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AGENDA FOR

PLANNING CONTROL COMMITTEE



Contact: Michael Cunliffe
Direct Line: 0161 253 5399
E-mail: m.cunliffe@bury.gov.uk
Website: www.bury.gov.uk

To: All Members of Planning Control Committee

Councillors: G Staples-Jones (Chair), C Boles,
D Duncalfe, U Farooq, M Hayes, D Hill, B Ibrahim, D Quinn,
J Roith, M Rubinstein and M Walsh

Dear Member/Colleague

Planning Control Committee

You are invited to attend a meeting of the Planning Control Committee which will be held as follows:-

Date:	Tuesday, 1 September 2026
Place:	Council Chamber, Bury Town Hall
Time:	7.00 pm
Briefing Facilities:	If Opposition Members and Co-opted Members require briefing on any particular item on the Agenda, the appropriate Director/Senior Officer originating the related report should be contacted.

AGENDA

1 APOLOGIES FOR ABSENCE

2 DECLARATIONS OF INTEREST

Members of the Planning Control Committee are asked to consider whether they have an interest in any of the matters on the Agenda and, if so, to formally declare that interest.

3 MINUTES OF THE MEETING HELD ON THE 28TH JULY 2026 *(Pages 3 - 6)*

The Minutes of the meeting held on Tuesday the 28th July 2026 are attached.

4 PLANNING APPLICATIONS *(Pages 7 - 86)*

Reports attached.

5 DELEGATED DECISIONS *(Pages 87 - 100)*

A report from the Head of Development Management on all delegated planning decisions since the last meeting of the planning control committee is attached.

6 PLANNING APPEALS *(Pages 101 - 114)*

A report from the Head of Development Management on all planning appeal decisions since the last meeting of the Planning Control Committee is attached.

7 THE NATIONAL SCHEME OF DELEGATION- FOR PLANNING DECISION MAKING *(Pages 115 - 142)*

A report from the Head of Development Management on the implementation of the National Scheme of Delegation for the determination of Planning Applications is attached.

8 URGENT BUSINESS

Any other business which by reason of special circumstances the Chair agrees may be considered as a matter of urgency.

Minutes of: PLANNING CONTROL COMMITTEE

Date of Meeting: 28th July 2026

Present: Councillor G Staples-Jones (in the Chair)
Councillors C Boles, D Duncalfe, U Farooq, M Hayes, B Ibrahim,
D Quinn, J Roith, M Rubinstein, J Rydeheard and M Walsh

Also in attendance: Councillors G McGill, J Sheppard and M Smith.

Public Attendance: 13 members of the public and no members of the press were in attendance at the meeting.

PCC.1 APOLOGIES FOR ABSENCE

Apologies for absence were submitted by Councillor D Hill.
Councillor J Rydeheard acted as a substitute representative for Councillor Hill.

PCC.2 DECLARATIONS OF INTEREST

Councillor D Duncalfe declared an interest in relation to the planning application on the agenda, 72750, Land at Harper Fold Road & Canute Street, Radcliffe, M26 3BX.

The land was in close proximity to his private residence and he was the leader of the local neighbourhood watch group and community centre that neighbours the site.

He would therefore leave the meeting during deliberation of this application and take no part in the determination and voting.

PCC.3 MINUTES OF THE MEETING HELD ON THE 1ST JULY 2026

Delegated decision:

That the Minutes of the meeting held on the 1st July 2026 be approved as a correct record and signed by the Chair.

PCC.4 PLANNING APPLICATIONS

A report from the Head of Development Management was submitted in relation to applications for planning permission.

There was supplementary information to add in respect of application number 72682.

The Committee heard representations from objectors, applicants and Ward Councillors in respect of the applications submitted. This was limited to three minutes for the speaker.

Councillor M Walsh took no part in the determination of the application 73083 which was dealt with first at the meeting due to her attendance at another meeting prior to the Committee starting.

Delegated decisions:

1. That the Committee **Approved with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and the supplementary information submitted and subject to all other conditions included:-

31 Grosvenor Street, Prestwich, Manchester, M25 1ES

Change of use of Swim School building (Class E(d)) to dwelling (Class C3); Demolition of a single storey rear projection; Replace corrugated roof to composite roof with tiled covering; Composite timber panelling adding to front elevation windows

2. That the Committee **Approved with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report submitted and subject to all other conditions included:-

Land at Harper Fold Road & Canute Street, Radcliffe, Manchester, M26 3BX

Erection of 2 no. dwellings

3. That the Committee **Approved with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report submitted and subject to all other conditions included:-

Elton Fold Working Mens Club, Leigh Lane, Bury, BL8 2RH

Erection of external raised decking at side with canopy and timber board cladding to side elevations

4. That the Committee **Approved with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report submitted and subject to all other conditions included:-

102 Sixth Avenue, Bury, BL9 7RP

Change of use from dwelling (Class C3) to a children's residential care home (Class C2) for up to 3 children

PCC.5 DELEGATED DECISIONS

A report from the Head of Development Management was submitted listing all recent planning application decisions made by Officers using delegated powers since the last meeting of the Planning Control Committee.

Delegated decision:

That the report and appendices be noted.

PCC.6 PLANNING APPEALS

A report from the Head of Development Management was submitted listing all recent planning and enforcement appeal decisions since the last meeting of the Planning Control Committee.

Delegated decision:

That the report and appendices be noted.

PCC.7 URGENT BUSINESS

No urgent business was report.

COUNCILLOR G STAPLES-JONES
Chair

(Note: The meeting started at 7.00pm and ended at 8.10pm)

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Title	Planning Applications
To:	Planning Control Committee
On:	01 September 2026
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

- 1 **Township Forum - Ward:** North Manor **App No.** 72542
- Location:** Land adjacent to 62 Springside Road, Bury, BL9 5JQ
Proposal: Application for reserved matters (appearance, landscaping, layout and scale) following outline approval (68815) for 12 no. dwellings and all details required to discharge the following conditions from application 68815: 6 (Drainage Strategy), 7 (Boundary Treatment), 9 (Amphibians Avoidance Measures), 11 (Hedgehogs and Other Mammals Avoidance Measures), 16 (Highways Aspects) and 18 (Travel Plan Strategy)
Recommendation: Minded to Approve **Site Visit:** N
-
- 2 **Township Forum - Ward:** Ramsbottom **App No.** 73410
- Location:** Former Ambulance Station, Cemetery Road, Ramsbottom, Bury, BL0 9PU
Proposal: Demolition of former Ramsbottom Ambulance Station and erection of 3 no. dwellings with associated parking, private gardens and landscaping
Recommendation: Approve with Conditions **Site Visit:** N
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Ward: North Manor

Item 1

Applicant: Edgefold Homes Limited

Location: Land adjacent to 62 Springside Road, Bury, BL9 5JQ

Proposal: Application for reserved matters (appearance, landscaping, layout and scale) following outline approval (68815) for 12 no. dwellings and all details required to discharge the following conditions from application 68815: 6 (Drainage Strategy), 7 (Boundary Treatment), 9 (Amphibians Avoidance Measures), 11 (Hedgehogs and Other Mammals Avoidance Measures), 16 (Highways Aspects) and 18 (Travel Plan Strategy)

Application Ref: 72542/Reserved matters

Target Date: 02/06/2026

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the Bury Unitary Development Plan and SPD1. If the agreement is not signed within a reasonable timeframe, then delegated authority is sought by the Development Manager to determine the application.

Description

The application relates to a site located at the end of Springside Road. To the north and east is established residential development. Along the southern boundary of the site is a hedgerow and a road which leads to Bank Top Farm that carries a Bridleway (155 BUR), beyond which, to the south is open land designated as Green Belt, Special Landscape Area and River Valley. To the west is open land that is also designated as Green Belt, Special Landscape Area and River Valley.

The site comprises a piece of land which is 0.56 ha in area. The site is not in the Green Belt, but is designated as Other Protected Open Land (OPOL) under UDP Policy OL2. The site is split into two relatively similar size parcels of land by a road and Public Right of Way (160BUR) which runs directly through the site from Springside Road in a north westerly direction and connects to Springside Farm. It is understood that a culverted watercourse crosses the site in a west/easterly direction but this is not a United Utilities asset.

This current application follows the parent outline application 68815 which proposed all matters reserved except access. This application is for the reserved matters relating to appearance, landscaping, layout and scale.

In terms of appearance, the dwellings are proposed to be constructed of Cheshire Red Brick together with Dark Grey Concrete Tiles. Doors and windows are proposed to be coloured in pebble grey, including garage doors.

Landscaping details have been shown on the submitted Proposed Site Plan, and includes the provision of trees at the front of the proposed properties. 1.8m high closed boarded fencing is proposed for the boundaries to the sides and rear of each property.

In terms of the layout, 8 properties are proposed along the north of the site, with 4 properties proposed in the southern section. The submitted proposed site plan shows that

the properties will retain a reasonably uniform building line to the front. As shown on the submitted proposed site plan, each property also has an off road car parking provision for between 2-4 off road spaces dependent on the size of the dwelling.

In terms of the scale, 7no. 3 bedroom properties, 2no. 4 bedroom properties and 3no. 5 bedroom properties are proposed. The property types proposed are:

- Kenyon (4 bedrooms) - ground floor area 127.27sqm, width 9.2m, length 8.2m
- Lancaster (5 bedrooms, without detached garage) - ground floor area 173.75sqm, width 9.4m, length 14.1m
- Lancaster (5 bedrooms, with detached garage) - ground floor area 191.44sqm, width 9.6m, length 13.7m. Detached garage approx. 6.3m x 6.4m
- Lightshaw (3 bedrooms) - ground floor area 109.07sqm, width 7.1m, length 9.6m
- Marley (4 bedrooms) - ground floor area 132.55sqm, width 10.3m, length 10.4m
- Rivington (3 bedrooms) - ground floor area 105.12sqm, width 10.7m, length 6.7m

As can be seen on the submitted Proposed Street Elevations Plans, the proposed roof heights would also be relatively uniform, at a maximum height of approximately 8.7m.

Access to the site was previously submitted and approved at Outline Application stage under application ref 68815 with the access being taken from an extension of Springside Road. Springside Road, which has an adopted status and currently provides a turning area next to the site access. As this turning facility is on adopted highway and would be affected due to the highway works at the site entrance, it was proposed, and accepted, to provide a turning area within the site. This will require the new site access and turning head to be of an adoptable status. This was secured by way of a S106 Agreement.

The discharge of conditions 6, 7, 9, 11, 16 and 18 from parent outline application 68815 is also sought, with relevant details to discharge these conditions having been submitted as part of this application.

Relevant Planning History

43363 - Conversion of existing flat roof areas to pitched and slated roofs - Approve with Conditions 14/10/2004

68815 - Outline application for 12 no. dwellings including means of access (all other matters reserved for appearance, layout, scale and landscaping) - Approved with Conditions 03/08/2023

72516 - Variation of condition no. 12 on planning permission 68815 - Outline application for 12 no. dwellings including means of access (all other matters reserved for appearance, layout, scale and landscaping) - to substitute the approved access
- Refused 19/12/2025

72544 - Application to discharge condition 3 (contaminated land), condition 5 (EV charge point), condition 8 (BEMP) and condition 17 (sprinkler system) on planning permission 68815 - Split Decision

- Condition 3 - discharged
- Condition 5 - discharged
- Condition 8 - not discharged under this application
- Condition 17 - not discharged under this application

24/0256 - Breach of condition no 10. of planning permission 68815 - 06/08/2024

Publicity

101 neighbouring addresses were consulted on 05.03.2026 as well as a site notice erected on 11.03.2026.

27 objections from 23 addresses have been received detailing the following concerns:

Visual Amenity Issues

- Holcombe Hill views will be blocked by the proposed development
- The Design and Access Statement argues that the land contributes little to the amenity or appearance of the area and this is not the case
- The density and spacing of the proposed dwellings doesn't reflect the existing development within the surrounding residential area
- Out of character within the area

Green Belt/Land Allocation Issues

- The land is greenfield land
- The land is Green Belt designated
- The Design and Access statement states the land is under utilised and it is not as it is agricultural land

Residential Amenity Issues

- Noise nuisance
- Concern over overlooking and privacy, adequate separation distances are not maintained
- Overshadowing of neighbouring properties
- Existing properties will be damaged, such as hedges
- Impact on mental health

Highways/Parking Issues

- Other developments within the wider area have already caused significant disturbance and disruption
- Increased traffic and whether this is sustainable
- Existing parking concerns, including the reduction of on street parking and the development not including sufficient off road car parking provisions
- Highway concerns such as visibility and safety, particularly of the elderly and children
- Concern over whether the access is suitable
- Compromises access to the bridleway
- A new turning point is unnecessary
- No pathways around new dwellings
- Loss of a public right of way
- Springside Road is already not being maintained and in a bad state of repair
- The previously refused road layout is on the plans which is confusing for residents

Ecology/Tree Issues

- The land was previously woodland and trees have been removed
- Insufficient landscaping, tree retention and biodiversity measures
- Concern over Japanese knotweed
- Impact on the environment and species like squirrels, deer and hedgehogs; destruction of wildlife
- Impact on trees along neighbouring boundaries

Other

- The land is unsuitable to be built on, United Utilities have agreed in the past
- Concern over access for emergency vehicles
- Concern over available healthcare facilities for future residents
- Concern over recreational spaces available
- Lack of infrastructure
- Previous refusal issues are unresolved
- Planning has been refused previously on this site
- Contamination issues
- Plans are inconsistent
- Existing digital infrastructure is located within the site which has not been taken account of
- The proposed footpath approved under application 68815 is not on the plans
- Condition 7 of application 68815 has not been properly addressed
- Concerns regarding waste
- Surrounding schools are already at capacity
- Housing is unaffordable with no provision for single storey homes for the elderly
- Walmersley/Springside Road is already overdeveloped
- There is plenty of existing housing in Bury that could be improved rather than new properties built

Flooding/Drainage

- Concerns with the land flooding
- Concerns over drainage
- Increased surface run-off
- The site is waterlogged

Statutory/Non-Statutory Consultations

Traffic Section - Comments to be reported in the Supplementary Agenda.

Public Rights of Way Officer - requested amendments so that the proposed Right of Way reflected that approved under parent outline application 68815. These amendments were received. Also considered the proposal from the applicant regarding the maintenance of the new PRow acceptable.

Environmental Health - Contaminated Land - made comment that as Conditions 3 and 5 of the parent outline application were discharged as part of application 72544, only condition 4 of application 68815 should be carried forward as part of this consent.

Greater Manchester Ecology Unit - were satisfied with the proposed revisions (addition of two trees) to counter the previous refusal to discharge Condition 8. The applicant confirmed that Condition 8 will be discharged under a separate application prior to the commencement of this development.

Also recommended the discharge of Conditions 9 and 11 and made comment that no further information was required in regards to Condition 10.

United Utilities (Water and waste) - amended information in the form of Drawing J292/109/B, Rev B - Dated 27.05.26 was considered acceptable in principle by the agency.

Further comments from United Utilities have been added as informatives.

Planning & Building Regs consultation Fire Protection Dept Bury Fire Station (Part B) - no comments received. Condition 17 of application 68815 relates to a sprinkler system for

the proposed dwellings which is to be discharged as part of a separate application.

Pre-start Conditions - To be reported in Supplementary Report.

Development Plan and Policies

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6/3	Features of Ecological Value
EN5/1	New Development and Flood Risk
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
OL2	Other Protected Open Land
OL2/1	Development on Other Protected Open Land
EN8	Woodland and Trees
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT4	New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
H4/1	Affordable Housing
RT2/2	Recreation Provision in New Housing Development
SPD5	DC Policy Guidance Note 5: Affordable Housing
PfE	Places for Everyone

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle of the development

The principle of the development was established with the approval of the outline planning permission (application 68815) in August 2023. This application is to consider details of the remaining reserved matters.

Layout and Design

The site is split into two land parcels by the existing access road and Public Rights of Way

(PROW) which serves properties and farmsteads to the west of the site which will be retained and also used to access to the site and serve the development. This constraint has therefore guided the layout and form of the development site to a significant degree.

Housing Density

PfE Policy JP-H4 requires new housing developments to be delivered at a density appropriate to the location, reflecting the relative accessibility of the site by walking, cycling and public transport and the need to achieve efficient use of land and high-quality design.

Policy JP-H4 sets out minimum densities that should be considered and the site falls in an area where a minimum density of 35 dwellings per hectare should be had regard to.

The site is 0.56ha in area, with 12 dwellings proposed. This leads to a housing density of 21 dwellings per hectare (dph), falling short of the 35 dph required as a minimum density under Policy JP-H4.

Policy JP-H4 also states the following however that lower densities may be acceptable where they can be clearly justified by:

1. Local housing market issues, such as a demonstrable need for a particular type of housing that cannot be delivered at a higher density; or
2. Site-specific issues, such as the design context and any potential impact on the wider landscape or townscape including heritage assets and green infrastructure

In terms of Point 1, the Housing Needs and Demand 2025 assessment states that 'the largest proportion of net annual housing need is for 3-bedroom houses, which make up 24.9% of net need (253 homes). This indicates strong and sustained demand for mid-sized family housing across the borough.' This provides a justification for a lower housing density than outlined within Policy JP-H4.

