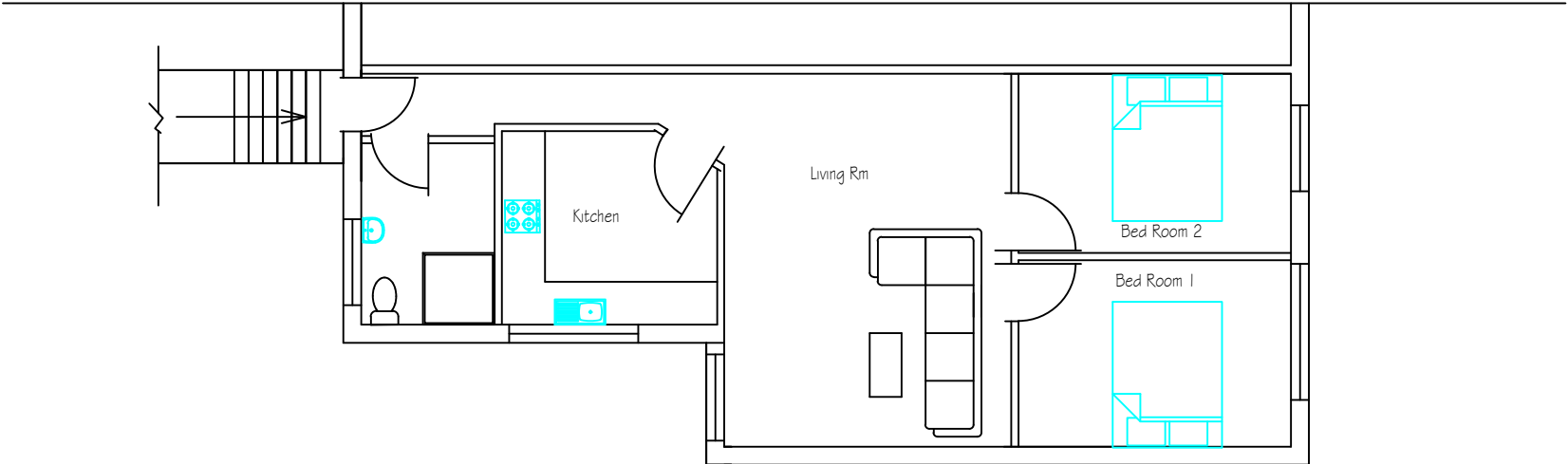


1st Floor Plan

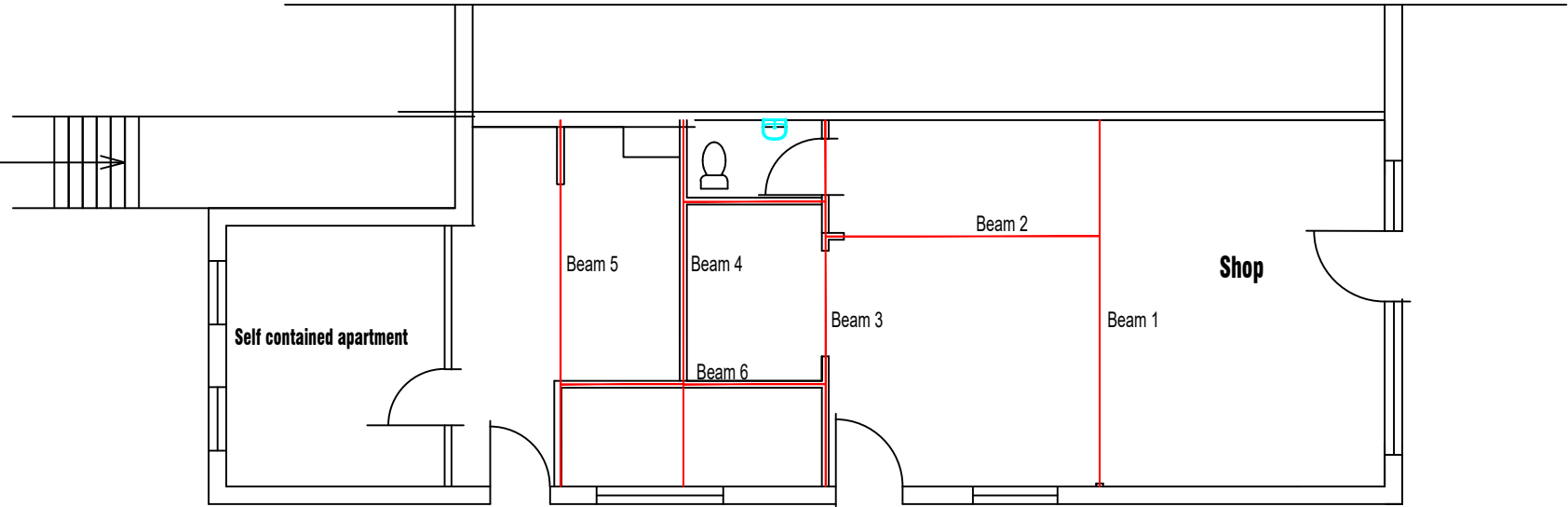


Ground Floor Plan

Date	Rev	Description	
25.9.23	A	Planning	
20/01/25	B	Planning	
16/03/25	C	Planning	
H S H Engineering Design Services Ltd 428 Cheetham Hill Road Cheetham Manchester M8 9LE. UK 01617956385,07940197 333			
project title	Proposed change of the ground floor from a shop to restaurant including installation of an external flue pipe.		
client	Mr Asim Humza		
dwg. title	As Constructed		
dwg.no.	sheet no.	scale.	job no.
5C		1:100 • A3	
65 Windsor Road Pretwich M25 ODB			
drawn by.	checked by.	approved by.	date
TZ		-	March 2023



1st Floor Plan



Ground Floor Plan

THE BUILDER MUST CHECK THE SITE AND THE APPROVED DRAWINGS BEFORE COMMENCING THE WORKS AND MUST TAKE ANY WORKING MEASUREMENTS AS NECESSARY. ANY DISCREPANCY IN THE DRAWING MUST BE REPORTED TO THE CLIENT .

H S H Engineering Design Services Ltd 428 Cheetham Hill Road Cheetham Manchester M8 9LE. UK 01617956385,07940197 333			
project title	Proposed change of the ground floor from a shop to restaurant including installation of an external flue pipe.		
client	Mr Asim Humza		
dwg. title	Existing Plans		
dwg. no.	sheet no.	scale.	job no.
02		1:100 A3	
65 Windsor Road Pretwich M25 0DB			
drawn by.	checked by.	approved by.	date
TZ			March 2023

REPORT FOR NOTING

**Agenda
Item**
5

DECISION OF:	PLANNING CONTROL COMMITTEE
DATE:	22 July 2025
SUBJECT:	DELEGATED DECISIONS
REPORT FROM:	HEAD OF DEVELOPMENT MANAGEMENT
CONTACT OFFICER:	DAVID MARNO
TYPE OF DECISION:	COUNCIL
FREEDOM OF INFORMATION/STATUS:	This paper is within the public domain
SUMMARY:	The report lists: Recent delegated planning decisions since the last PCC
OPTIONS & RECOMMENDED OPTION	The Committee is recommended to the note the report and appendices
IMPLICATIONS:	
Corporate Aims/Policy Framework:	Do the proposals accord with the Policy Framework? Yes
Statement by the S151 Officer: Financial Implications and Risk Considerations:	Executive Director of Resources to advise regarding risk management
Statement by Executive Director of Resources:	N/A
Equality/Diversity implications:	No
Considered by Monitoring Officer:	N/A
Wards Affected:	All listed
Scrutiny Interest:	N/A

TRACKING/PROCESS**DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

1.0 BACKGROUND

This is a monthly report to the Planning Control Committee of the delegated planning decisions made by the officers of the Council.

2.0 CONCLUSION

That the item be noted.

List of Background Papers:-None**Contact Details:-**

David Marno, Head of Development Management
Planning Services, Department for Resources and Regulation
3 Knowsley Place
Bury BL9 0EJ

Tel: 0161 253 5291

Email: d.marno@bury.gov.uk

Planning applications decided using Delegated Powers Between 16/06/2025 and 13/07/2025

Discharge of Conditions/Regulation 5/Article 18

decisions

Application No.:	71663	App. Type:	CONDIS 27/06/2025	Approve
Location:	Land at Billberry Close & Albert Road, Whitefield, M45 8BL			
Proposal:	Application to discharge conditions on planning permission 69535: 5 (External Materials), 8 (Japanese Knotweed), 9 (Hard & Soft Landscaping), 10 (Drainage Scheme), 11 (Footway Crossings), 12 (Construction Traffic Management Plan)			
Application No.:	71805	App. Type:	CONDIS 19/06/2025	Approve
Location:	Land adjacent to 391 Whalley Road, Ramsbottom, Bury, BL0 0ER			
Proposal:	Application to discharge condition nos. 3, 4, 6, 9, 10, 11 & 12 attached to planning permission 68608.			
Application No.:	71859	App. Type:	CONDIS 30/06/2025	Approve
Location:	4 Butt Hill Road, Prestwich, Manchester, M25 9NJ			
Proposal:	Application to discharge condition 3 (materials) and condition 7 (construction traffic management plan) on planning permission 71263			
Application No.:	71913	App. Type:	CONDIS 01/07/2025	Approve
Location:	137 The Rock, Bury, BL9 0ND			
Proposal:	Application to discharge condition 4 (contaminated land/risk assessment/site investigation), condition 5 (verification/remediation strategy) and condition 9 (footway crossing) on planning permission 69572			
Application No.:	71918	App. Type:	CONDIS 08/07/2025	Approve
Location:	Land at Billberry Close & Albert Road, Whitefield, Manchester, M45 8BL			
Proposal:	Application to discharge condition 3 (contaminated land preliminary risk assessment/remediation measures) on planning permission 69535			
Application No.:	71942	App. Type:	REG5 23/06/2025	Raise No Objection
Location:	North East Quadrant, Junction M66/M60, off Egypt Lane, Prestwich, Manchester, M25 2ST			
Proposal:	Regulation 5 notice of intention to install electronic communications apparatus comprising Existing 6 no. antennas to be removed and replaced with proposed 6 no. antennas, proposed 9 no. ERS modules and ancillary equipment			
Application No.:	71943	App. Type:	CONDIS 04/07/2025	Approve
Location:	Longfield Shopping Centre/Car Park, Fairfax Road Car Park. and adjoining land at Bury New Road, Rectory Lane & Fairfax Road, Prestwich, Manchester, M25 5AY			
Proposal:	Application to re-discharge pre-commencement condition no. 42 (Surface Water Drainage) pursuant to application 70449 relating to Phase 1A of the development			
Application No.:	71951	App. Type:	CONDIS 26/06/2025	Approve
Location:	Holcombe Mill, Bridge Street, Ramsbottom, Bury, BL0 0BS			
Proposal:	Application to discharge condition 3 (materials) on planning permission 70222			

Application No.:	71972	App. Type:	REG5	17/06/2025	Raises No Objection Subject to Condition
Location:	Pavement opposite 44-46 Parr Lane, Bury, BL9 8LP				
Proposal:	Regulation 5 notice of intention to install new 9M Light pole (ref. WG9MWF6J)				
Application No.:	71983	App. Type:	CONDIS	17/06/2025	Approve
Location:	Land at York Street, Radcliffe, Manchester, M26 2GL				
Proposal:	Application to discharge conditions 22 and 23 (traffic calming proposals) on planning permission 68368				
Application No.:	71996	App. Type:	CONDIS	24/06/2025	Approve
Location:	156 Walmersley Road, Bury, BL9 6LL				
Proposal:	Application to discharge condition 5 (soundproofing scheme) on planning permission 71619				
Application No.:	72012	App. Type:	REG5	26/06/2025	Raise No Objection
Location:	Pike Farm, Bury Old Road, Ramsbottom, Bury, BL9 6SY				
Proposal:	Regulation 5 notice of intention to install 1no. omni antenna at 29.65m along with ancillary equipment thereto including GPS Module				
Application No.:	72021	App. Type:	REG5	07/07/2025	Raise No Objection
Location:	Grass verge adj 98 Watling Street, Bury, BL8 2TG				
Proposal:	Regulation 5 notice of intention to install 1 no. 9M light wooden pole				
Application No.:	72029	App. Type:	CON	23/06/2025	Raise No Objection
Location:	The Fishermans Retreat, Riding Head Lane, Ramsbottom, Bury, Lancashire BL0 0HH				
Proposal:	Article 18 consultation from Rossendale Borough Council (2025/0148) - Change of use from restaurant/hospitality venue to 18 residential apartments with associated works (including completion of part-built external part of southern extension with fenestration changes) to facilitate change of use				
Application No.:	72042	App. Type:	REG5	27/06/2025	Raise Objections
Location:	Grass verge at junction of Ainsworth Road, adj 114 Watling Street, (opp 11 Chatton Close) Bury, BL8 2TG				
Proposal:	Regulation 5 notice of intention to install 1 no. new 13m light wooden pole (ref. OGEEA0143822)				
Application No.:	72093	App. Type:	REG5	11/07/2025	Raise No Objection
Location:	Starling Water Tower, Cockey Moor Road, Bury, BL8 2HD				
Proposal:	Regulation 5 notice of intention to remove and replace 3 no. existing antennas with 6 no. proposed antennas, installation of 1 no. 0.3m dish onto existing steel pole, existing equipment cabin to be upgraded internally, and ancillary development thereto (ref. CS 12072138)				
Ward:	Bury East				
Application No.:	70688	App. Type:	P3JPA	11/07/2025	Prior Approval Required and Granted
Location:	Acorn Business Centre, Fountain Street North, Bury, BL9 7AN				
Proposal:	Prior Approval for proposed change of use of first and second floor from offices (Class E) to 19 no. flats (Class C3) - Subdivision of the existing ground floor to form two dedicated access points for the tenants to access the apartments directly from Fountain Street North.				

Application No.: 71405 **App. Type:** FUL 11/07/2025 Approve with Conditions
Location: 8 Tenterden Street, Bury, BL9 0EG
Proposal: Change of use from office (Class E) to 8 bed (single occupancy) HMO (sui generis), with 2 no velux rooflights at front and 2 no velux rooflights at rear and erection of wall to define yard side boundary

Application No.: 71737 **App. Type:** FUL 08/07/2025 Approve with Conditions
Location: St Thomas Primary School, Pimhole Road, Pimhole, Bury, BL9 7EY
Proposal: Erection of new 2.4m high boundary fencing and access gates and new privacy screening to inside

Application No.: 71785 **App. Type:** FUL 25/06/2025 Approve with Conditions
Location: Halls Mill Retail Park, Back Foundry Street, Bury, BL9 7AZ
Proposal: Installation of four rapid electric vehicle charging stations and ancillary equipment, including one fully accessible EV charging bay.