In terms of Point 2, there are site-specific issues relating to the proposed site, such as the need for the development to conform with the existing properties along Springside Road, as well as issues relating to highways, including access and adoption constraints which provide another reason as to why a lower density also may be acceptable. The site being split by an existing public right of way, as well as being adjacent to the Green Belt also are considered site-specific constraints as to why a lower housing density would be acceptable.

A previous application at this site for 5 dwellings was refused, with this current application improving the number of houses to 12 dwellings to more appropriately, increase the density.

Given the reasons discussed above, it is considered that the housing density indicated at this site would be acceptable.

Design and Layout

UDP Policies H2/1 and H2/2 provide the assessment criteria for detailed matters relating to

height, appearance, density and character, aspects and finishing materials for new residential developments.

UDP Policy EN1/2 seeks to ensure that development proposals would not have a detrimental effect on the visual amenity and character of a particular area.

PfE Policy JP-P1 seeks to create a city region that consists of a series of beautiful, healthy and varied places. High quality design is fundamental to achieving this.

PfE Policy JP-H3 seeks to provide an appropriate mix of dwelling types and sizes reflecting local plan policies and having regard to relevant local evidence. Development across the plan area should seek to incorporate a range of dwelling types and sizes, including for self-build.

The proposed dwellings are detached and would be two storeys in height which would be appropriate in the locality. The proposed roofing would all be of a height of approximately 8.7m and would all be dual-pitched gable end roofing to remain consistent. The larger 5no. bedroom units would be located to the centre of the site, with the smaller units to the sides of these to create a uniformity within the site, and to ensure that the larger units do not immediately abut the smaller bungalows existing along Springside Road.

Each dwelling would also have an adequate private amenity space to the rear with boundary treatment to be wooden fencing. Condition 7 of parent outline application 68815 required boundary treatment details to be submitted. As shown on the proposed site plan, 1.8m boundary fencing to the sides and rear of each plot is proposed. Condition 7 also required details of the existing hedge to be submitted. It has been confirmed by the applicant that the existing hedge will be retained.

Each property would also have space within the private amenity space for 4 waste bins, and each property would be allocated off road car parking provision compliant with SPD 11. Hard and soft landscaping details can also be seen on the submitted site plan and are considered to be acceptable.

Materials proposed are also to be red brick for the walls and dark grey concrete for the roof which is common within the area and therefore would also appear consistent.

It is considered that the proposed development would fit appropriately within the locality and would be in accordance with Policies H2/1, H2/2, EN1/2, JP-P1 and JP-H3.

PfE Policy JP-H3 also states that all new dwelling must:

1. Comply with the nationally described space standards (NDSS); and
2. Be built to the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations unless specific site conditions make this impracticable.

The NDSS states the following minimum space requirements for two storey dwellings:

- 3 bedroom, 6 person dwellings = 102sqm
- 4 bedroom, 8 person dwellings = 124sqm
- 5 bedroom, 8 person dwellings = 128sqm

The proposed dwellings all exceed these standards.

The accessible and adaptable standard in Part M4(2) of Building Regulations can be secured via condition however given the entrances to the properties are step-free access, it is likely that the proposals meet the regulations.

Residential Amenity

UDP Policy H1/2 states that the council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

There are no adopted aspect standards for new build residential properties however, Supplementary Planning Document 6 (SPD6) provides guidance on aspect standards between residential properties and as such, would be a reasonable guide in this case. SPD 6 provides the following guidance:

- 20 metres between directly facing habitable room windows;
- 13 metres between an existing habitable room window and a proposed two storey blank wall
- 6.5 metres between an existing habitable room window and a proposed single storey blank wall

The proposed dwellings are all sited in excess of 20m from the rear elevations of existing properties along Trawden Drive and Brierfield Drive. Most properties are also sited at an angle to these dwellings and so have an indirect relationship.

SPD 6 also states that first floor habitable windows should be sited at least 7m from directly facing neighbouring boundaries. Any first floor habitable windows proposed are sited at least 7m from the neighbouring boundaries with properties along Trawden Drive, Brierfield Drive and 62 Springside Road.

62 Springside Road adjoins the proposed property on Plot 12 however the proposed dwelling is sited a minimum distance of 10.8m from 62 Springside Road and would not impinge on any habitable main room windows and would be set off from the party boundary by 4.1m minimum. Given this, it would not have an overbearing impact on this neighbour.

Given the above, it is considered that the proposed dwellings would comply with UDP Policy H1/2 and would be in accordance with the intentions of SPD 6 in terms of separation distances. A condition restricting permitted development rights for the proposed dwellings has been acknowledged in order to prevent the dwellings from being further extended towards neighbouring dwellings without the benefit of planning permission given site constraints.

Highways and Access

UDP Policy EN1/2 requires the consideration of the design and appearance of access, parking and service provision. This is further supported by UDP Policy H2/2 that requires

proposals to demonstrate adequate car parking provision, access for both vehicles and pedestrians, and provision for public transport and the existence of any public rights of way.

PfE Policies JP-C5 and JP-C6 require streets to be well designed and managed to make a significant positive contribution to the quality of place and support high levels of walking, cycling and public transport.

PfE Policy JP-C8 seeks to enable a reduction in the need to travel by private car and prioritise sustainable transport opportunities ahead of capacity enhancements on the highway network.

The access for the proposed site was approved under the parent outline application 68815 and an accompanying s106 agreement therefore there is no further requirement for assessment.

Following application 68815, an amendment to the NPPF was published in August 2026 including the provision of Paragraph TR4. Paragraph TR4 of the NPPF states that to contribute to creating well-designed places, transport considerations should be integral to the design of development. The submitted transport proposals broadly address the points outlined in Paragraph TR4 by incorporating continuous footways and also facilitating easy access to public transport links

Highways Engineers were consulted on the supporting documents received in regard to Condition 16 of parent outline application 68815. There are no objections in principle and various elements of the layout have been refined to respond to the Highways Team's requirements. Any further comments will be reported in the Supplementary Agenda.

Public Right of Way

Given the site being split by an existing public right of way (PRoW), officers were consulted who, following submission of amended plans, made the below comments:

We would want to see the alternative route dedicated as a Public Right of Way rather than private, to ensure continued public access rights consistent with the existing situation. In terms of maintenance, we wouldn't necessarily object in principle to a third-party management company taking on that responsibility, subject to legal agreement and appropriate safeguards. There is some precedent in practice, with the current farm track , where the landowner effectively maintains the current route to a higher standard for their own private purposes than we need for the public on foot.

However, the key point is that the route itself should be secured as a PROW, with maintenance arrangements dealt with separately. The applicant would need to submit a proposal and we would need to look at how that would actually be delivered

In response, the applicant proposed the below:

We propose that the land beneath the footpath is retained in private ownership by the Resident's Management Company (RMC), with the public right secured by an express deed of dedication to secure it as a Public Right of Way, with the Council recording it on the

definitive map by legal event modification order. The dedication doesn't transfer ownership, the land remains with the RMC and the public gains a right of passage over it. Maintenance would sit with the RMC at its cost.

Following this, the Public Right of Way Officers considered this acceptable, as this is the normal process in which a right of way is created. They did note however that the Council would designate it as publicly maintainable, which has been acknowledged as an informative.

Parking

SPD 11 provides guidance on the parking provision required for new developments within the borough.

The site is located within Zone 4, with 3 no bedroom homes requiring an off road car parking provision of 2 spaces and 4 bedroom homes and greater requiring an off road provision of 3 spaces.

As detailed on the proposed site plan, these parking standards have been met and therefore the proposed complies with SPD 11.

Paragraph TR4 of the NPPF states that to contribute to creating well-designed places, transport considerations should be integral to the design of development. The proposals for parking broadly address the points outlined in Paragraph TR4 as the number of parking spaces proposed is appropriate and reflects the locality and nature of the development.

Given the above, the proposals for parking are therefore considered acceptable.

Ecology and Biodiversity Net Gain

PfE Policy JP-G8 states that through local planning and associated activities a net enhancement of biodiversity resources will be sought. This is supported by UDP Policy EN6/3 that seeks to retain, protect and enhance the natural environment and seeks to retain features of ecological or wildlife value.

Paragraph N1.1 of the NPPF states that the planning policies and decisions should safeguard and enhance the natural and local environment.

Colleagues at Greater Manchester Ecology Unit were consulted and reviewed the conditions relating to ecology and biodiversity net gain imposed on previous outline application 68815.

Condition 8 stated as follows:

Prior to the commencement of the development, a biodiversity enhancement and management plan (BEMP) for the application site shall be submitted to and approved in writing by the Local Planning Authority. This shall include all of the landscaping and biodiversity net gain measures to achieve at least 1.25 BU within the development site as detailed within the approved application documents, including monitoring and long term management objectives. Once approved, the development

shall be undertaken in accordance with the BEMP.

Comments by the Ecology Unit were that a previous application to discharge condition 8 was refused owing to a failure, by a small margin, to achieve the required target of 1.25BU on the site. An additional tree was recommended with the revised layout indicating that two additional trees have been proposed. It is the applicant's intention to submit a separate Discharge of Condition application for Condition 8 following the determination of this application to ensure that the BEMP sits on properly on the approved layout.

Conditions 9 and 11 related to method statements for avoidance measures for amphibians and hedgehogs and other mammals. The ecology unit confirmed that the statements submitted alongside this application could allow the discharge of these conditions. As such, a condition has been acknowledged requiring the development to comply with the avoidance measures outlined within these statements.

Usually with new housing developments, measures to retain, protect and enhance the ecological or wildlife value would also have been secured by condition, such as by conditioning the inclusion of swift bricks and bat boxes. As this was not mentioned within the conditions of the previous outline consent however, these conditions cannot be added now.

Biodiversity Net Gain Requirements

The previous outline application 68815 was approved in 2023, prior to the mandatory BNG requirements coming into force. Under UK planning law, a reserved matters application is not a grant of planning permission, and a local planning authority cannot introduce new fundamental conditions like BNG at this stage. Given this, the statutory BNG condition will not be acknowledged.

Application 68815 did cover BNG at the site by the inclusion of Condition 8, which is to be discharged following this consent and therefore it is likely an increase of 10% BNG at the site will be met regardless.

Flood Risk and Drainage

PfE Policy JP-S4 seeks to provide an integrated catchment-based approach to protect the quantity and quality of water bodies with reference to the North West River Basin Management Plan and managing flood risk. Chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF confirms that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk.

PfE Policy JP-S4 and UDP Policies EN7/3 and EN7/5 seek to protect the water courses and other water features within the Borough, and limit surface water pollution.

The proposed site is located within Flood Risk 1, which has the lowest risk of flooding. In this instance, it is therefore not a requirement for a Flood Risk Assessment to be submitted. The Council's Drainage Engineers were consulted who commented that following review of the updated submissions, the surface water drainage information appears to have broadly addressed the main requirements of Condition 6 (Drainage Strategy), including the drainage hierarchy, supporting calculations, exceedance routing and maintenance arrangements.

The proposals indicate the discharge of surface water to an existing ordinary watercourse.

Engineers also commented that the applicant should note that any works to form a new outfall, connect into, or otherwise alter the watercourse may require separate Ordinary Watercourse Consent from the Council under the Land Drainage Act 1991. This comment has been acknowledged as an informative.

Carbon And Energy

PfE Policy JP-S2 sets out the steps required to achieve net zero carbon emissions.

An Energy Statement has been submitted within the supporting Design and Access Statement, detailing ways in which the development will seek to support low carbon living. These include increasing energy efficiency through a fabric first approach and a focus on sustainable design. The proposal is therefore considered to be in conformity with Policy JP-S2.

Digital Connectivity

PfE Policy JP-C2 requires development to have full fibre to premises connections unless infeasible or unviable, with multiple-ducting. The policy supports the provision of free, secure, high-speed public wi-fi connections, particularly in the most frequented areas. It has been confirmed that the development will be provided with full fibre connections in accordance with the requirements of Policy JP-C2.

Planning Obligations

A contribution for recreation provision would be required of £35,106.48 in accordance with Policy RT2/2 of the Bury Unitary Development Plan and SPD1. This would be secured through a Section 106 agreement.

Condition discharge

The application also proposes the approval of conditions of the parent outline application (reference 68815) for which information has been submitted as follows -

- Condition 6 - Drainage Strategy
- Condition 7 - Boundary Treatment
- Condition 9 - Amphibian Avoidance Measures
- Condition 11 - Hedgehog and Other Mammals Avoidance Measures
- Condition 16 - Highways Aspects
- Condition 18 - Residential Travel Plan Strategy
-

In terms of Condition 7, timber boundary fencing 1.8m in height is proposed for the rear and side boundaries. Condition 7 also states that details relating to the existing boundary hedge should be submitted. It has been confirmed by the applicant that this would be retained.

For the remaining above conditions, the information has been assessed by relevant consultees and deemed acceptable to discharge the conditions.

It is therefore recommended that approval is given to the details submitted to fully discharge the listed conditions above pursuant to planning permission 68815.

Response to Objectors:

- The principle of residential development has already been established. This application is looking only at scale, layout, landscaping and external appearance. Impact of the design and layout of the proposed dwellings has been discussed within the body of the report
- The land is not Green Belt land.
- Suitability of the land has been discussed within the body of the report.
- Residential amenity has been discussed within the body of the report.
- Some noise nuisance during construction is expected. Disturbance from construction would be temporary and would be covered by the Environmental Protection Act in terms of working hours.
- Damage to party boundaries during construction should it occur is a civil issue
- Highways and parking issues have been discussed within the body of the report, as has the impact on public rights of way.
- Previous plans indicating a different access layout are now rectified to that approved under application 68815.
- Ecology issues have been discussed within the body of the report, with GMEU officers having no objections.
- An informative has been acknowledged surrounding what the developer should do should invasive species be discovered
- No trees at the site are protected. A condition has been acknowledged ensuring any trees along neighbouring boundaries are protected during construction. An informative has also been acknowledged surrounding what developers should do should tree roots be uncovered during construction.
- Contaminated land officers previously recommended the discharge of Conditions 3 and 5 of application 68815, and requested Condition 4 of that consent was carried forward as part of this consent. This has been acknowledged. No other land contamination issues have been raised by officers.
- Any inconsistency with the plans has been amended.
- Drainage officers as well as United Utilities were consulted, recommending the discharge of Condition 6 of application 68815 as well as raising no objections to the amended plans submitted.
- All other reasons for objection are not material planning considerations.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings numbered EAD-126-P-101 S3, J1192-WS-PL102, SJ1192-WS-PL104 E, J1192-WS-PL103 D, J1192-LIG-PL200 C, J1192-MAR-PL200 D, J1192-RIV-PL200 E, J1192-KEN-PL201 D, J1192-LAN-PL200 D, J1192-LAN-PL201 A, J1192-LAN2-PL200 C, J292/109 B, J292/104 E, J292/123 C, J292/115 C, J292/105 G, J292/122 E, 27150-D-01 B, SCP/250466/ATR02 C and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.
3. Following the provisions of Condition 3 of planning permission 68815, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment
4. The Reasonable Avoidance Measures (RAMs) outlined within reports titled Reasonable Avoidance Measures (RAMs)- Amphibians and Small Mammal Reasonable Avoidance Measures Statement (RAMS) dated 15.09.2025 shall be implemented as instructed.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Policy N2 - Improving the Natural Environment of Section 19 of the National Planning Policy Framework (August 2026).
5. No work or other activity shall take place on the site on Sundays or Bank Holidays and all work and other activity on other days shall be confined to the following hours:-
0800 hrs to 1800 hrs, Monday to Saturdays.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies S2/6 – Food and Drink, EC4/1 – Small Businesses, EC6/1 – Assessing New Business, Industrial and Commercial Development and H3/1 – Assessing Non-Conforming Uses of the Bury Unitary Development Plan.
6. All trees to be retained on site along neighbouring boundaries shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard are implemented and all measures required shall remain in situ until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
7. Prior to the commencement of the development, a biodiversity enhancement and management plan (BEMP) for the application site shall be submitted to and approved in writing by the Local Planning Authority. This shall include all of the

landscaping and biodiversity net gain measures to achieve at least 1.25 BU within the development site as detailed within the approved application documents, including monitoring and long term management objectives. Once approved, the development shall be undertaken in accordance with the BEMP.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury Unitary Development Plan and Policy N2 - Improving the Natural Environment of the National Planning Policy Framework (August 2026).

8. No works to trees or shrubs or hedge shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present which has been agreed in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

9. The development hereby approved shall include provision for recreation provision that would be sufficient to be in accordance with Bury Unitary Development Plan Policy RT2/2 - Recreation Provision In New Residential Development and the associated Development Control Policy Guidance Note 1 Recreational Provision in New Housing Development. The approved details shall be submitted as part of the first reserved matters application relating to the housing proposals within the site.

Reason - To ensure that the development would contribute to satisfying the need for recreation provision pursuant to Bury Unitary Development Plan Policy RT2/2 - Recreation Provision In New Residential Development and the associated Supplementary Planning Document 1 - Open Space, Sport and Recreation in New Housing Development.

10. Notwithstanding the details shown indicatively on approved plan references EAD_126_P_103 Revision S5 & EAD_126_P_104, no development shall commence on the adopted highway that affects the existing arrangements/turning facilities at the cul-de-sac end of Springside Road unless and until the replacement, adoptable turning facilities within the curtilage of the site have been implemented to the satisfaction of the Local Planning Authority and made available for public use.