Application No.: 71824 **App. Type:** FUL 25/06/2025 Approve with Conditions
Location: 20 Wilson Street, Pimhole, Bury, BL9 7EF
Proposal: Single/two storey rear extension

Application No.: 71911 **App. Type:** FUL 19/06/2025 Approve with Conditions
Location: Bury Hospice, Rochdale Old Road, Bury, BL9 7RG
Proposal: Variation of condition no. 2 following approval of planning permission 69966 - Change from permeable block to permeable macadam for the car park

Application No.: 71944 **App. Type:** FUL 10/07/2025 Refused
Location: 44 Manchester Road, Bury, BL9 0SX
Proposal: Change of use from dwelling (Class C3) to 8 bed (single occupancy) house in multiple occupation (HMO) (Sui Generis) with new velux rooflights to front/rear

Application No.: 72011 **App. Type:** ADV 10/07/2025 Approve with Conditions
Location: Unit F12, The Rock, Central Street, Bury, BL9 0JY
Proposal: Advertisement consent for internally illuminated fascia and new acrylic face to existing blade sign

Ward: **Bury East - Moorside**

Application No.: 70987 **App. Type:** FUL 10/07/2025 Approve with Conditions
Location: Site adjacent to Unit 1, Todd Street, Bury, BL9 5AA
Proposal: Erection of 1 no. unit for storage of existing plant on site

Ward: **Bury East - Redvales**

Application No.: 71532 **App. Type:** FUL 08/07/2025 Approve with Conditions
Location: Kemp Heaton Avenue, situated between Bury Cemetery to the north and Peachment Place Extra Care apartments to the south.
Proposal: Variation of condition no. 2 (approved plans) and condition 15 (drainage design) of planning permission 70015 - removal of louvres from windows of the houses, bungalows and cottage flats; amendments to landscaping and additional information added to drainage design and layout

Application No.:	71723	App. Type:	FUL	16/06/2025	Approve with Conditions
Location:	11 Rhiwlas Drive, Bury, BL9 9DD				
Proposal:	Two/single storey extension at rear and external alterations; Formation of vehicular access and 2 no. parking spaces at front				
Application No.:	71864	App. Type:	GPDE	09/07/2025	Prior Approval Required & Granted - Ext
Location:	9 Inglewhite Close, Bury, BL9 9NT				
Proposal:	Prior approval for proposed single storey rear extension				

Ward: **Bury West**

Application No.:	71548	App. Type:	FUL	27/06/2025	Approve with Conditions
Location:	Chantlers County Primary School, Foulds Avenue, Bury, BL8 2SF				
Proposal:	Proposed open three-sided canopy extension and retrospective application for Octagon Forest classroom unit, open-sided gazebo and storage container				
Application No.:	71833	App. Type:	FUL	20/06/2025	Approve with Conditions
Location:	4 Otterbury Close, Bury, BL8 2TY				
Proposal:	Single storey front extension and first floor rear extension				
Application No.:	71891	App. Type:	GPDE	08/07/2025	Prior Approval Not Required - Extension
Location:	116 Ainsworth Road, Bury, BL8 2RX				
Proposal:	Prior approval for proposed single storey rear extension				
Application No.:	71915	App. Type:	FUL	30/06/2025	Approve with Conditions
Location:	21 Craig Avenue, Bury, BL8 2PG				
Proposal:	Single storey rear extension				

Ward: **Bury West - Elton**

Application No.:	71813	App. Type:	FUL	26/06/2025	Approve with Conditions
Location:	21 Sleaford Close, Bury, BL8 1XF				
Proposal:	Loft conversion with rear dormer				

Ward: **North Manor**

Application No.:	71653	App. Type:	FUL	17/06/2025	Approve with Conditions
Location:	Hazel Hall Farm, Higher Summerseat, Summerseat, Ramsbottom, Bury, BL0 9UG				
Proposal:	Detached garage with storage space in roof				
Application No.:	71837	App. Type:	FUL	17/06/2025	Approve with Conditions
Location:	7 St Austell Drive, Tottington, Bury, BL8 4EY				
Proposal:	Single storey extension at side; first floor extension over existing garage incorporating front & rear dormers				

Application No.: 71877 **App. Type:** FUL 04/07/2025 Approve with Conditions
Location: Hollymount Farm, Hollymount Lane, Tottington, Bury, BL8 4HP
Proposal: Raising of height of ridge of roof and installation of 2 no roof lights at rear to form loft conversion; two storey extension at side; new access door / stairs and first floor window to side elevation; bin store at side; erection of front boundary wall

Application No.: 71910 **App. Type:** FUL 27/06/2025 Approve with Conditions
Location: 195 Holcombe Road, Tottington, Bury, BL8 4BQ
Proposal: Single storey rear extension

Ward: **Prestwich - Holyrood**

Application No.: 71699 **App. Type:** FUL 01/07/2025 Approve with Conditions
Location: 26 Carisbrook Avenue, Whitefield, Manchester, M45 6UP
Proposal: Single storey wrap-around Front/Side/Rear Extensions

Application No.: 71750 **App. Type:** FUL 25/06/2025 Approve with Conditions
Location: 11 Perrymead, Prestwich, Manchester, M25 2QJ
Proposal: Single storey extension at rear

Application No.: 71798 **App. Type:** FUL 26/06/2025 Approve with Conditions
Location: 34 Kenilworth Avenue, Whitefield, Manchester, M45 6TG
Proposal: Single storey extension at side and rear

Application No.: 71890 **App. Type:** GPDE 16/06/2025 Prior Approval Not Required - Extension
Location: 32 Parrenthorn Road, Prestwich, Manchester, M25 2RL
Proposal: Prior approval for proposed single storey rear extension

Application No.: 71895 **App. Type:** FUL 19/06/2025 Approve with Conditions
Location: 82 Heys Road, Prestwich, Manchester, M25 1LA
Proposal: Two/single storey extension at rear

Ward: **Prestwich - Sedgley**

Application No.: 71747 **App. Type:** FUL 11/07/2025 Approve with Conditions
Location: 138 Rectory Lane, Prestwich, Manchester, M25 1DJ
Proposal: Single/two storey extension at rear, porch extension at front and dropped kerb

Application No.: 71761 **App. Type:** LDCP 19/06/2025 Lawful Development
Location: 25 Downham Crescent, Prestwich, Manchester, M25 0EH
Proposal: Lawful development certificate for proposed change of use from residential (Class C3) to childrens residential care for two children aged 7-17 with up to two staff working on a rota basis and one manager working business hours (Mon-Fri) (Class C2).

Application No.:	71799	App. Type:	FUL	19/06/2025	Approve with Conditions
Location:	121 Park Road, Prestwich, Manchester, M25 0DU				
Proposal:	Two storey front bay extensions and two storey front porch extension with new steps; Single storey rear extension; New dormer at rear; Erection of outbuilding at rear; Boundary walls to front, side and rear and fencing to part of the southern boundary.				
Application No.:	71817	App. Type:	FUL	26/06/2025	Approve with Conditions
Location:	28 Bent Lane, Prestwich, Manchester, M25 1DN				
Proposal:	Two storey/single storey rear extension				
Application No.:	71843	App. Type:	FUL	27/06/2025	Approve with Conditions
Location:	31 Bury Old Road, Prestwich, Manchester, M25 0EY				
Proposal:	Two storey front extension to form porch				
Application No.:	71854	App. Type:	FUL	25/06/2025	Approve with Conditions
Location:	82 Meade Hill Road, Prestwich, Manchester, M8 4LP				
Proposal:	New front porch and two storey extension at side				
Application No.:	71899	App. Type:	FUL	30/06/2025	Approve with Conditions
Location:	21 Windsor Crescent, Prestwich, Manchester, M25 0DD				
Proposal:	Two storey side/rear extension; First floor front extension; Render to all elevations				
Application No.:	71921	App. Type:	GPDE	10/07/2025	Prior Approval Not Required - Extension
Location:	9 Dorchester Avenue, Prestwich, Manchester, M25 0LH				
Proposal:	Prior approval for proposed single storey rear extension				
Application No.:	71958	App. Type:	FUL	08/07/2025	Approve with Conditions
Location:	155 Downham Crescent, Prestwich, Manchester, M25 0BZ				
Proposal:	Two storey side extension and part single/part two storey rear extension.				

Ward: Prestwich - St Mary's

Application No.:	71861	App. Type:	FUL	23/06/2025	Approve with Conditions
Location:	89 Butterstile Lane, Prestwich, Manchester, M25 9UP				
Proposal:	Single storey side and front extension				
Application No.:	71870	App. Type:	FUL	08/07/2025	Approve with Conditions
Location:	22 Woodland View, Prestwich, M25 3ES				
Proposal:	Single storey rear extension				

Ward: Radcliffe - East

Application No.:	71618	App. Type:	FUL	17/06/2025	Refused
Location:	32 Stand Lane, Radcliffe, Manchester, M26 1LJ				
Proposal:	Demolish rear extensions; first floor extension at rear, raise ridge height of main roof with dormer extension at rear				
Application No.:	71826	App. Type:	LDCP	19/06/2025	Lawful Development
Location:	2 Hackney Close, Radcliffe, Manchester, M26 4UG				
Proposal:	Lawful development certificate for proposed conservatory and construction of a soakaway in rear Garden				
Application No.:	71828	App. Type:	FUL	04/07/2025	Approve with Conditions
Location:	86 Cross Lane, Radcliffe, Manchester, M26 2RF				
Proposal:	Change of use from dwellinghouse (Class C3) to children's residential care home (Class C2)				
Application No.:	71970	App. Type:	FUL	08/07/2025	Approve with Conditions
Location:	29 Great Hall Close, Radcliffe, Manchester, M26 4DA				
Proposal:	Single storey extension at side and rear; Single storey front extension to existing garage and conversion to living accommodation; Render to existing front extension and new extension				

Ward: Radcliffe - North and Ainsworth

Application No.:	71427	App. Type:	FUL	16/06/2025	Approve with Conditions
Location:	10 Camden Close, Ainsworth, Bolton, BL2 5RH				
Proposal:	Raised decking at rear with storage underneath				
Application No.:	71838	App. Type:	FUL	16/06/2025	Approve with Conditions
Location:	9 Penrice Close, Radcliffe, Manchester, M26 3UL				
Proposal:	Single storey extension at side				
Application No.:	71872	App. Type:	FUL	20/06/2025	Approve with Conditions
Location:	Land to west of Barrack Fold Farm, Knowsley Road, Ainsworth, Radcliffe, BL2 5PS				
Proposal:	Demolition and replacement of existing agricultural building				
Application No.:	71900	App. Type:	FUL	30/06/2025	Approve with Conditions
Location:	155A Ainsworth Road, Radcliffe, Manchester, M26 4FD				
Proposal:	Change of Use from flat (Class C3) to Hot Food Takeaway for storage and staff room (Sui Generis)				
Application No.:	71933	App. Type:	LDCP	11/07/2025	Lawful Development
Location:	22 Forth Road, Radcliffe, Manchester, M26 4PX				
Proposal:	Lawful development certificate for proposed garage conversion to utility room and to use as hair salon				

Ward: Ramsbottom

Application No.:	71446	App. Type:	FUL	27/06/2025	Refused
Location:	Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury, BL0 0HH				
Proposal:	Installation of a slurry pond				
Application No.:	71714	App. Type:	ADV	10/07/2025	Approve with Conditions
Location:	62 Bridge Street, Ramsbottom, Bury, BL0 9AG				
Proposal:	1 No.non-illuminated fascia sign				
Application No.:	71852	App. Type:	FUL	30/06/2025	Approve with Conditions
Location:	255 Whittingham Drive, Ramsbottom, Bury, BL0 9NY				
Proposal:	Single storey rear extension; loft conversion with rear dormer and raise roof ridge height				
Application No.:	71866	App. Type:	FUL	09/07/2025	Approve with Conditions
Location:	5 Square Street, Ramsbottom, Bury, BL0 9BE				
Proposal:	Change of use from chiropractor (Class E) to bar (Sui Generis) following temporary approval				
Application No.:	71897	App. Type:	FUL	23/06/2025	Approve with Conditions
Location:	4 Whittingham Drive, Ramsbottom, Bury, BL0 9LZ				
Proposal:	Single Storey Side/Rear Extension				
Application No.:	71905	App. Type:	PIP	23/06/2025	Refused
Location:	Land between 145 and 115 Holcombe Old Road, Bury, BL8 4NF				
Proposal:	Permission in principle for the removal of barn/storage shed and erection of 1no. three bedroom detached dwelling				
Application No.:	71929	App. Type:	FUL	07/07/2025	Approve with Conditions
Location:	34 Carrwood Hey, Ramsbottom, Bury, BL0 9QT				
Proposal:	Two storey side extension				
Application No.:	71984	App. Type:	LBC	11/07/2025	Approve with Conditions
Location:	15 Barwood Lea, Ramsbottom, Bury, BL0 9AX				
Proposal:	Listed building consent for removal and reinstatement of the slate covered pitched roof				

Ward: **Tottington**

Application No.:	71688	App. Type:	FUL	10/07/2025	Approve with Conditions
Location:	Ferns Farm, Turton Road, Tottington, Bury, BL8 3QH				
Proposal:	Replacement dwelling with associated landscaping, servicing and incidental residential use of existing outbuildings				
Application No.:	71771	App. Type:	FUL	16/06/2025	Refused
Location:	1 Acres Street, Tottington, Bury, BL8 3BR				
Proposal:	First floor side extension with extension of existing front/rear dormers				