Reason. To secure the satisfactory development of the site in terms of highway safety, ensure good highway design and maintain the integrity of the adopted highway, all in the interests of highway safety pursuant to Bury Unitary Development Plan Policies H1/2 - Further Housing Development, H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.

11. Prior to first occupation of the development hereby approved, a sprinkler/misting system to meet the requirements of BS 9251:2014 or other subsequent standard that meets the requirements of Greater Manchester Fire and Rescue Service and deemed suitable to overcome the site's emergency access deficiencies, shall be installed in the dwellings hereby approved and shall thereafter be maintained at all times.

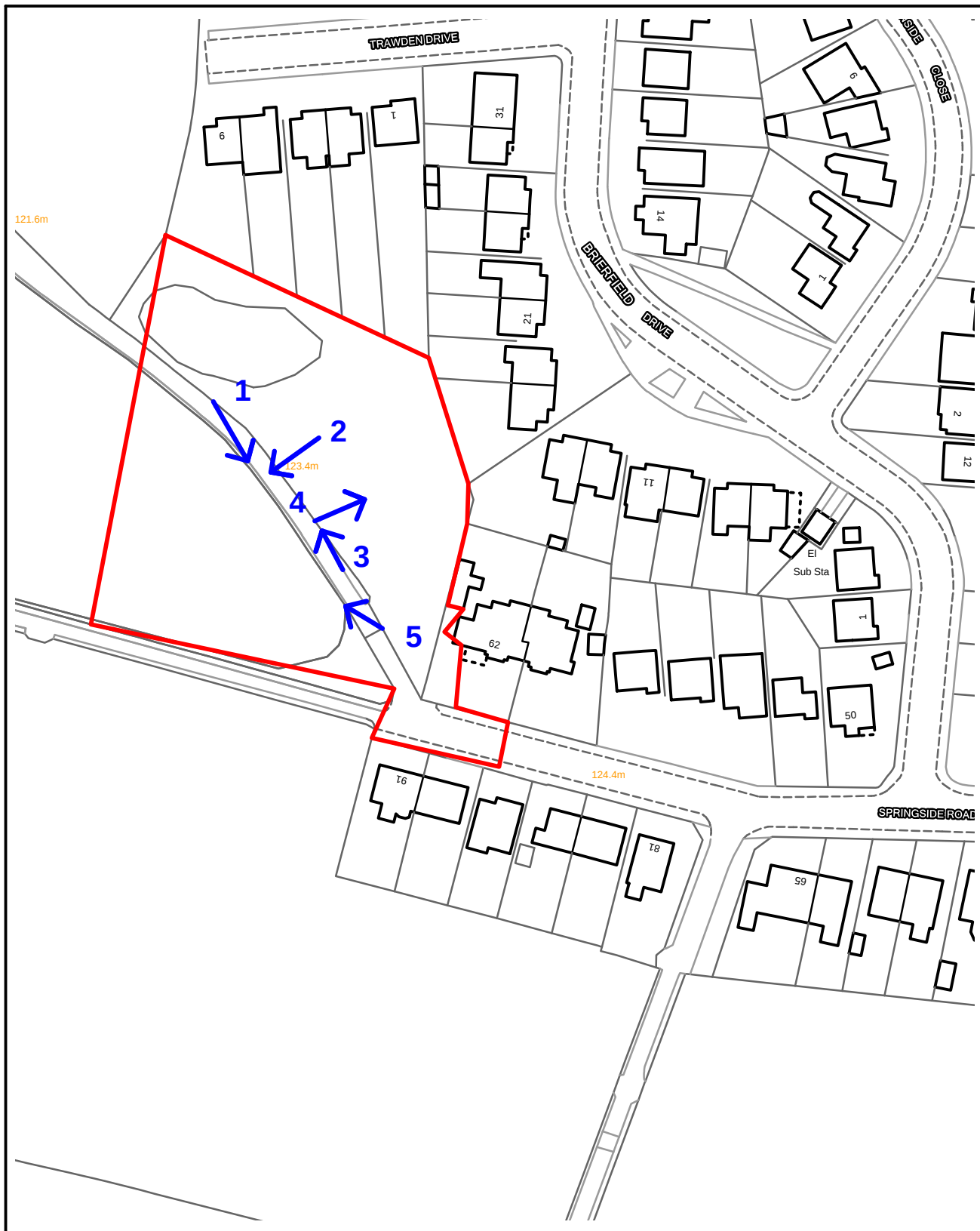
Reason. In the interests of fire safety and to ensure the safe and satisfactory development of the site and for its future occupiers pursuant to Bury Unitary

Development Plan Policies H1/2 - Further Housing Development, H2/2 - The Layout of New Residential Development and EN1/2 - Townscape and Built Design.

12. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design.
13. No development approved by this permission shall be commenced until details of the existing and proposed floor levels have been submitted and approved by the Local Planning Authority. The scheme shall be constructed and completed in accordance with the approved details.
Reason: To ensure that the development is subject to minimum risk of flooding in accordance with Policy F7 - Ensuring Development is Safe from Flooding of the National Planning Policy Framework (August 2026).
14. The dwellings hereby approved shall be built in accordance with the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations.
Reason. To secure the satisfactory development of the site pursuant to Places for Everyone Joint Development Plan Policy JP-H3: Type, Size and Design of New Housing.
15. Notwithstanding the terms of the Town and Country Planning General Permitted Development Order 1995 (or any order revoking or re-enacting that Order) no development shall be carried out on the site within the terms of Classes A, B, C, D, E, F, G and H of Part 1 and Classes A and B of Part B of Schedule 2 of the Order, without the prior consent of the Local Planning Authority.
Reason. To enable the Local Planning Authority to control any future development, having regard to the character and appearance of this Listed Building.

For further information on the application please contact **Charlotte Orrell** on **0161 253 5426**

Viewpoints



Application 72542

ADDRESS: Land adjacent to 62 Springside Road



Bury
Council

Planning, Environmental and Regulatory Services

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72542

Photo 1



Photo 2



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Photo 3



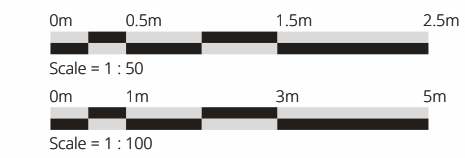
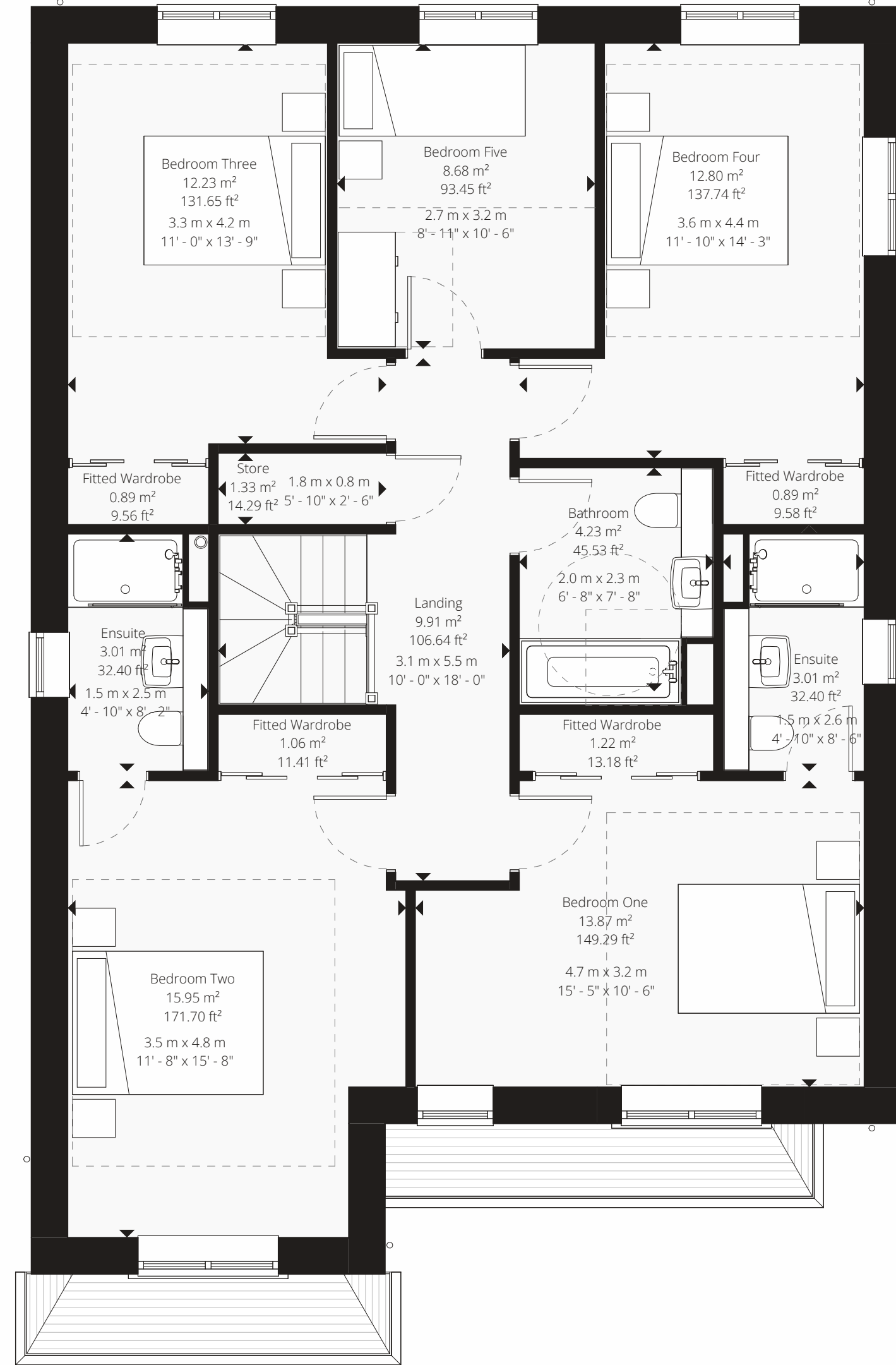
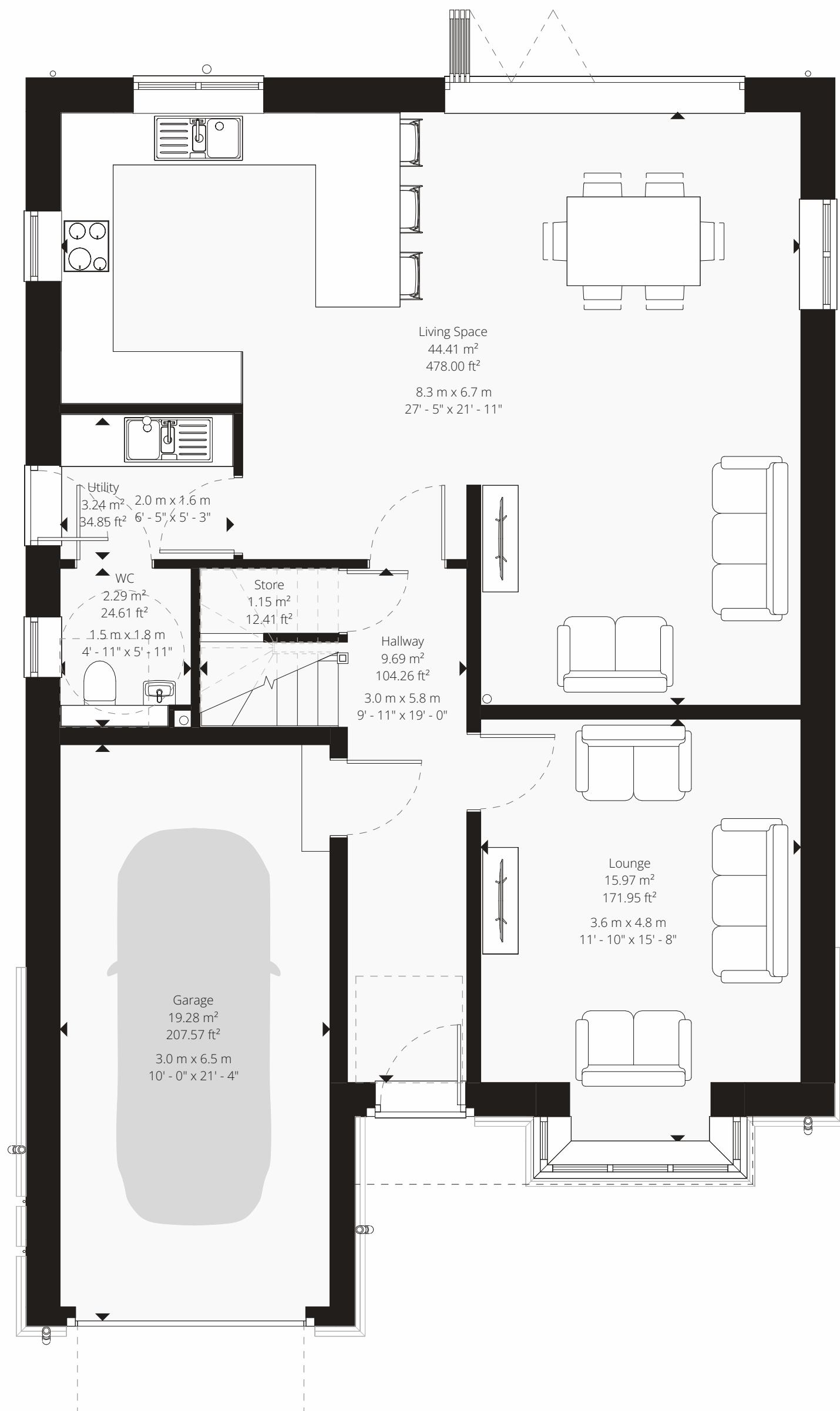
Photo 4



72542

Photo 5





Build Area Schedule			
Ground Floor	80.42 m ²	865.60 ft ²	
First Floor	92.25 m ²	992.93 ft ²	
	172.66 m ²	1858.53 ft ²	

Planning Notes

Solar Panels (PV)

The orientation and roof faces of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt-peak (kWp) established by the SAP assessment is achieved.

EV Charge Points

The position of any EV charge point is indicative only. Its final placement will be confirmed to suit the parking configuration of the plot.

Material Key

Facing Brickwork - Cheshire Red Brick

Other Brickwork - Red Engineering Brick
Below DPC and Specials to Top of Brick Plinth

Roof Tiles - Dark Grey Concrete Tile

Doors and Windows - RAL 7032 Pebble Grey

Door and Window Detailing - Semi Dry Cast Buff Coloured Artstone Splayed Head with Keystone and Stooled Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Artstone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
[OB]	Obscured Glazing
[LM] [TG]	Toughened / Laminated Glazing
[LM/OB] [TG/OB]	Toughened / Laminated & Obscured Glazing



A 06/05/2026 First Issue
Rev. Date: Notes: ISSUE A

DRAWING NUMBER
J1192-LAN-PL201

DRAWING TITLE
Proposed Floor Plans & Elevations
(Plot 04 Only)

PROJECT
Springside Road, Walmsley
Lancaster M4(2) [Plots 03, 08 & 09]

CLIENT
Edgefold Homes Ltd.