Application No.:	71835	App. Type:	FUL	17/06/2025	Approve with Conditions
Location:	29 Leigh Close, Tottington, Bury, BL8 4HL				
Proposal:	Single storey side extension				
Application No.:	72005	App. Type:	GPDE	08/07/2025	Prior Approval Not Required - Extension
Location:	52 Moyse Avenue, Tottington, Bury, BL8 3BL				
Proposal:	Prior approval for proposed single storey rear extension				
Ward:	Whitefield + Unsworth - Besses				
Application No.:	71703	App. Type:	FUL	04/07/2025	Approve with Conditions
Location:	9 Brightwater Close, Whitefield, Manchester, M45 8SE				
Proposal:	Single storey side extension				
Application No.:	71720	App. Type:	FUL	20/06/2025	Approve with Conditions
Location:	30 Hardmans Road, Whitefield, Manchester, M45 7BD				
Proposal:	Loft conversion with dormers at front, side and rear				
Application No.:	71786	App. Type:	FUL	11/07/2025	Approve with Conditions
Location:	3 Hardmans Road, Whitefield, Manchester, M45 7BB				
Proposal:	Single storey side extension				
Application No.:	71878	App. Type:	FUL	23/06/2025	Approve with Conditions
Location:	201 Parr Lane, Bury, BL9 8JW				
Proposal:	Garage conversion including replacing garage door with new window / door; new flat roof over and render at front				
Application No.:	71930	App. Type:	LDCP	30/06/2025	Lawful Development
Location:	30 Clarence Avenue, Whitefield, Manchester, M45 6DZ				
Proposal:	Lawful Development Certificate for Proposed Single Storey Rear Extension				
Application No.:	71956	App. Type:	LDCP	04/07/2025	Lawful Development
Location:	263 Parr Lane, Bury, BL9 8LX				
Proposal:	Lawful development for proposed flat roof dormer to rear plane of existing roof. Loft conversion with Velux rooflights to front plane of roof				
Application No.:	72002	App. Type:	GPDE	11/07/2025	Prior Approval Required Refused - Ext
Location:	10 Oxbow Way, Whitefield, Manchester, M45 8SG				
Proposal:	Application for prior approval of a proposed enlargement of a dwellinghouse by construction of additional storeys - Proposed addition of one storey to create a three storey house (maximum height 9.8 metres)				
Application No.:	72006	App. Type:	GPDE	11/07/2025	Prior Approval Not Required - Extension
Location:	39 Lancaster Avenue, Whitefield, Manchester, M45 6DE				
Proposal:	Prior approval for proposed single storey rear extension				

Ward: Whitefield + Unsworth - Pilkington Park

Application No.: 71766 **App. Type:** FUL 26/06/2025 Approve with Conditions
Location: 4 Stand Close, Whitefield, M45 7JL
Proposal: Two storey side extension, single storey rear extension and raised terrace at rear

Application No.: 71871 **App. Type:** PRNPV 01/07/2025 Prior Approval Not required
Location: Polyflor Ltd, Radcliffe New Road, Whitefield, Manchester, M45 7NR
Proposal: Prior approval for proposed installation of solar PV panels to roof

Application No.: 71884 **App. Type:** LDCP 11/07/2025 Lawful Development
Location: 6 Ringley Park, Radcliffe, Manchester, M45 7NT
Proposal: Lawful development certificate for proposed single storey outbuilding for incidental use.

Application No.: 71906 **App. Type:** FUL 27/06/2025 Approve with Conditions
Location: 51 Egerton Road, Whitefield, Manchester, M45 7FU
Proposal: Single storey extension at side/rear

Ward: Whitefield + Unsworth - Unsworth

Application No.: 71770 **App. Type:** FUL 16/06/2025 Approve with Conditions
Location: 2 Lawrence Street, Bury, BL9 9SN
Proposal: Single storey extension at side/rear with first floor balcony above; Front porch

Application No.: 71855 **App. Type:** FUL 23/06/2025 Refused
Location: 20 Cliff Road, Bury, BL9 9SP
Proposal: Demolition of existing garage & erection of new garage

Application No.: 71886 **App. Type:** FUL 03/07/2025 Approve with Conditions
Location: 8 Burndale Drive, Bury, BL9 8EN
Proposal: Two storey extension at side and raised patio at rear

Application No.: 71892 **App. Type:** FUL 04/07/2025 Approve with Conditions
Location: 20 Fairway Road, Bury, BL9 8DY
Proposal: Single storey extension at side/rear

Total Number of Applications Decided: 90

REPORT FOR NOTING

DECISION OF:	PLANNING CONTROL COMMITTEE
DATE:	22 July 2025
SUBJECT:	PLANNING APPEALS
REPORT FROM:	HEAD OF DEVELOPMENT MANAGEMENT
CONTACT OFFICER:	DAVID MARNO
TYPE OF DECISION:	COUNCIL
FREEDOM OF INFORMATION/STATUS:	This paper is within the public domain
SUMMARY:	Planning Appeals: - Lodged - Determined Enforcement Appeals - Lodged - Determined
OPTIONS & RECOMMENDED OPTION	The Committee is recommended to the note the report and appendices
IMPLICATIONS:	
Corporate Aims/Policy Framework:	Do the proposals accord with the Policy Framework? Yes
Statement by the S151 Officer: Financial Implications and Risk Considerations:	Executive Director of Resources to advise regarding risk management
Statement by Executive Director of Resources:	N/A
Equality/Diversity implications:	No
Considered by Monitoring Officer:	N/A

Wards Affected:	All listed
Scrutiny Interest:	N/A

TRACKING/PROCESS

DIRECTOR:

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

1.0 BACKGROUND

This is a monthly report to the Committee of the Planning Appeals lodged against decisions of the authority and against Enforcement Notices served and those that have been subsequently determined by the Planning Inspectorate.

Attached to the report are the Inspectors Decisions and a verbal report will be presented to the Committee on the implications of the decisions on the Appeals that were upheld.

2.0 CONCLUSION

That the item be noted.

List of Background Papers:-

Contact Details:-

David Marno, Head of Development Management
Planning Services, Department for Resources and Regulation,
3 Knowsley Place ,Bury BL9 0EJ

Tel: 0161 253 5291

Email: d.marno@bury.gov.uk

**Planning Appeals Lodged
between 16/06/2025 and 13/07/2025**



Application No.: 71446/FUL

Decision level: DEL

Recommended Decision: Refuse

Applicant: Mr & Mrs J & C Brown

Location Twine Valley Farm, Church Road, Shuttleworth, Ramsbottom, Bury, BL0 0HH

Appeal lodged: 30/06/2025

Appeal Type: Written Representations

Proposal Installation of a slurry pond

Total Number of Appeals Lodged: 1

**Planning Appeals Decided
between 16/06/2025 and 13/07/2025**



Application No.: 71319/FUL

Decision level: DEL

Recommended Decision: Refuse

Applicant: Mr Apenteng

Location: St John Shuttleworth, Whalley Road, Ramsbottom, BL0 0EF

Proposal: Retention of installed flue on North elevation

Appeal Decision: Dismissed

Date: 25/06/2025

Appeal type: Written Representations

Appeal Decision

Site visit made on 30 April 2025

by Sarah Manchester BSc MSc PhD MEnvSc

an Inspector appointed by the Secretary of State

Decision date: 25 June 2025

Appeal Ref: APP/T4210/D/25/3360638

Church House, 254 Whalley Road, Shuttleworth, Ramsbottom BL0 0EH

- The appeal is made under section 78 of the Town and Country Planning Act 1990 (as amended) against a refusal to grant planning permission.
 - The appeal is made by Dominic Apenteng against the decision of Bury Metropolitan Borough Council.
 - The application Ref is 71319.
 - The development proposed is retention of installed flue on north elevation.
-

Decision

1. The appeal is dismissed.

Preliminary Matters

2. The appeal relates to the former St. John in the Wilderness Church, which is a non-designated heritage asset (NDHA). Planning permissions¹ were granted in 2021 and 2022 for the change of use and conversion of the church into a single dwelling. The works to convert the building have commenced.
3. The development subject of this appeal is an external flue and it was completed in September 2024. As the flue was present at the time of my visit and it corresponds to the submitted plans, I have determined the appeal on the basis that planning permission is sought to retain the development that has been implemented.

Main Issue

4. Therefore, the main issue is the effect of the external flue on the significance of a non-designated heritage asset and the character and appearance of the area.

Reasons

5. The former St. John in the Wilderness Church building dates from the early to mid 19th century. It was originally designed and used as a school but it was subsequently altered and enlarged and converted into a church in 1848. It is a simple rectangular building constructed in coursed stone with a gabled blue slate roof. Of particular relevance to the appeal, its northern gable end features a stone bell-cote, lancet windows with stone trefoil heads, quatrefoil medallions depicting the Evangelists (now eroded) and stone buttresses to the corners. Notwithstanding the alterations, most notably to the eastern elevation and the roof, the early English style church architecture remains legible.

¹ Refs 66744 and 67711

6. The NDHA is set in a large churchyard enclosed by stone walls. It was constructed as part of the development of Shuttleworth and remained in community use for some 170 years, initially as a school and occasional preaching station and then a church until falling out of use around 2017. It forms part of a historic group with the nearby graveyard and Sunday School. Given the above, I find that the special interest of the NDHA, insofar as it relates to the appeal, to be primarily associated with its architectural features which contribute to its historic legibility and special interest as a simple country church at the heart of the village.
7. The stainless steel flue punctures the north gable end wall to exit the building between the windows. It rises vertically between the medallions before angling across the elevation to protrude upwards from the edge of the roof. As such, it does not obscure the windows, medallions or bell-cote. Irrespective, its modern materials, design and siting are poorly related to and out of keeping with the traditional materials and architectural features of the historic elevation.
8. I accept that the fresh metal appearance may tarnish over time to a duller finish, similar to a former metal flue in the eastern roof slope. However, the photographs illustrate that this was itself an incongruous feature, despite apparently being considerably smaller in scale than the appeal flue and exiting through the roof rather than snaking up through the architectural details of the gable end elevation. Even if the flue did achieve a more muted metal finish, it would remain a discordant and jarring feature. Neither the former metal flue nor historic stone chimney in the eastern roof slope provide a justification for the scheme.
9. The NDHA is set back from and elevated above Whalley Road. At times of year when the frontage trees are in leaf, the views of the building will be filtered. Nevertheless, at the time of my visit I was able to observe the flue from locations to the front even with scaffolding to the north elevation. When the trees are not in leaf, and once the scaffolding is removed, the flue would be more conspicuous in the short range views from Whalley Road. Irrespective, vegetation is temporary and it should not be relied upon to screen development from view.
10. The northern elevation and flue are in any case readily visible along Church Road, due to the prominent siting of the NDHA close to the rear boundary. The approved alterations to the east elevation including roof dormer, such as were necessary to facilitate the residential conversion, have resulted in the domestication of that elevation. However, the orientation of the building, the change in ground levels and the boundary wall serve to screen and mitigate the visual impact in views from the rear. In this regard, the rooflights are relatively flush features and the dormer is modest and unassuming when seen in profile in juxtaposition with the north gable end. In contrast, the flue is a prominent and visually obtrusive feature that is not sympathetic to the otherwise historic elevation.
11. The flue is not assimilated into its surroundings, taking into account the visual context comprises the neighbouring traditional stone dwellings and the undeveloped rolling countryside that surrounds the settlement. As such, the modern flue is a discordant and conspicuous feature that does not contribute positively to sense of place or local distinctiveness.
12. Given the above, I find that the flue detracts from the historic and architectural interest and thereby erodes the significance of the heritage asset. It also harms the traditional rural character and appearance of the area. The National Planning

Policy Framework (the Framework) advises that, in weighing applications that affect a NDHA, a balanced judgement is required having regard to the scale of any harm and the significance of the asset. In this case, the appellant considers that the flue results in less than substantial harm to the NDHA and I am in agreement with the parties in that the flue diminishes the significance of the heritage asset.

13. The flue would serve a fireplace in the ground floor study. I understand that the fireplace would be located directly under the central steel of the mezzanine, which prohibits a vertical alignment through the roof. Moreover, an external central flue would obscure the bell-cote. However, there is little evidence that a flue could not be routed internally to avoid the mezzanine supports, that a stove could not be sited elsewhere so that the flue could exit through the roof, or more fundamentally that there are no alternative means of heating the room.
14. No substantive details of the heating system of the converted building have been provided. I accept it would be an attractive feature such as are commonplace in dwellings, but it has not been demonstrated that a solid fuel fire in the study is essential to the residential conversion. I acknowledge the appellant's financial investment and commitment to creating a family home. However, planning permission has already been granted for the conversion and residential use of the building and the works appear to be well advanced. There is little compelling evidence that the building would not be a viable dwelling without a fireplace in the study. The fireplace, and hence the flue, would be a private benefit. In the absence of any substantiated public benefits, on balance this is not sufficient to outweigh the harm to the significance of the heritage asset.
15. Therefore, I conclude that the development does not conserve or enhance the significance of the former St. John in the Wilderness Church NDHA and it harms the character and appearance of the area. It conflicts with Policies JP-P1 and JP-P2 of the Places for Everyone Joint Development Plan for Bolton, Bury, Manchester, Oldham, Rochdale, Salford, Tameside, Trafford and Wigan 2022 to 2039 Adopted 21 March 2024 and saved policy EN1/2 of the Bury Unitary Development Plan Adopted August 1997. These require, among other things, that development conserves and enhances the historic environment, contributing to the significance of heritage assets and sense of place, and avoiding adverse effects on the character of the area. It would also conflict with the heritage protection and design aims of the Framework.

Conclusion

16. For the reasons set out above, I conclude that the development conflicts with the development plan and there are no material considerations to outweigh that conflict.
17. Therefore, I conclude that the appeal is dismissed.

Sarah Manchester

INSPECTOR

The Ombudsman's final decision

Summary: We will not investigate Mr X's complaint about the Council's planning committee meeting which granted permission for a development on land near his property. There is not enough evidence of fault in the planning process to warrant us investigating. We also cannot achieve the outcomes Mr X wants from his complaint.

The complaint

1. Mr X lives in a property near some open land. The land has received planning permission for residential development. Mr X complains:
 - a) the Council's planning committee was unqualified to make an informed decision on the application;
 - b) the Council's planning officer became aggressive during the debate;
 - c) Council officers directed the committee it had no choice but to grant the permission and warned of legal costs if the applicant appealed a planning refusal.
2. Mr X wants the Council to:
 - review the planning committee meeting and the conduct of officers;
 - re-run the planning meeting with experienced councillors who fully understand the planning process and the impact of their decisions;
 - during that new meeting, tell committee Members that information provided by the planning officer is informed advice and not instructions.

The Ombudsman's role and powers

3. We investigate complaints of injustice caused by 'maladministration' and 'service failure'. I have used the word fault to refer to these. We consider whether there was fault in the way an organisation made its decision. If there was no fault in how the organisation made its decision, we cannot question the outcome. (Local Government Act 1974, section 34(3), as amended)
4. We provide a free service but must use public money carefully. We do not start or continue an investigation if we decide:
 - there is not enough evidence of fault to justify investigating; or
 - we cannot achieve the outcome someone wants.

(Local Government Act 1974, section 24A(6), as amended, section 34(B))

How I considered this complaint

5. I considered information provided by Mr X, the recording of the planning committee meeting, relevant online planning documents, and the Ombudsman's Assessment Code.