JOB NUMBER J1192 **DATE** May '26 **SCALE** As indicated **SIZE** A1

PLANNING

MANOR ARCHITECTURE

Manor Architecture Ltd.
Broomfield Hall, Broomfield Park,
Chorley, Lancashire, PR7 3JG
Tel: 01565 740 520
Email: info@manorarchitecture.co.uk
Web: www.manorarchitecture.co.uk

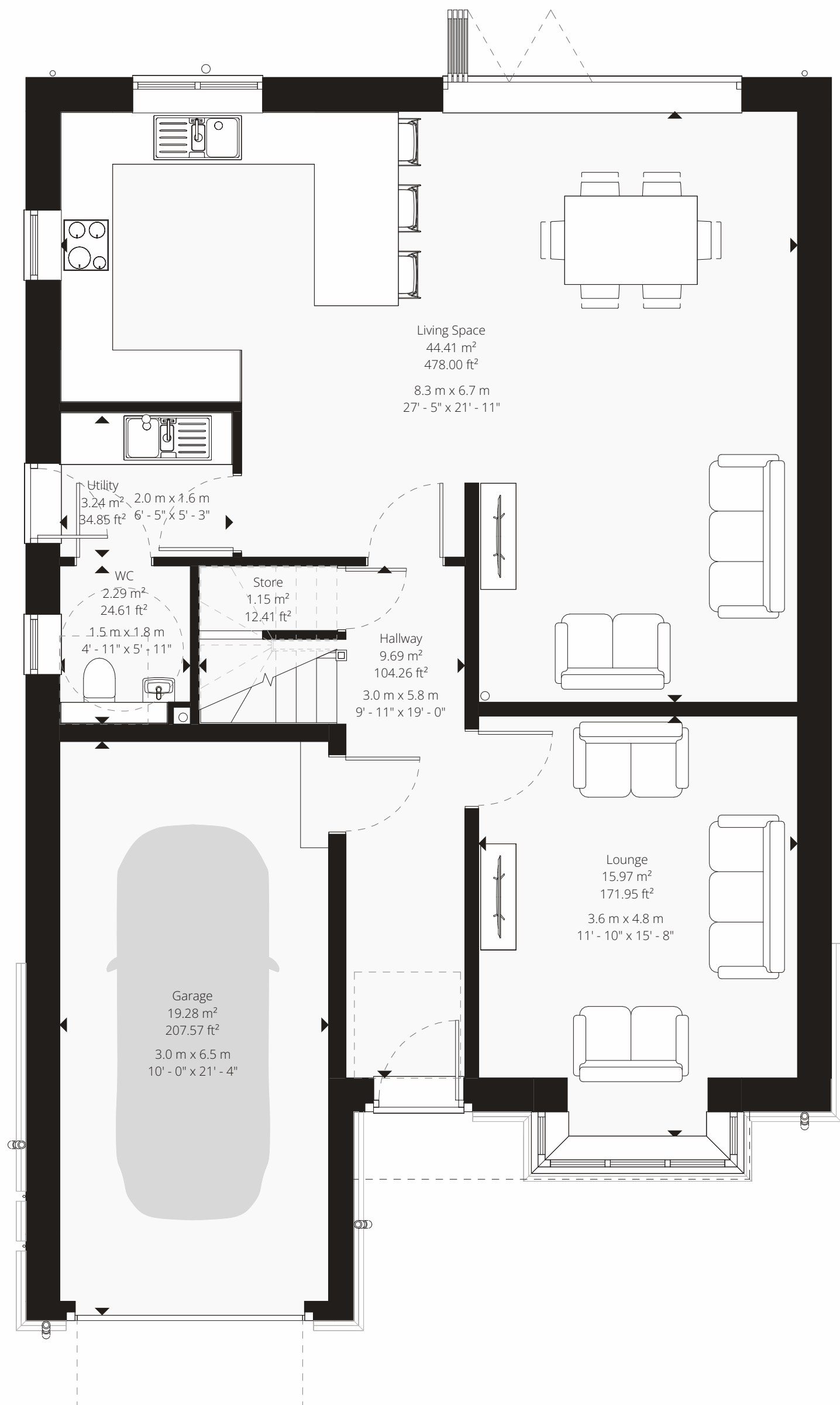
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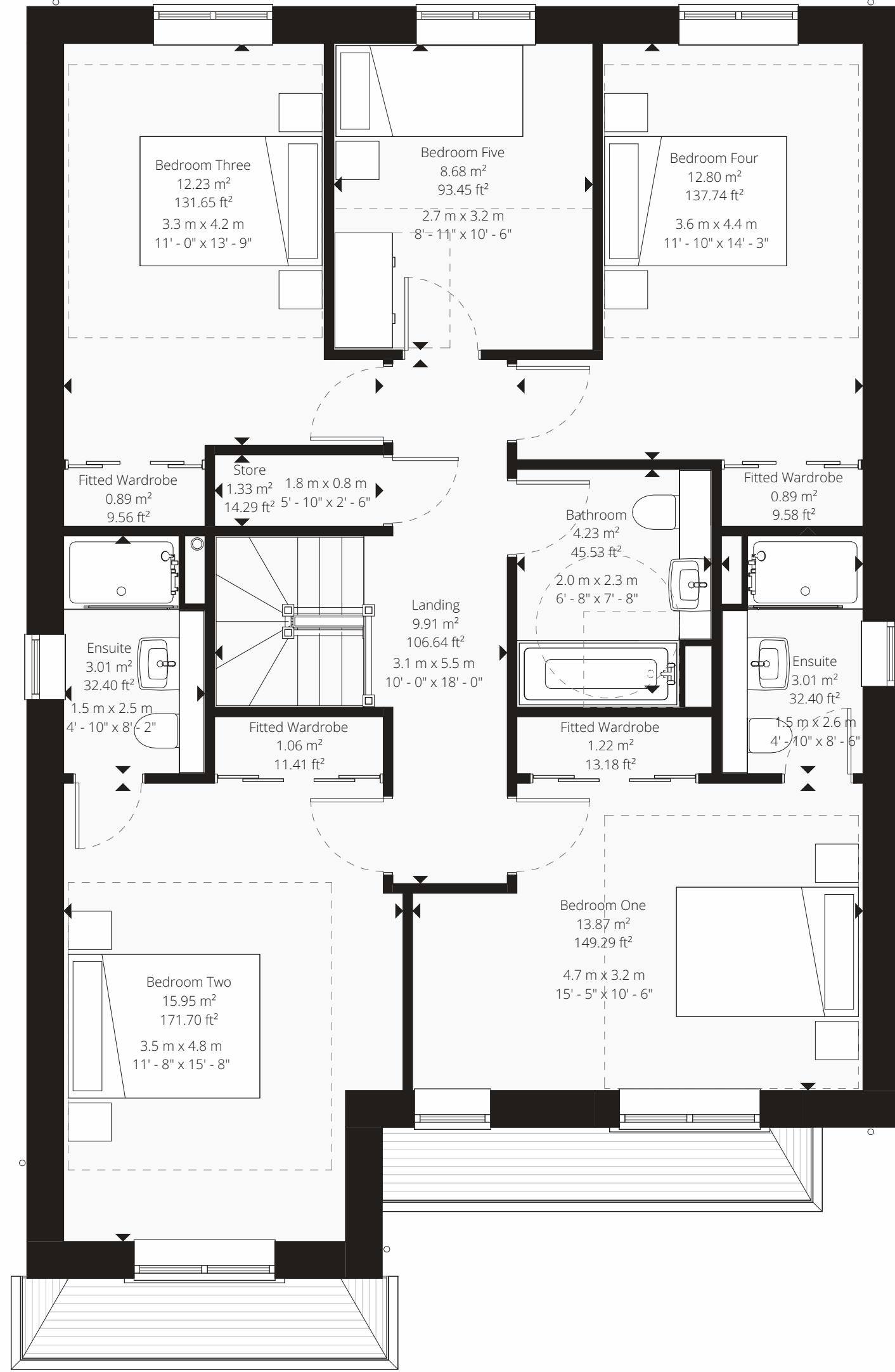
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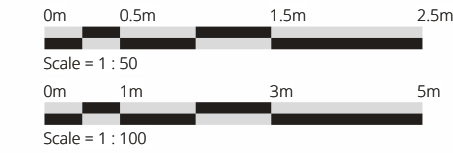
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Ground Floor Plan
1:50



First Floor Plan
1:50



Build Area Schedule			
Ground Floor	80.42 m ²	865.60 ft ²	
First Floor	92.25 m ²	992.93 ft ²	
	172.66 m ²	1858.53 ft ²	

Planning Notes

Solar Panels (PV)

The orientation and roof faces of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt-peak (kWp) established by the SAP assessment is achieved.

EV Charge Points

The position of any EV charge point is indicative only. Its final placement will be confirmed to suit the parking configuration of the plot.

Material Key

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Other Brickwork - Red Engineering Brick
Below DPC and Specials to Top of Brick Plinth

Roof Tiles - Dark Grey Concrete Tile

Doors and Windows - RAL 7032 Pebble Grey

Door and Window Detailing - Semi Dry Cast Buff Coloured Artstone Splined Head with Keystone and Stooled Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Artstone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
[OB]	Obscured Glazing
[LM] [TG]	Toughened / Laminated Glazing
[LM/OB] [TG/OB]	Toughened / Laminated & Obscured Glazing



D: 06/05/2025 Minor Amendments
C: 03/11/2025 Internal Layout Alterations at Client's Request
B: 24/09/2025 Various Changes Following Client Design Review Updated to M4(2) Standards
A: 28/08/2025 First Issue for Client Comment

Rev: Date: Notes:

DRAWING NUMBER
J1192-LAN-PL200

DRAWING TITLE
Proposed Floor Plans & Elevations

PROJECT
Springside Road, Walmsley
Lancaster M4(2) [Plots 03, 08 & 09]
CLIENT: Edgefold Homes Ltd.

JOB NUMBER J1192 **DATE** Aug '25 **SCALE** As indicated **SIZE** A1

PLANNING

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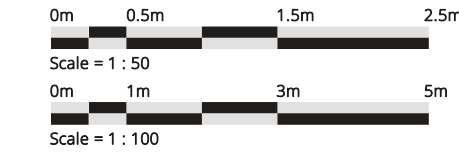
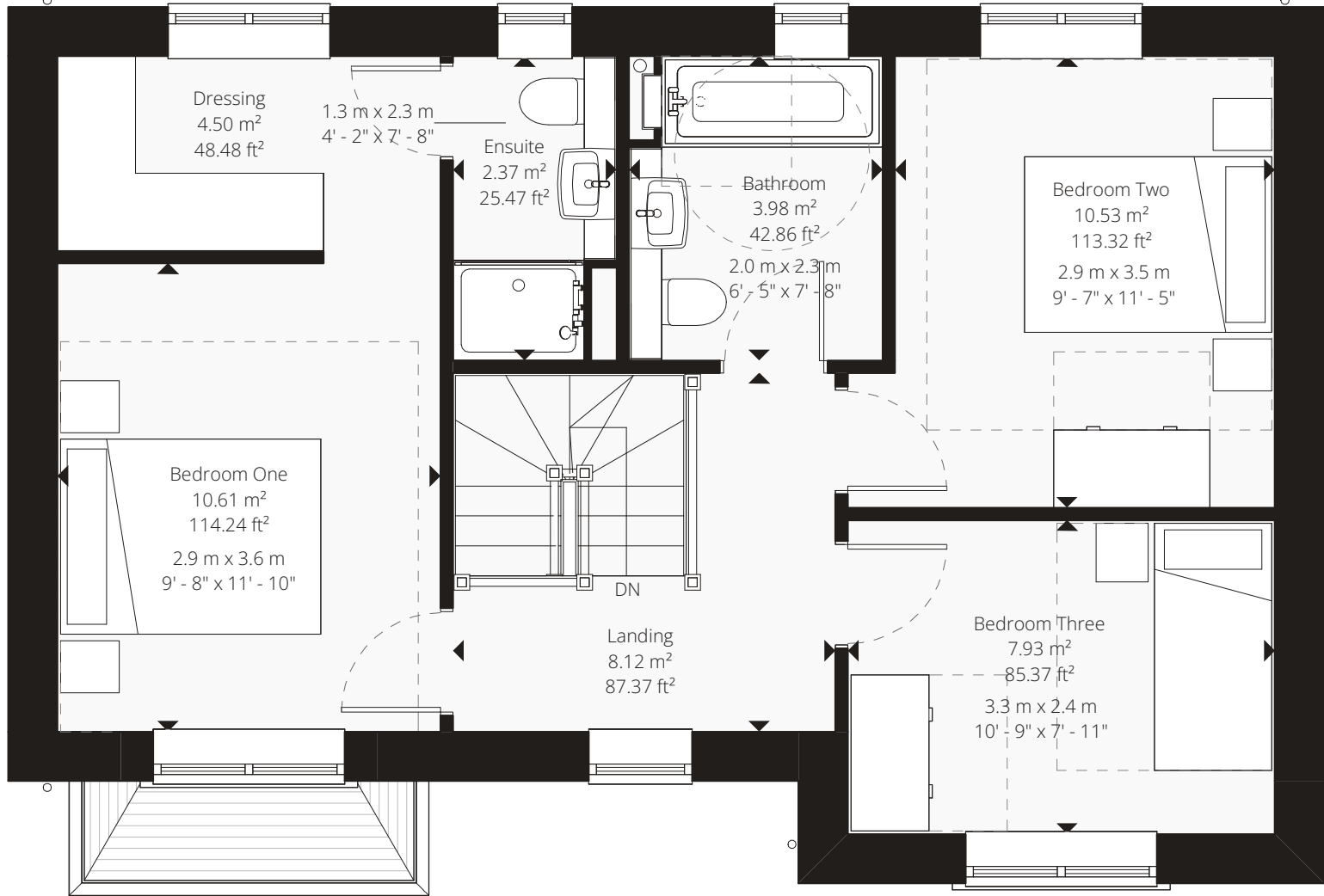
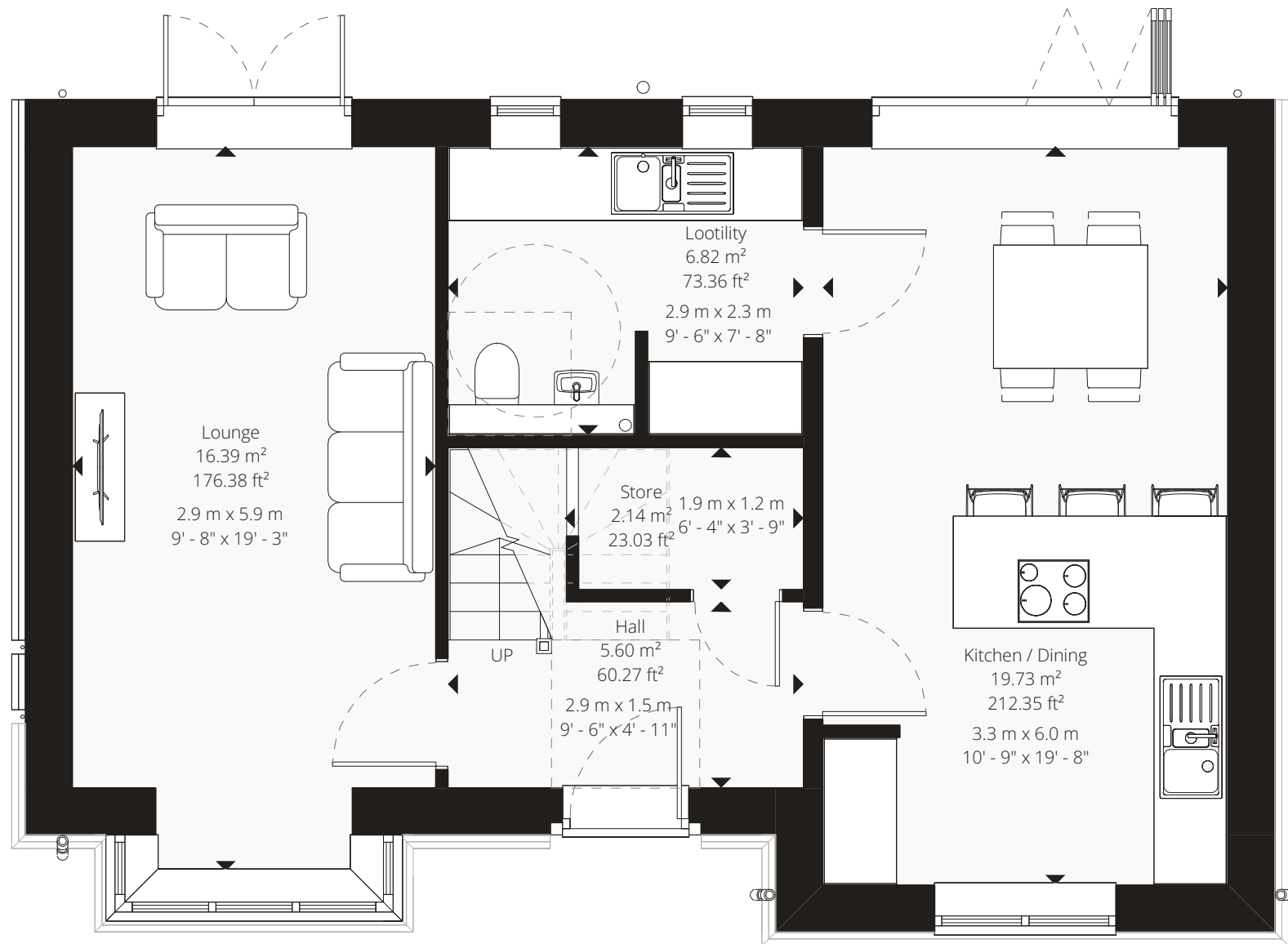


Manor Architecture Ltd.
Bodfrys Hall, Bodfrys Park,
Chorlton Rd, Eccles, Wigan, M30 9JG
Tel: 01565 740 520
Email: info@manorarchitecture.co.uk
Web: www.manorarchitecture.co.uk

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Build Area Schedule			
Ground Floor	53.12 m²	571.75 ft²	
First Floor	52.01 m²	559.78 ft²	
	105.12 m²	1131.53 ft²	

Planning Notes

Solar Panels (PV)

The orientation and roof face(s) of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt-peak (kWp) established by the SAP assessment is achieved.

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E 05/05/2025 Minor Amendment
D 20/04/2025 PP Layout Updated
C 03/11/2025 Internal Layout Alterations at Client's Request
B 24/09/2025 Various Changes Following Client Design Review Update to M40 Standards
A 28/08/2025 First Issue for Client Comment

Rev.	Date	Notes
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DRAWING NUMBER J1192-RIV-PL200 **ISSUE** E

DRAWING TITLE Proposed Floor Plans & Elevations

PROJECT Springside Road, Walmsley
Rivington [Plots 01 & 12]
CLIENT Edgefold Homes Ltd.

JOB NUMBER	DATE	SCALE	SIZE
J1192	Aug '25	As Indicated	A1

PLANNING

MANOR ARCHITECTURE

Manor Architecture Ltd.
Bloxholm Hall, Bloxholm Park,
Chifford Rd, Chalfont St Giles, MK45 6GS
Tel: 01565 740 520
Email: info@manorarchitecture.co.uk
Web: www.manorarchitecture.co.uk

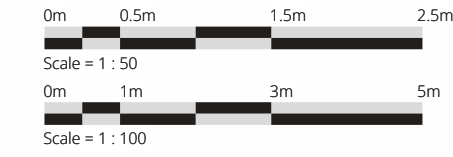
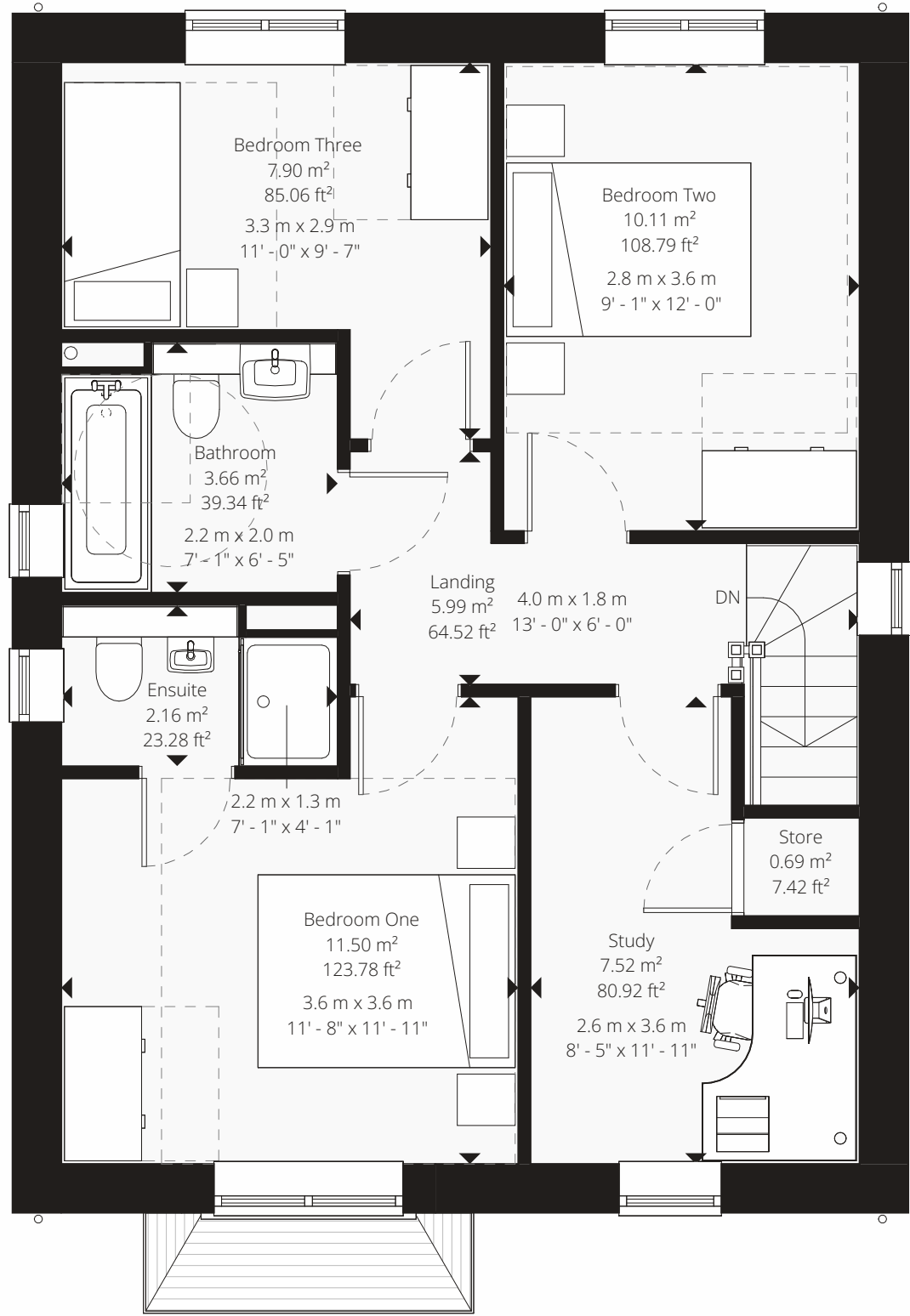
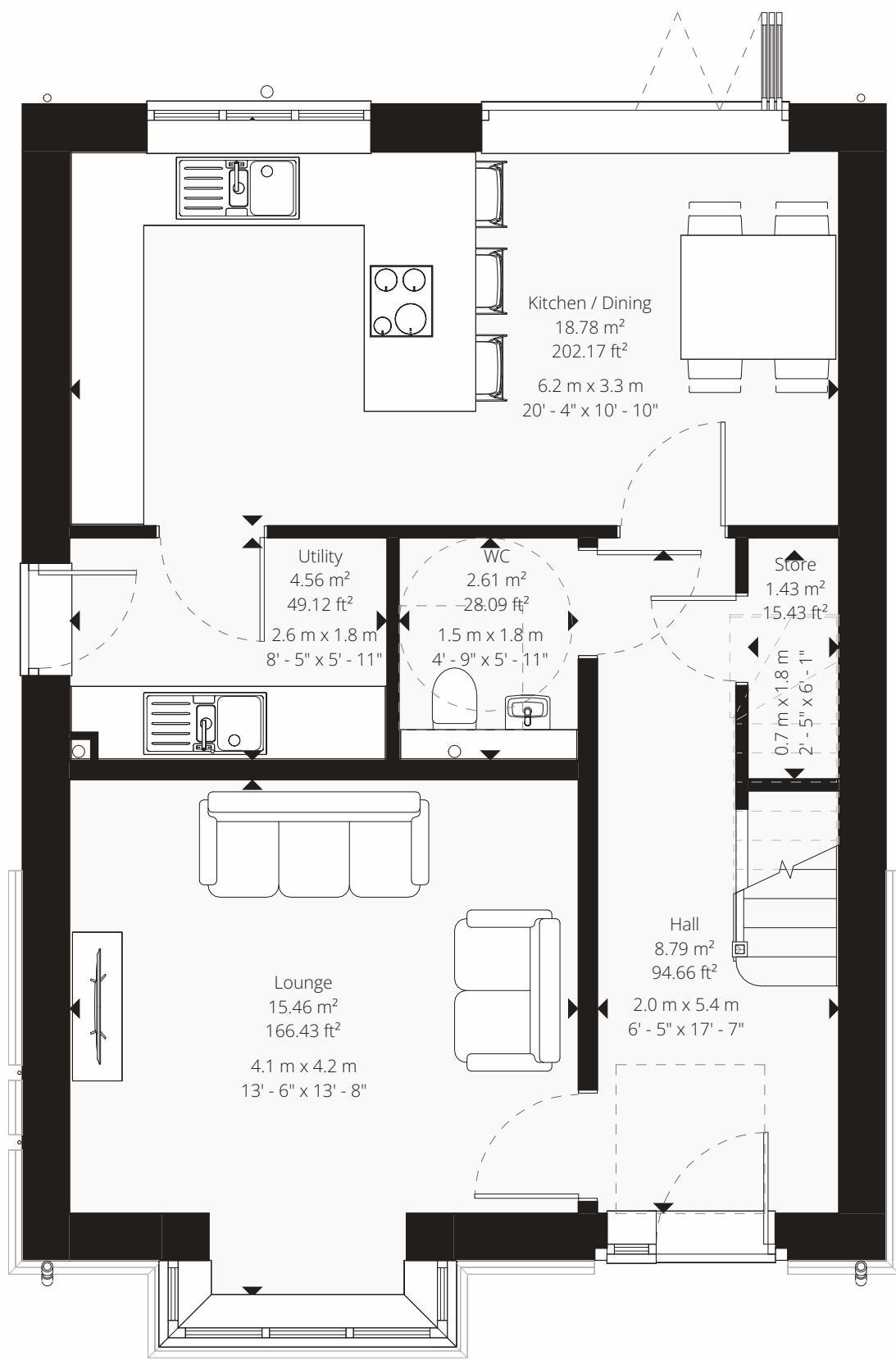
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This Drawing Must Not Be Used On Site Unless Issued For Construction.



Build Area Schedule			
Ground Floor	55.09 m ²	592.97 ft ²	
First Floor	53.98 m ²	581.00 ft ²	
	109.07 m ²	1173.97 ft ²	

Planning Notes

Solar Panels (PV)

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Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt-peak (kWp) established by the SAP assessment is achieved.

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A: 28/08/2025 First Issue for Client Comment
Rev. Date: Notes:

DRAWING NUMBER: J1192-LIG-PL200
DRAWING TITLE: Proposed Floor Plans & Elevations
PROJECT: Springside Road, Walmsley
Lightshaw M4(2)
CLIENT: Edgefold Homes Ltd.

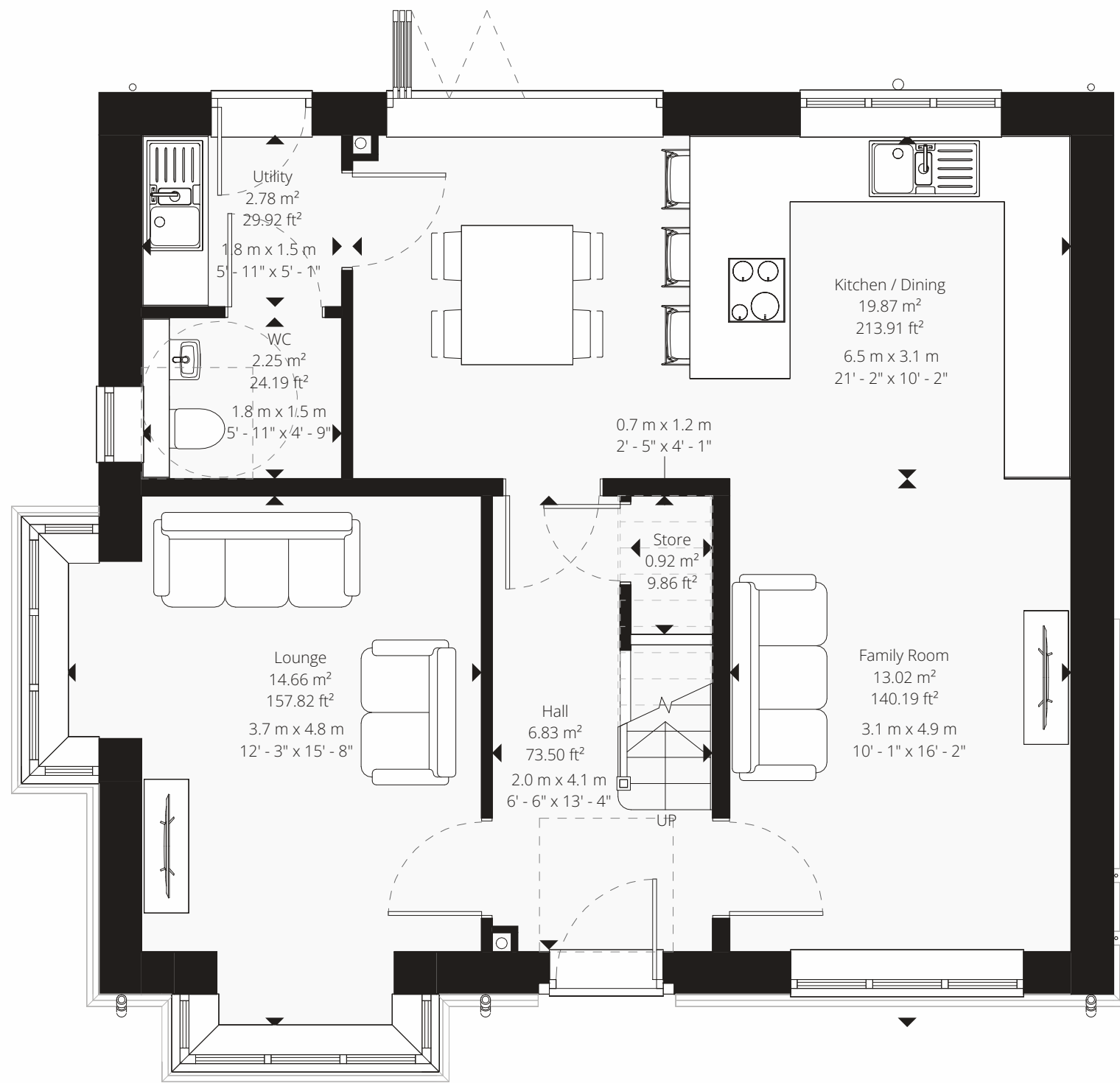
JOB NUMBER: J1192
DATE: Aug '25
SCALE: As indicated
SIZE: A1

PLANNING

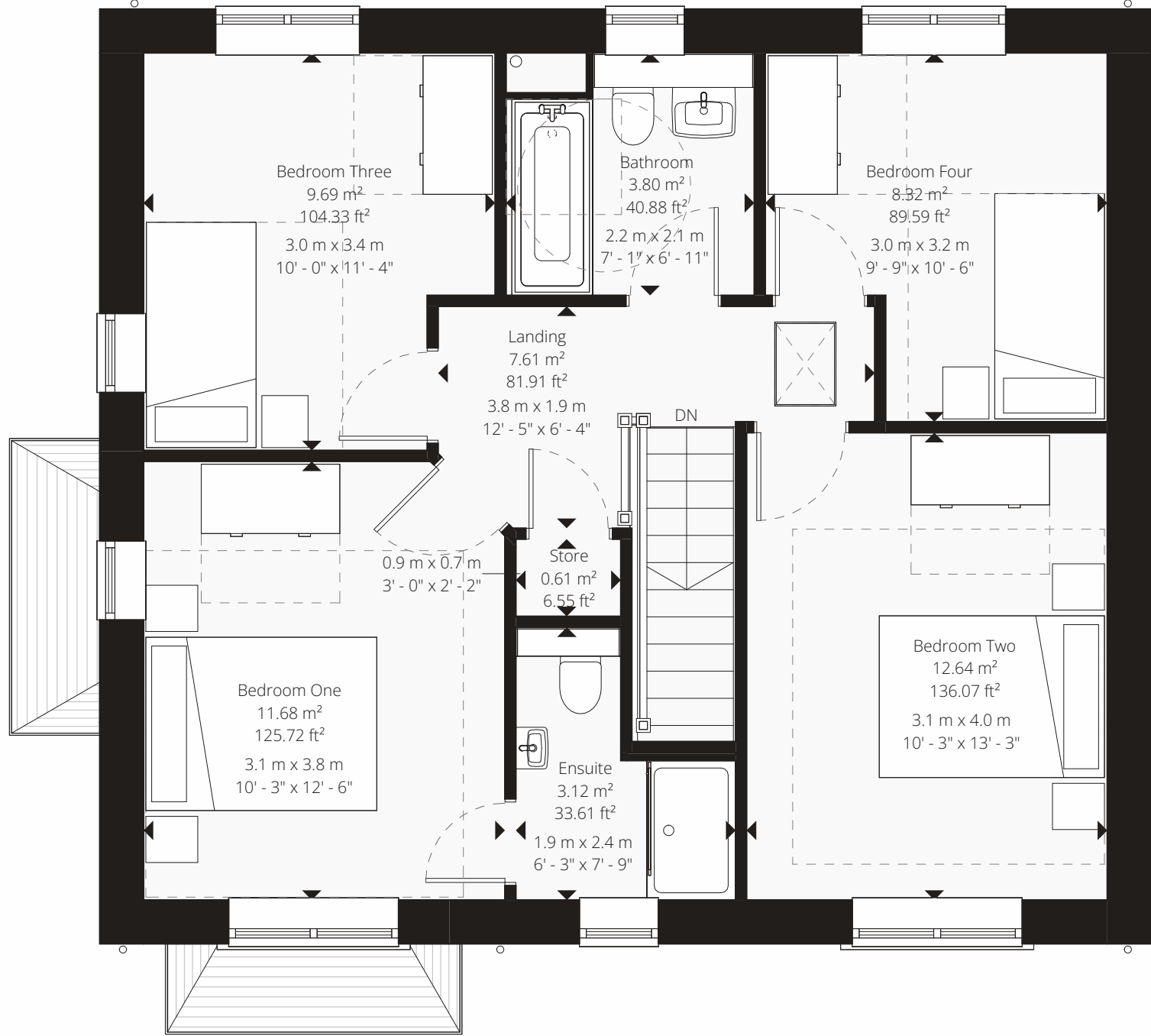
Manor Architecture Ltd.
80010's Hall, 80010's Park,
Chorlton Rd, Knutsford, Warrington, WA16 6EG
Tel: 01565 740 520
Email: info@manorarchitecture.co.uk
Web: www.manorarchitecture.co.uk

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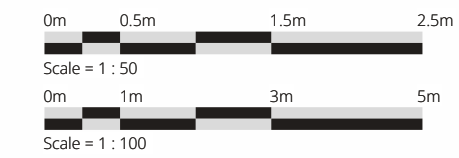
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This Drawing Must Not Be Used On Site Unless Issued For Construction.



Ground Floor Plan
1:50



First Floor Plan
1:50



Build Area Schedule Plot with Bay			
Ground Floor	65.35 m²	703.44 ft²	
First Floor	62.02 m²	667.53 ft²	
	127.37 m²	1370.97 ft²	

Build Area Schedule Plot Without Bay			
Ground Floor	64.24 m²	691.47 ft²	
First Floor	62.02 m²	667.53 ft²	
	126.26 m²	1359.00 ft²	

Planning Notes

Solar Panels (PV)

The orientation and roof face(s) of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof face(s) used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt peak (kWp) established by the SAP assessment is achieved.

EV Charge Points

The position of any EV charge point is indicative only. Its final placement will be confirmed to suit the parking configuration of the plot.