My assessment

6. We are not an appeal body. We may only criticise a council's decision where there is evidence of fault in its decision-making process and but for that fault it would have made a different decision. So we consider the processes councils have followed to make decisions. We cannot replace a council's decision with our own or someone else's opinion if the decision has been reached after following proper process.
7. Mr X considers the Council's planning committee was unqualified to make an informed decision on the application. It is not within the Ombudsman's remit to investigate the individual expertise of planning committee members. It is for a council's committee to determine the suitability of members which serve on it. As they are elected members of the public, councillors will have a variety of levels of planning knowledge and experience but would receive advice, guidance and training to help them in their role. The Council's planning committee as a whole was the body making the decision on the application. If any Members were concerned they had insufficient information about any aspect of the application, it was within their powers to defer their decision. They could then have asked officers to provide the information, advice or clarification they felt they needed before the application came back for determination at a later meeting.
8. Mr X believes the Council's planning officer was aggressive during the meeting. I have watched the planning committee's discussion of and decision on the relevant application. Mr X's interpretation of the officer's demeanour may differ because of his opposition to the application the meeting was deciding. But the recording of the meeting provides no evidence that the Council's officer behaved aggressively or said anything aggressive in either tone or content at any time. There is insufficient evidence on this issue to warrant us investigating.
9. Mr X considers the planning officer directed the committee to grant the permission and they had no choice to do so. As explained above, the committee was the decision-making body here, not officers. There is no point within the committee meeting recording when the officer directed Members to grant the permission. The officer responded to questions and advised Members on material planning issues, in line with the position his department had taken in its report to the committee, to recommend approval of the application. That was the officer's role. It was for Members to assess all the information before them, not just the officer's replies at the meeting, to reach their decision. As also previously explained, if they were unsure or unclear on a matter after the debate, they had the option to defer their decision.
10. Mr X also complains an officer warned of possible costs for the Council if the applicant appealed a planning refusal. The context of the legal officer's comments was that a committee Member had proposed a motion to refuse the application. Officers asked the Member to set out what would be the material planning terms for the refusal. The Member did this, the legal officer summarised the proposed refusal reasons and the member agreed the summary. The officer then gave their professional view that the reasons given would not be sustainable at appeal and may be deemed an unreasonable decision which would expose the Council to a

claim for costs from the planning applicant. That was the role of the legal officer: to provide professional advice to members on any course of action they propose. Exposure of the public purse to legal challenge is a consideration for officers and members making decisions on a council's behalf. It was not fault for the officer to provide that advice.

11. We note Mr X considers the officer should have also warned Members that someone opposed to the grant of the permission may also challenge it. But the likelihood of a planning applicant appealing a refusal of a permission is greater than a legal challenge against a grant of permission by another party. This is because the Council's planning decision triggers a formal appeal right to the Planning Inspectorate, a relatively inexpensive and straightforward route to challenge the decision. In comparison, any third party challenging a council decision would have to apply for Judicial Review to a court at significant cost and associated risk. Mr X is concerned the legal advice persuaded a member to abstain from the vote. But that was that member's choice, once the committee had heard the professional advice of the legal officer
12. There is not enough evidence of fault in the actions of officers or Members during the planning process or at the committee meeting to justify an investigation. We recognise Mr X disagrees with the decision. But it is not fault for a council or Members to properly make a decision with which someone disagrees.
13. Mr X wants the Council to review the planning meeting and the actions of its officers. Any review of its planning process or the conduct of an officer would be internal and personnel matters for the Council to decide on. We cannot order councils to conduct such reviews or take disciplinary action against a staff member. Mr X also wants the Council to re-run the planning process. To do this, the Council would need to revoke the permission it has granted. We cannot order councils to overturn planning decisions. That we cannot achieve the outcomes Mr X seeks from his complaint is a further reason why we will not investigate.

Final decision

14. We will not investigate Mr X's complaint because:
 - there is not enough evidence of fault in the Council's planning process to warrant us investigating; and
 - we cannot achieve the outcomes he wants from his complaint.

Investigator's decision on behalf of the Ombudsman

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Agenda item 7	Classification: Open	Decision Type: For information
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Report to:	Planning Control Committee	Date: 22 July 2025
Subject:	Sites of Biological Importance: 2022 Review	
Report of	Development Manager	

Summary

1. This report identifies the latest changes made to the GM Register of Sites of Biological Importance for the Borough. It also describes the purpose and application of the Register. During the review period 2022 no sites were added to or removed from the Register, however gains were made at three sites.

Recommendation(s)

2. It is recommended that Planning Control Committee note the 2022 update of the Register of Sites of Biological Importance for use in development planning and management.

Reasons for recommendation(s)

3. To ensure that that Planning Control Committee is aware of the latest update of the Register of Sites of Biological Importance for use in development planning and management.

Alternative options considered and rejected

4. None.

Report Author and Contact Details:

Name: Sophie Tinsley

Position: Senior Planning Officer

Department: Place

E-mail: s.tinsley@bury.gov.uk

Background

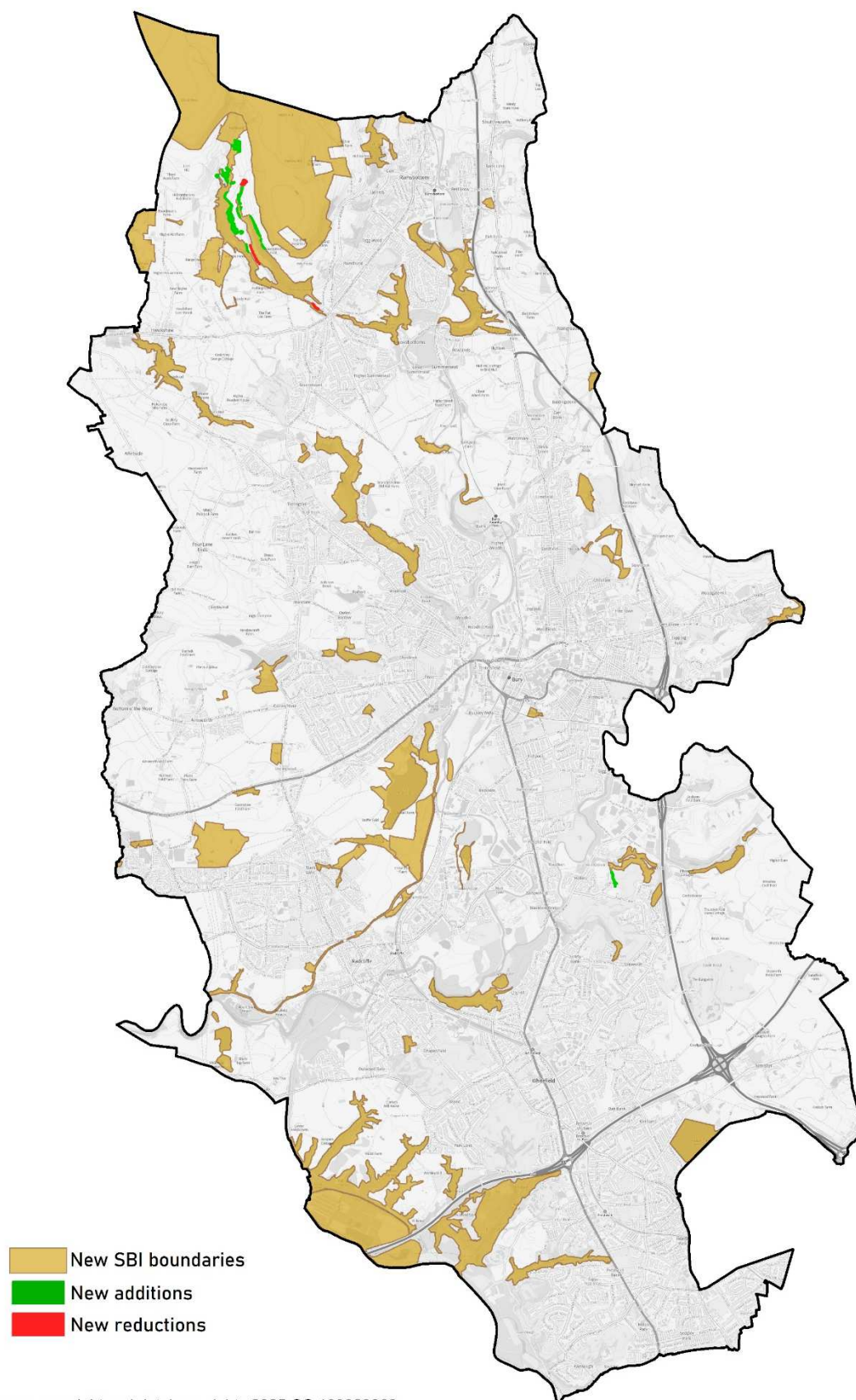
5. Members will be aware that the Borough's Unitary Development Plan identifies a number of Sites of Biological Importance (SBI) that policies EN6/1 and EN6/2 seek to protect from harmful development. The wildlife value of sites is, however, not static as it may increase or decrease as vegetation changes, neighbouring land changes in character, or survey information improves. The UDP policies anticipate this by referring to both existing SBIs and those to be designated in the future.
6. The Greater Manchester Register of Sites of Biological Importance is maintained and updated on behalf of the ten Greater Manchester Districts by the Greater Manchester Ecology Unit (GMEU). The sites are classed as Grade 'A' (of regional or county importance) 'B' (of district importance) and 'C' (of importance within the identified geographical locality).
7. GMEU's Service Level Agreement requires it to re-survey each SBI at least every 10 years. It does this incrementally and produces an annual review of the sites it has surveyed. The 2022 surveys and subsequent changes are the subject of the current report. As it is not practicable to complete the full report write up and analysis during the same year as the survey, there is a time lag between surveying and the receipt of reports and the 2022 update report was received on 24 June 2025.
8. Please note that the information set out in this report includes the 2022 changes made to the Elton Goit SBI which has subsequently been further revised by more recent survey work in 2024. These further changes to the Elton Goit SBI were reported to Planning Control Committee in January 2025¹. However, the 2022 citations and boundary are included to ensure you have a complete record of the changes.