Material Key

Facing Brickwork - Cheshire Red Brick

Other Brickwork - Red Engineering Brick
Below DPC and Specials to Top of Brick Plinth

Roof Tiles - Dark Grey Concrete Tile

Doors and Windows - RAL 7032 Pebble Grey

Door and Window Detailing - Semi Dry Cast Buff Coloured Aristone Splayed Head with Keystone and Stooled Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Aristone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
	Obscured Glazing
	Toughened / Laminated Glazing
	Toughened / Laminated & Obscured Glazing



Front Elevation
1:100

Left Elevation
1:100

Rear Elevation
1:100

Right Elevation
1:100

D: 23/06/2025 Bay Removed
C: 06/05/2025 Minor Amendment
B: 24/09/2025 Various Changes Following Client Design Review Updated to M4(2) Standards
A: 28/08/2025 First Issue for Client Comment

Rev: Date: Notes:

DRAWING NUMBER: J1192-KEN-PL201
DRAWING TITLE: Proposed Floor Plans & Elevations
PROJECT: Springside Road, Walmsley
CLIENT: Kenyon M4(2)
Edgefold Homes Ltd.

JOB NUMBER: J1192
DATE: Aug '25
SCALE: As indicated
SIZE: A1

PLANNING



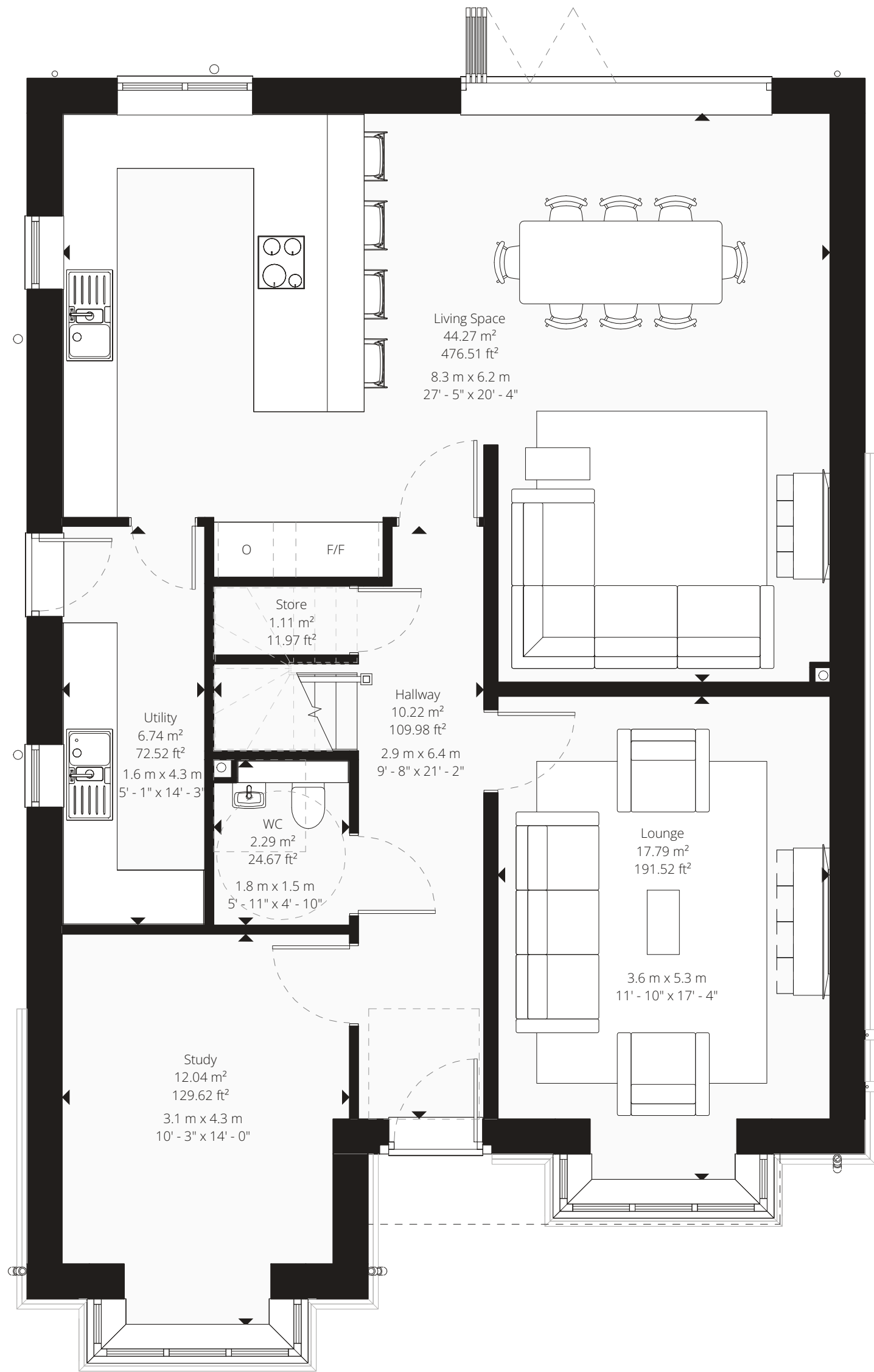
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Bodfrys Hall, Bodfrys Park,
Chelford Rd, Knutsford, Warrington, WA16 6EG
Tel: 01565 740 520
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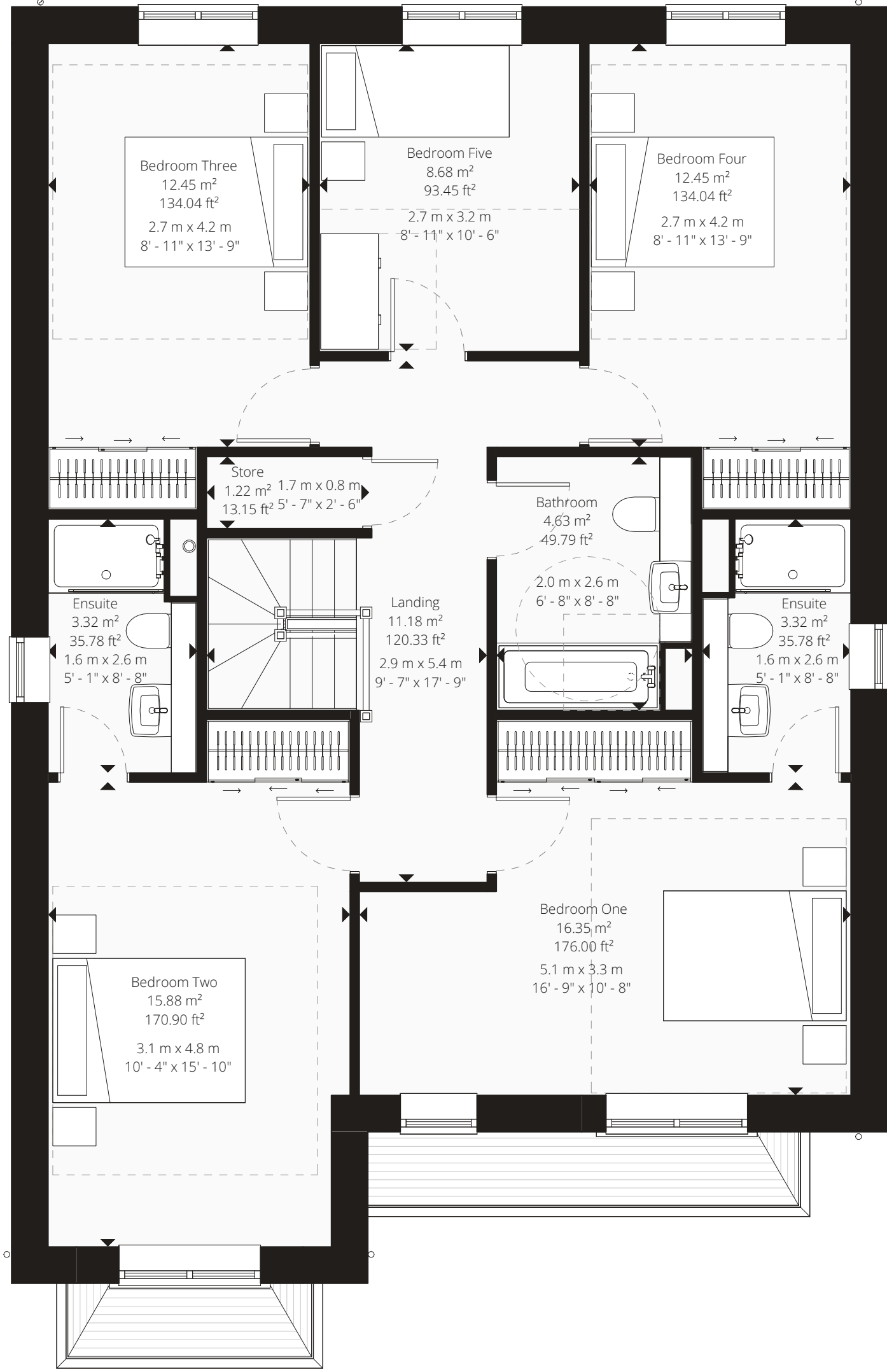
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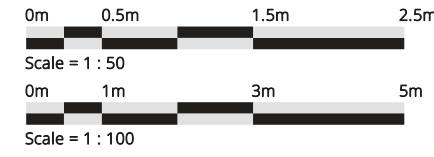
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Ground Floor Plan
1:50



First Floor Plan
1:50



Build Area Schedule			
Ground Floor	99.19 m ²	1067.69 ft ²	
First Floor	92.25 m ²	992.93 ft ²	
	191.44 m ²	2060.62 ft ²	

Planning Notes

Solar Panels (PV)

The orientation and roof faces of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt-peak (kWp) established by the SAP assessment is achieved.

EV Charge Points

The position of any EV charge point is indicative only. Its final placement will be confirmed to suit the parking configuration of the plot.

Material Key

Facing Brickwork - Cheshire Red Brick

Other Brickwork - Red Engineering Brick
Below DPC and Specials to Top of Brick Plinth

Roof Tiles - Dark Grey Concrete Tile

Doors and Windows - RAL 7032 Pebble Grey

Door and Window Detailing - Semi Dry Cast Buff Coloured Airstone Splayed Head with Keystone and Stooled Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Airstone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
[OB]	Obscured Glazing
[LM] [TG]	Toughened / Laminated Glazing
[LM/OB] [TG/OB]	Toughened / Laminated & Obscured Glazing



C: 2024/2025: Minor Amendment to Internal Layout
B: 19/05/2024: Internal Layout Re-arranged
A: 19/05/2024: First Issue

Rev. Date: Notes

DRAWING NUMBER
J1192-LAN2-PL200
Proposed Floor Plans & Elevations

PROJECT
Springside Road, Walmsley
LancasterTwo M4(2) [Plot 04]
CLIENT
Edgefold Homes Ltd.

JOB NUMBER
J1192

DATE
May '26

SCALE
As Indicated

SIZE
A1

PLANNING

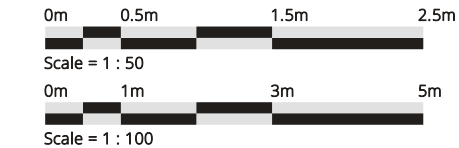
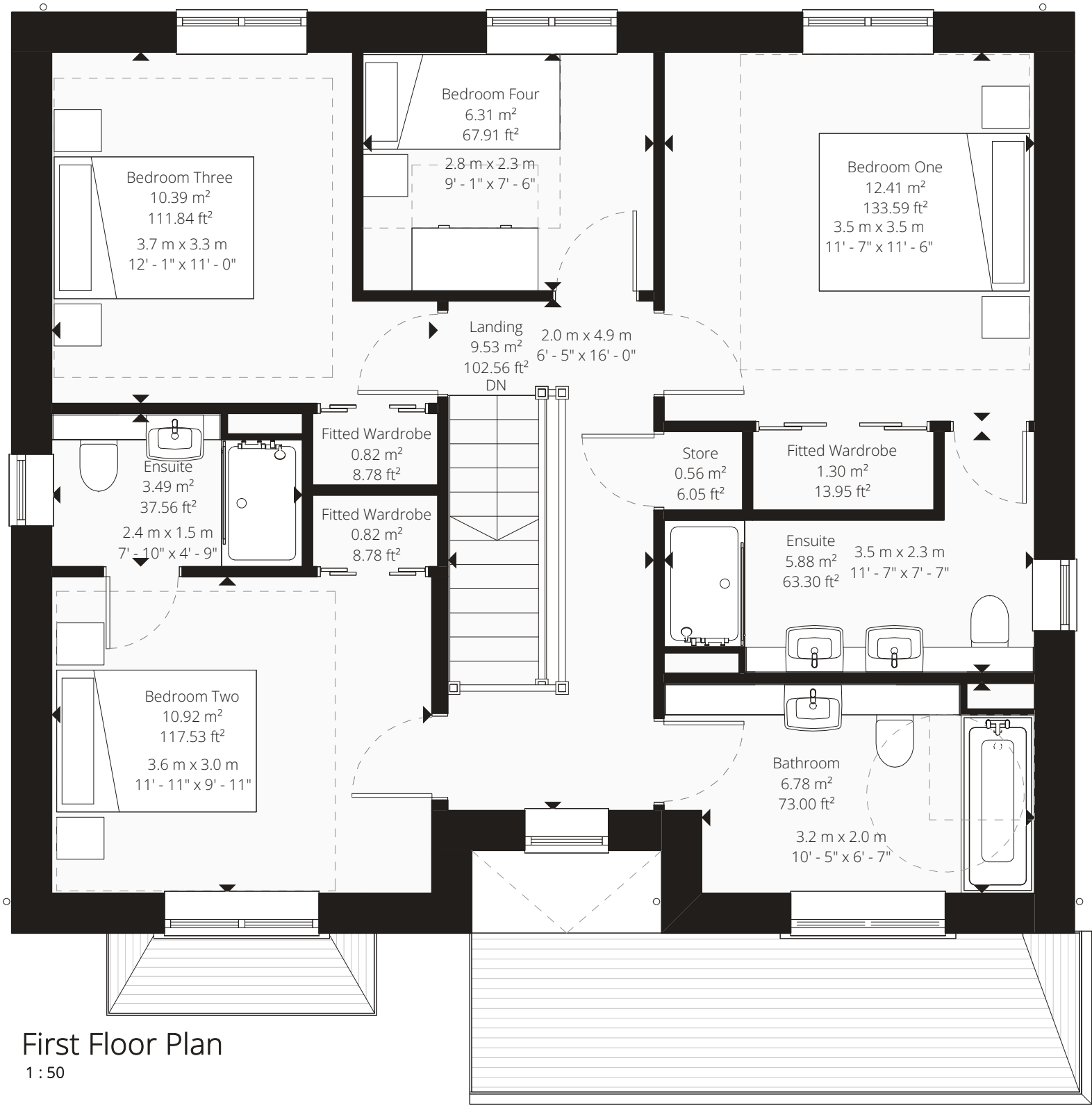
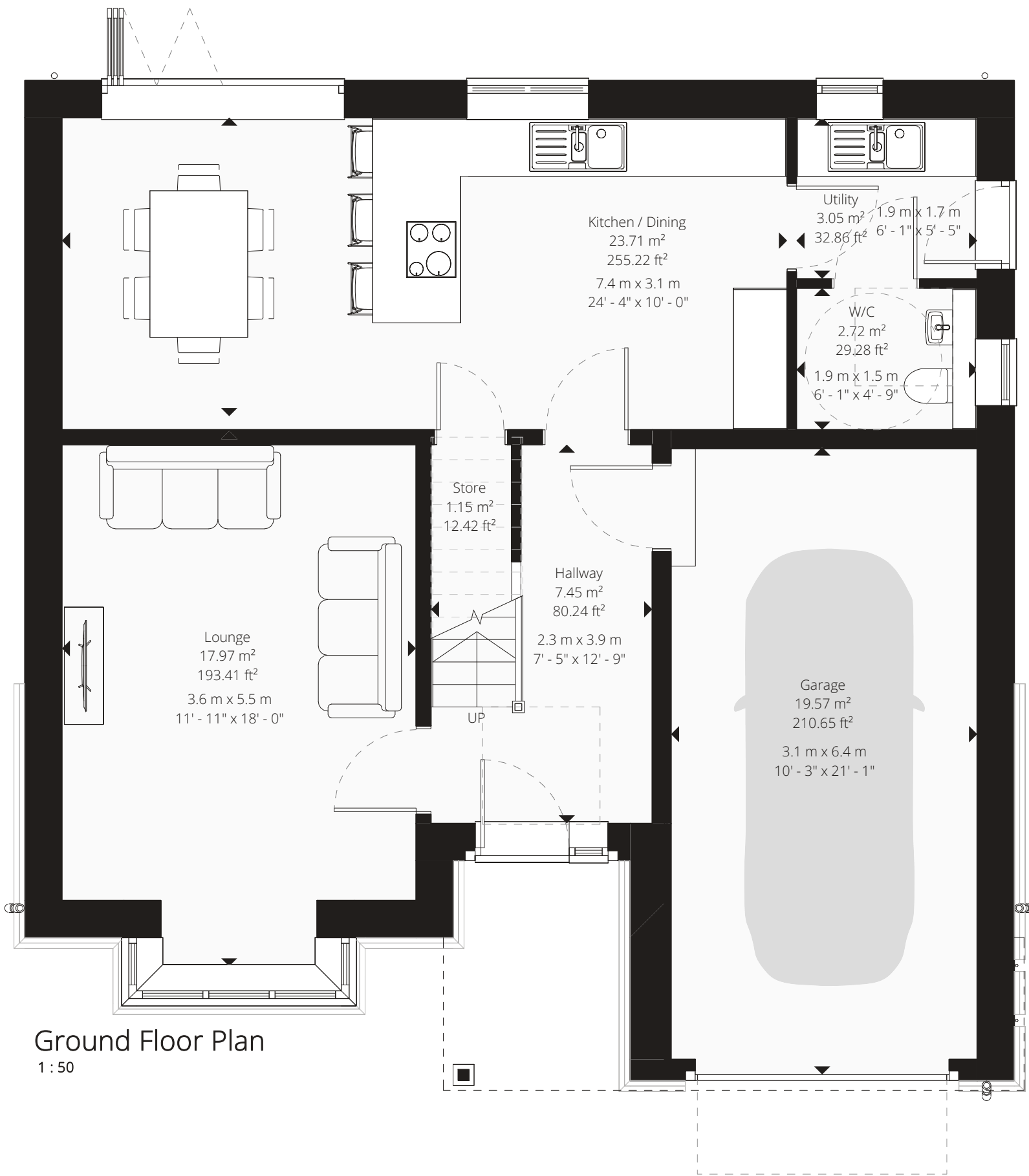


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Build Area Schedule			
Ground Floor	59.15 m ²	636.64 ft ²	
First Floor	73.86 m ²	795.07 ft ²	
	133.01 m ²	1431.70 ft ²	

Planning Notes

Solar Panels (PV)

The orientation and roof faces of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt-peak (kWp) established by the SAP assessment is achieved.

EV Charge Points

The position of any EV charge point is indicative only. Its final placement will be confirmed to suit the parking configuration of the plot.

Material Key

Facing Brickwork - Cheshire Red Brick

Other Brickwork - Red Engineering Brick Below DPC and Specials to Top of Brick Plinth

Roof Tiles - Dark Grey Concrete Tile

Doors and Windows - RAL 7032 Pebble Grey

Door and Window Detailing - Semi Dry Cast Buff Coloured Artstone Splayed Head with Keystone and Stooled Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Artstone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
[OB]	Obscured Glazing
[LM] [TG]	Toughened / Laminated Glazing
[LM/OB] [TG/OB]	Toughened / Laminated & Obscured Glazing



D 24/11/2025 Minor Amendment
C 03/11/2025 Internal Layout Alterations at Client's Request
B 24/09/2025 Various Changes Following Client Design Review Updated to M4(2) Standards
A 28/08/2025 First Issue for Client Comment

Rev. Date: Notes

DRAWING NUMBER: J1192-MAR-PL200 ISSUE: D

DRAWING TITLE: Proposed Floor Plans & Elevations

PROJECT: Springside Road, Walmsley
Marley M4(2) [Plot 06]
CLIENT: Edgefold Homes Ltd.

JOB NUMBER: J1192 DATE: Aug '25 SCALE: As Indicated SIZE: A1

PLANNING

MANOR ARCHITECTURE

Manor Architecture Ltd.
Bloxholm Hall, Bloxholm Park,
Chalfont St Giles, Chalfont St Giles, Bucks HP8 4JG
Tel: 01595 740 520
Email: info@manorarchitecture.co.uk
Web: www.manorarchitecture.co.uk

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Plots 05 - 12



Plots 01 - 04

D 14/05/2025 Updated to Latest Site Layout
C 24/09/2025 Various Changes Following Client Review Updated to
B 10/09/2025 Garages Shown for Kermans
A 09/09/2025 First Issue
Rev. Date: Notes:

DRAWING NUMBER: J1192-WS-PL103 D
DRAWING TITLE: Indicative Street Elevations

PROJECT: Springside Road, Walmersley

CLIENT: Edgefold Homes Ltd.

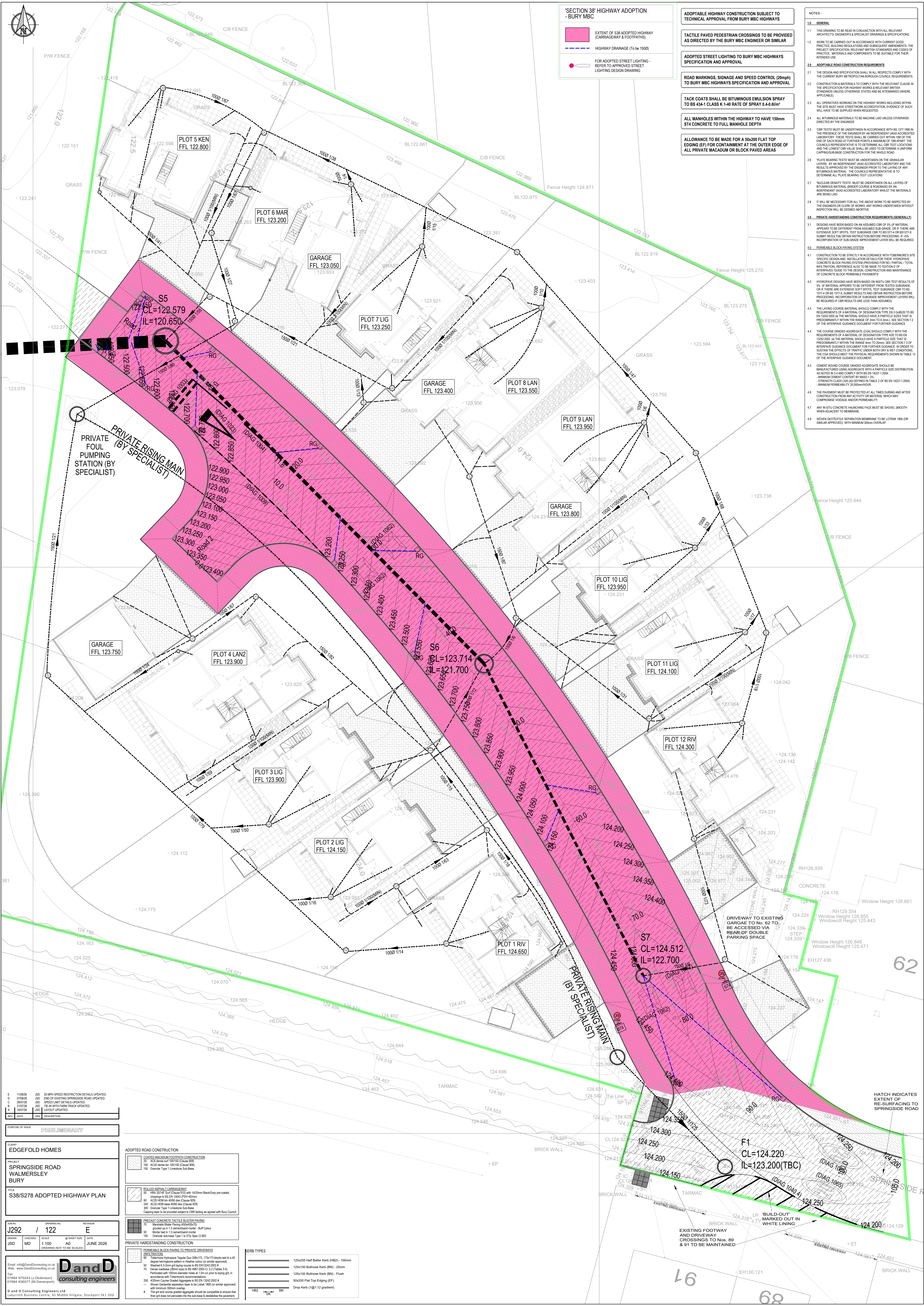
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INFORMATION

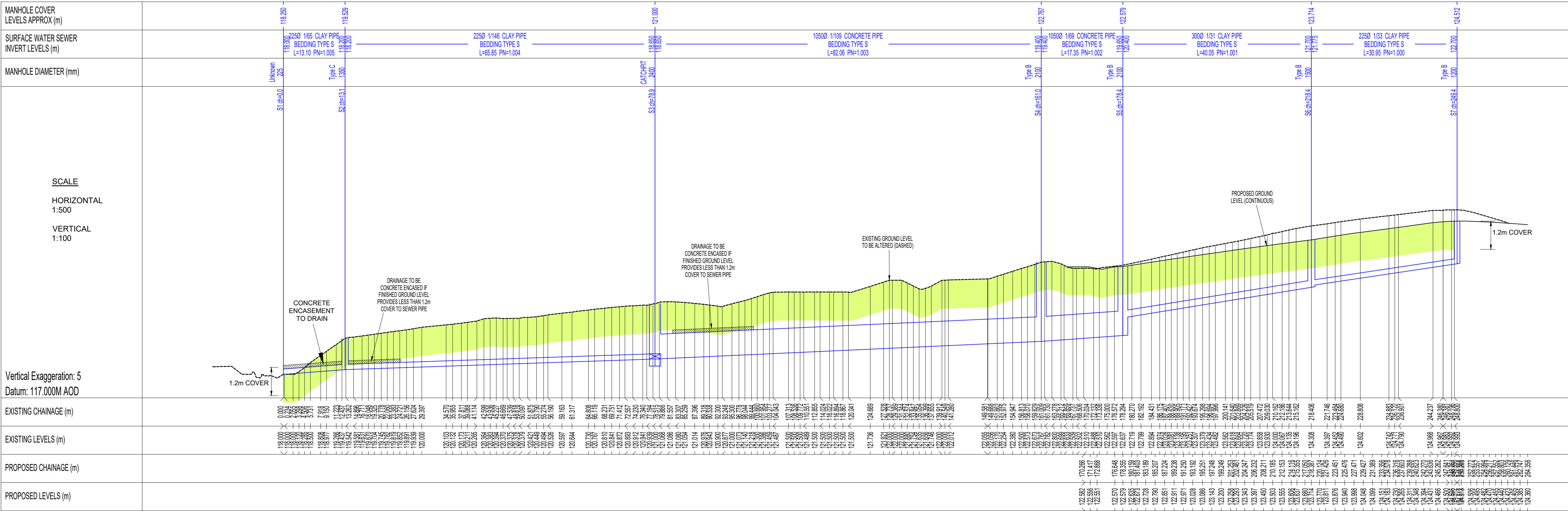


Manior Architecture Ltd.
Bosfor Hall, Bosfor Park,
Chorlton Rd, Eccles, W16 6GS
Tel: 01565 740 520
Email: info@maniorarchitecture.co.uk
Web: www.maniorarchitecture.co.uk

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Page 39



S104 SURFACE WATER MANHOLE SCHEDULE							
MH No.	MANHOLE DIMENSION (mm)	MANHOLE TYPE	COVER TYPE	COVER LEVEL (m)	INVERT LEVEL (m)	DEPTH TO SOFFIT (m)	NORTHING (m)
S1	OUTFALL	Type C	D400	119.529	118.000	1.104	413715.344
S2	13500	CONTROL	D400	121.000	118.650	2.125	413675.583
S3	24000	Type B	D400	122.767	119.400	2.317	413619.074
S4	21000	Type B	D400	122.579	119.650	1.879	413619.960
S5	15000	Type B	D400	123.714	121.700	1.714	413591.455
S7	12000	Type B	D400	124.512	122.700	1.587	413563.884

- NOTES -
- 1.0 GENERAL**
- 1.1 THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS AND SPECIALIST DRAWINGS & SPECIFICATIONS.
- 1.2 WORK TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOOD PRACTICE, BUILDING REGULATIONS AND SUBSEQUENT AMENDMENTS, THE PROJECT SPECIFICATION, RELEVANT BRITISH STANDARDS AND CODES OF PRACTICE. MATERIALS AND COMPONENTS TO BE SUITABLE FOR THEIR INTENDED USE.
- 1.3 FOR SETTING OUT REFER TO ARCHITECTS DRAWINGS.
- 4.0 ADOPTABLE DRAINAGE (UNITED UTILITIES)**
- 4.1 ALL ADOPTABLE SEWER WORKS AND MATERIAL TO BE IN ACCORDANCE WITH SEWAGE SECTOR GUIDANCE - APPENDIX C - DESIGN AND CONSTRUCTION GUIDANCE, THE RELEVANT BRITISH/EUROPEAN STANDARDS AND UNITED UTILITIES REQUIREMENTS.
- 4.2 THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING UNITED UTILITIES PLC DRAWINGS CONTAINING THEIR DEVELOPER SERVICES STANDARD DETAILS -
- STND/19/001A - DETAIL 1 - MANHOLE TYPE 1
 - STND/19/002A - DETAIL 2 - MANHOLE TYPE 2
 - STND/19/003A - DETAIL 3 - MANHOLE TYPE 4
 - STND/19/004A - SW SHALLOW MANHOLE
 - STND/19/005A - FLOW CONTROL MANHOLE
 - STND/19/007A - EXTERNAL BACKDROP DETAIL
 - STND/19/008A - PIPE BEDDING DETAIL
 - STND/19/010A - VARIABLE MANHOLE FEATURES
 - STND/19/011A - HEADWALL TYPE 1 DETAIL
 - STND/19/012A - HEADWALL TYPE 2 AND DETAILS
- 4.3 MANHOLE COVERS SHALL HAVE A CLEAR OPENING OF 600mm AND SHALL BE CLASS D400 TO BS EN 124 WITH 150mm DEEP FRAMES IN HIGHWAYS.
- 4.4 COVER SLABS MUST CARRY THE BSI KITEMARK. WHERE THE CLEAR OPENING OF THE KITE MARKED PRODUCT IS DIFFERENT TO THAT OF THE COVER AND FRAME A LONG BEARING SLAB SHOULD BE FITTED ABOVE THE COVER SLAB TO BRING THE SIZE DOWN TO 600mm X 600mm. PLEASE REFER TO CONCRETE PIPES SYSTEMS ASSOCIATION (CPSA) TECHNICAL BULLETIN AUTUMN 2004 FOR KITEMARKED COVER SLAB OPENING SIZES.

CONCRETE SURROUND/PROTECTION TO BE PROVIDED TO ANY ADOPTED PIPEWORK WITH LESS THAN 1.2m COVER.

ALL LATERAL CONNECTIONS TO THE ADOPTED SYSTEM TO BE MADE AT LEVEL SOFFITS.

ALL PIPE BEDDING TO BE CLASS 'S' UNLESS NOTED OTHERWISE

C	16/07/26	JSD	LAYOUT UPDATED.
B	27/05/26	JSD	LAYOUT UPDATED.
A	19/02/26	JSD	LAYOUT UPDATED.
REV	DATE	DRN	DESCRIPTION

PURPOSE OF ISSUE PRELIMINARY

CLIENT
EDGEFOLD HOMES

PROJECT
SPRINGSIDE ROAD
WALMERSLEY
BURY

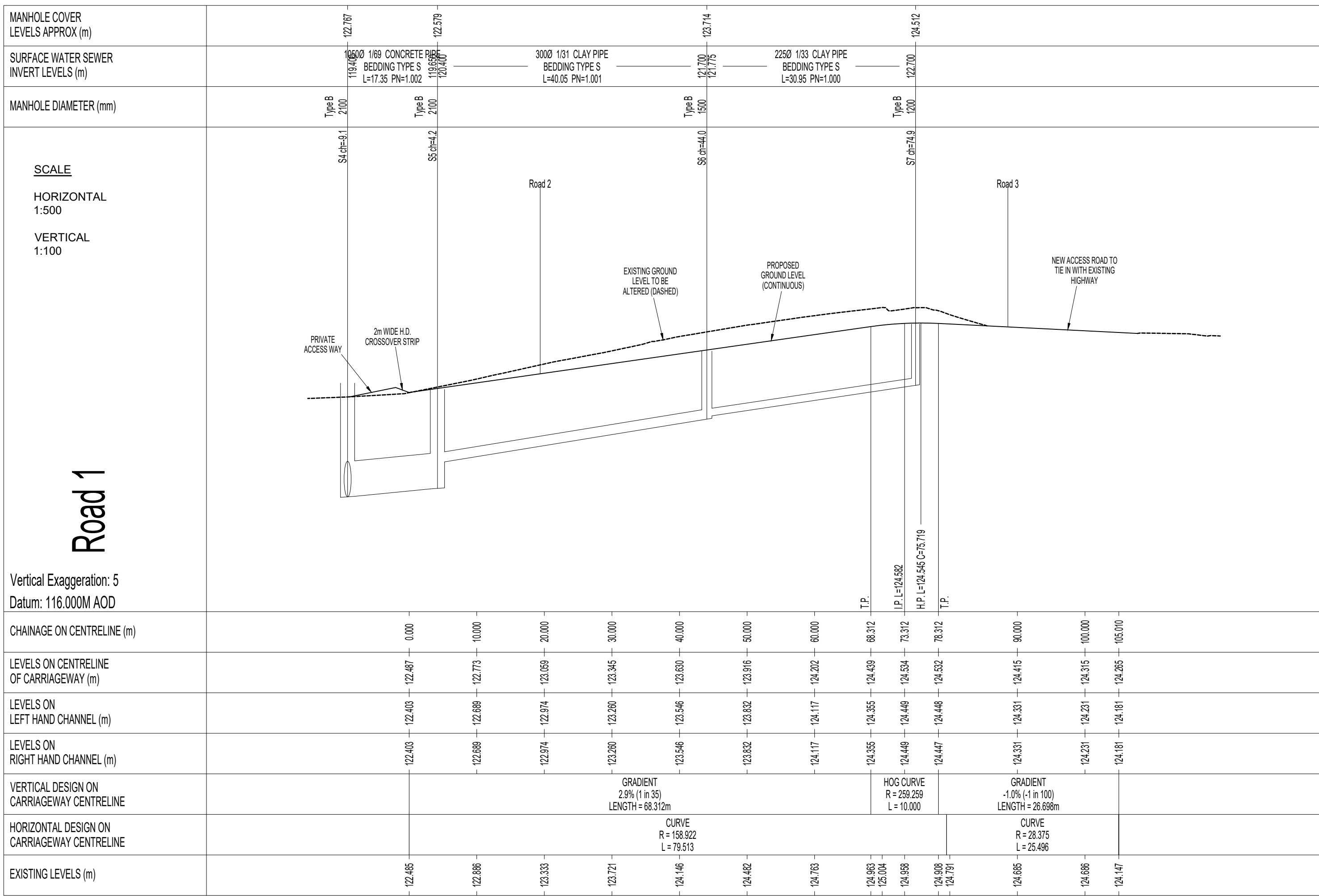
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S104 LONGITUDINAL SECTION -
SURFACE WATER SEWER