2022 annual updates

9. The designation of SBIs is an objective and methodical process of evaluating sites against set criteria. Bury Council has consistently chosen to use the designation as a way of protecting the Borough's wildlife by incorporating SBIs into the planning process.
10. A list of changes to the register, a list of current SBIs and a location plan are attached to this report for the changes in 2022.

¹PCC report (January 2025)

<https://councildecisions.bury.gov.uk/documents/s42923/Agenda%20item%207%20PCC%20report%20SBI%202024.pdf>



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Figure 1. New SBI boundaries

11. During the review period 2022 no sites were added to or removed from the Register. However, the following changes were made:
- Redisher Wood & Holcombe Brook gained 3.2ha of additional grassland and heathland but lost 0.2ha for technical reasons. This resulted in an overall gain of 3.0ha
 - Elton Reservoir gained 3.0ha of additional grassland habitat.
 - Elton Goit gained 2.1ha of waxcap grassland habitat.
 - Hollins Vale gained 0.2ha of additional wetland habitat
12. The full District Synopsis and Fact Sheets for the survey year 2022 is appended to this report and the up-to-date SBI layers are available to view on the Council's Policies Map².

Conclusion

13. Members of the Planning Control Committee are requested to note the 2022 update of the Register of Sites of Biological Importance for use in development planning and management.

Legal Implications:

14. The National Planning Policy Framework provides that planning policies should identify and map sites of importance for nature conservation and biodiversity. Updating the Register of Sites of Biological Importance will help to ensure that the Council complies with this requirement – and that its approach is, where required, compatible with national planning guidance. The main issues are covered in the reporting.

Financial Implications:

15. The costs of the Greater Manchester Ecology Unit, which compiles and updates the SBI Register, are funded through existing budgets.

Appendices:

Appendix 1. Bury – District Synopsis for 2022

Appendix 2. Fact Sheet for 2022

² <https://www.bury.gov.uk/planning-building-control/policy-and-projects/planning-policy/policies-map>

SBI REVIEW 2022 BURY – DISTRICT SYNOPSIS



During the review period January – December 2022 the Ecology Unit visited 8 SBIs, representing 16% of Bury's SBIs.

During the review period no sites were added or removed from the Register.

Redisher Wood & Holcombe Brook gained 3.2ha of additional grassland and heathland but lost 0.2ha for technical reasons (see below). This resulted in an overall gain of 3.0ha

Elton Reservoir gained 3.0ha of additional grassland habitat.

Elton Goit gained 2.1ha of waxcap grassland habitat.

Hollins Vale gained 0.2ha of additional wetland habitat.

Technical gains and losses are often due to the increasing accuracy used to draw boundaries and measure areas. Techniques used include orthorectified aerial photographs, which can be overlaid on the GIS system with the OS map base. This enables boundaries to be drawn to the edges of habitats where a clearly definable ground feature (e.g. fences, walls, streams etc.) is not appropriate to use. In addition site areas are automatically calculated by the GIS system and a new OS base was acquired in 2021. Aside from the site listed above, the following site had changes to its area due to technical changes: **Heaton Park Reservoir (West)** (+0.7ha).

The following sites had no significant changes since their last review and no updated citations were required so only a monitoring form was completed: **Prestwich Clough, Hollins Plantation** and **Smethurst & Elbut Wood (West)**.

SITES OF BIOLOGICAL IMPORTANCE IN BURY 2022 REVIEW



DISTRICT FACT SHEET (All areas in hectares)

BURY

				Net Change 2021 – 2022	
	1984	2021	2022	No.	%
TOTAL NUMBER OF SBIS	27	50	50	-	-
TOTAL AREA OF SBIS	691.3	917.0	926.0	+9.0	+1.0
TOTAL NUMBER GRADE A	9	20	20	-	-
TOTAL AREA GRADE A	554.4	780.0	788.8	+8.8	+1.1
TOTAL NUMBER GRADE B	10	18	18		
TOTAL AREA GRADE B	65.0	89.2	89.4	+0.2	+0.2
TOTAL NUMBER GRADE C	8	12	12	-	-
TOTAL AREA GRADE C	71.9	47.8	47.8	-	-
Grid Ref	Change in Grade of existing SBI			2021	2022
-	-			-	-
Grid Ref	New Sites			Grade	Area
-	-			-	-
Grid Ref	Site Deleted in Part or in Total		Grade	Area Lost	Present Total
-	-		-	-	-
Grid Ref	Partial Gains		Grade	Area Gained	Present Total
SD825050	Heaton Park Reservoir (West)		A	0.7	18.5
SD767162	Redisher Wood & Holcombe Brook		A	3.0	56.9
SD818085	Hollins Vale		B	0.2	8.1
SD788095	Elton Reservoir		A	3.0	37.0
SD790086	Elton Goit		A	2.1	13.0
Grid Ref	Site visited with no change/change to description only				
SD807034	Prestwich Clough				
SD820080	Hollins Plantation				
SD837115	Smethurst & Elbut Wood (West)				