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J292		/ 115		C	
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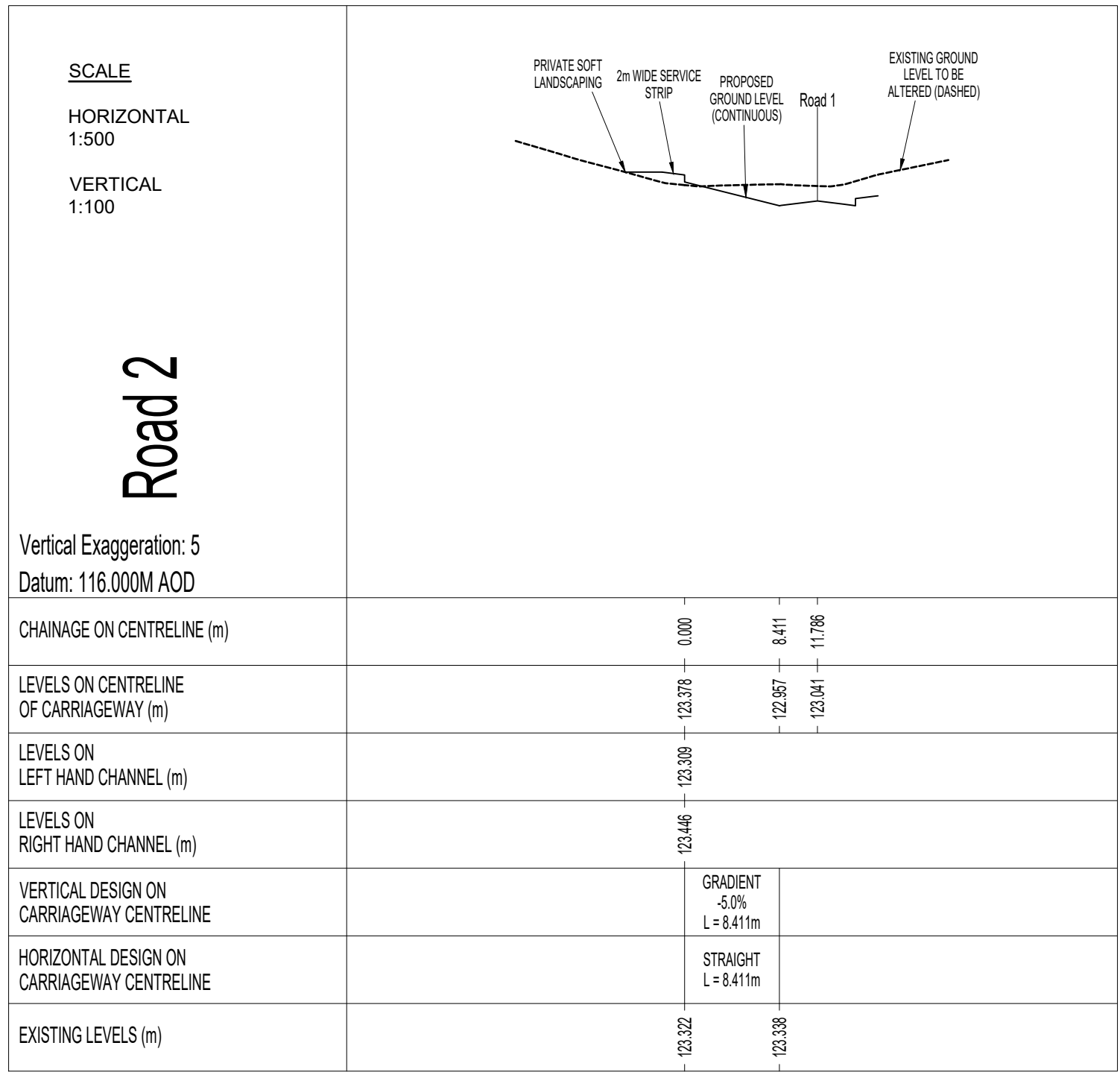
Email: info@DandDconsulting.co.uk
Web: www.DandDconsulting.co.uk
Tel: 07884 975243 (J.Dickinson)
07884 936577 (M.Davenport)

DandD
consulting engineers

D and D Consulting Engineers Ltd
Labyrinth Business Centre, 45 Middle Hillgate, Stockport SK1 3DG



Road 1				
Chainage (m)	Easting (m)	Northing (m)	Level (m)	Curve/Straight
0.000	380157.713	419621.636	122.487	Tangent Point
10.000	380170.418	419623.386	122.500	Curve Radius 158.922
20.000	380177.916	419630.661	122.059	Curve
30.000	380177.875	419601.442	122.345	Curve
40.000	380186.108	419593.686	123.603	Curve
50.000	380192.373	419585.834	123.916	Curve
60.000	380197.861	419577.507	124.527	Curve
70.000	380200.813	419569.842	124.462	Curve
79.513	380207.009	419560.350	124.520	Tangent Point
80.000	380207.009	419560.350	124.513	Curve Radius 28.375
90.000	380212.966	419551.758	124.415	Curve
100.000	380221.945	419546.166	124.315	Curve
105.010	380225.945	419544.528	124.265	Tangent Point
105.010	380225.945	419544.528	124.265	End



Road 2				
Chainage (m)	Easting (m)	Northing (m)	Level (m)	Curve/Straight
0.000	380164.310	413600.587	123.378	Start
8.411	380170.138	413606.651	122.957	IP at Channel
10.000	380171.240	413607.796	122.997	Straight
11.766	380172.477	413609.084	123.041	End

NOTES -	
1.0	GENERAL
1.1	THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS AND SPECIALIST DRAWINGS & SPECIFICATIONS.
1.2	WORK TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOOD PRACTICE, BUILDING REGULATIONS AND SUBSEQUENT AMENDMENTS, THE PROJECT SPECIFICATION, RELEVANT BRITISH STANDARDS AND CODES OF PRACTICE. MATERIALS AND COMPONENTS TO BE SUITABLE FOR THEIR INTENDED USE.
1.3	FOR SETTING OUT REFER TO ARCHITECTS DRAWINGS.

**THIS DRAWING IS SUBJECT TO SECTION 104 &
SECTION 38 TECHNICAL APPROVALS.**

C	15/07/26	JSD	LAYOUT UPDATED.
B	27/05/26	JSD	LAYOUT UPDATED.
A	19/02/26	JSD	LAYOUT UPDATED.
REV.	DATE	DRN	DESCRIPTION

PURPOSE OF ISSUE PRELIMINARY

CLIENT
EDGEFOLD HOMES

PROJECT

SPRINGSIDE ROAD
WALMERSLEY
BURY

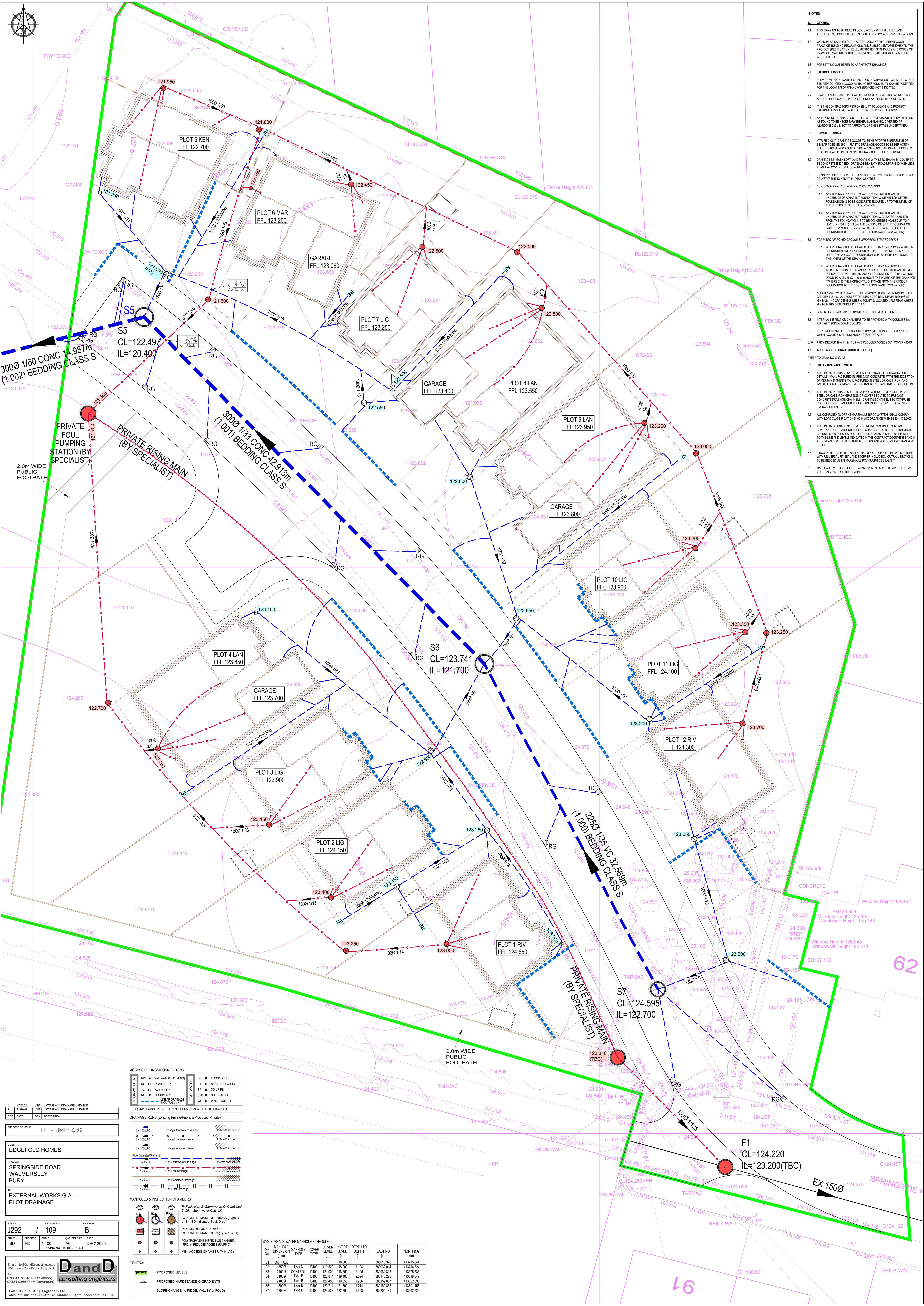
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S38 LONGITUDINAL SECTION -
ADOPTED HIGHWAY

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J292		/ 123		C
DRAWN	CHECKED	SCALE	@ SHEET SIZE	DATE
JSD	MD	AS NOTED	A1	SEPT' 2025
DRAWING NOT TO BE SCALED				

Email: info@DandDconsulting.co.uk
Web: www.DandDconsulting.co.uk
Tel:
07884 975243 (J.Dickinson)
07884 936577 (M.Davenport)

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consulting engineers

D and D Consulting Engineers Ltd
Labyrinth Business Centre, 45 Middle Hillgate, Stockport SK1 3DG



- NOTES
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- 1.1 THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS AND SPECIALIST DRAWINGS & SPECIFICATIONS.
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- 1.3 FOR SETTING OUT REFER TO ARCHITECTS DRAWINGS.
- 2.0 EXISTING SERVICES
- 2.1 SERVICE MEDIA INDICATED IS BASED ON INFORMATION AVAILABLE TO DATE & IS REPRODUCED IN GOOD FAITH. NO RESPONSIBILITY CAN BE ACCEPTED FOR THE LOCATION OF UNKNOWN SERVICES NOT INDICATED.
- 2.2 STATUTORY SERVICES INDICATED (PRIOR TO ANY WORKS TAKING PLACE) ARE FOR INFORMATION PURPOSES ONLY AND MUST BE CONFIRMED.
- 2.3 IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT EXISTING SERVICE MEDIA AFFECTED BY THE PROPOSED WORKS.
- 2.4 ANY EXISTING DRAINAGE ON SITE IS TO BE INVESTIGATED/SURVEYED AND AS FOUND TO BE NECESSARY EITHER MAINTAINED, DIVERTED OR ABANDONED (SUBJECT TO APPROVAL OF THE SEWAGE UNDERTAKER).
- 3.0 PRIVATE DRAINAGE
- 3.1 VITRIFIED CLAY DRAINAGE GOODS TO BE NEWPORT SUPERSLAVE OR SIMILAR TO BS 6901. PLASTIC DRAINAGE GOODS TO BE NEWPORT PLASTIDRAIN SUPERSEVERAN OR SIMILAR, STRENGTH CLASS 3 ACCORDING TO BS 5955. ALL DRAINAGE TO BE 150mm DIA UNLESS OTHERWISE INDICATED.
- 3.2 DRAINAGE BENEATH SOFT LANDSCAPING WITH LESS THAN 60mm COVER TO BE CONCRETE ENCASED. DRAINAGE BENEATH ROADS/PARKING WITH LESS THAN 150mm COVER TO BE CONCRETE ENCASED.
- 3.3 DRAINS WHICH ARE CONCRETE ENCASED TO HAVE 18mm FIBREBOARD OR POLYSTYRENE JOINTS AT 5m (MAX) CENTRES.
- 3.4 FOR TRADITIONAL FOUNDATION CONSTRUCTION
- 3.4.1 ANY DRAINAGE WHOSE EXCAVATION IS LOWER THAN THE UNDERSIDE OF ADJACENT FOUNDATION IS TO BE CONCRETE ENCASED UP TO THE LEVEL OF THE UNDERSIDE OF THE FOUNDATION.
- 3.4.2 ANY DRAINAGE WHOSE EXCAVATION IS LOWER THAN THE UNDERSIDE OF ADJACENT FOUNDATION IS TO BE CONCRETE ENCASED UP TO A LEVEL 100mm BELOW THE UNDERSIDE OF THE FOUNDATION (WHERE X IS THE HORIZONTAL DISTANCE FROM THE FACE OF FOUNDATION TO THE EDGE OF THE DRAINAGE EXCAVATION).
- 3.5 FOR VIBRO IMPROVED GROUND SUPPORTING STRAP FOOTINGS
- 3.5.1 WHERE DRAINAGE IS LOCATED LESS THAN 10m FROM AN ADJACENT FOUNDATION AND AT A GREATER DEPTH THAN THE VIBRO FORMATION LEVEL, THE ADJACENT FOUNDATION IS TO BE EXTENDED DOWN TO THE INVERT OF THE DRAINAGE.
- 3.5.2 WHERE DRAINAGE IS LOCATED MORE THAN 10m FROM AN ADJACENT FOUNDATION AND AT A GREATER DEPTH THAN THE VIBRO FORMATION LEVEL, THE ADJACENT FOUNDATION IS TO BE EXTENDED DOWN TO A LEVEL 100mm ABOVE THE INVERT OF THE DRAINAGE (WHERE X IS THE HORIZONTAL DISTANCE FROM THE FACE OF FOUNDATION TO THE EDGE OF THE DRAINAGE EXCAVATION).
- 3.6 ALL SURFACE WATER DRAINS TO BE MINIMUM 100mm DIA AT MINIMUM 1:100 GRADIENT UNLESS ALL FLOOR WATER DRAINS TO BE MINIMUM 100mm DIA AT MINIMUM 1:40 GRADIENT UNLESS A TOILET IS LOCATED UPSTREAM WHERE MINIMUM GRADIENT SHOULD BE 1:80.
- 3.7 COVER LEVELS ARE APPROXIMATE AND TO BE VERIFIED ON SITE.
- 3.8 INTERNAL INSPECTION CHAMBERS TO BE PROVIDED WITH DOUBLE SEAL AIR TIGHT SCREW DOWN COVERS.
- 3.9 POLYPROPYLENE ICES TO INCLUDE 100mm (MIN) CONCRETE BURROUND WHEN LOCATED IN ROADWAYS (SEE DETAILS).
- 3.10 PIPES DEEPER THAN 1.2m TO HAVE REDUCED ACCESS (RA) COVER -SS80.
- 4.0 ADOPTABLE DRAINAGE (UNITED UTILITIES)
- REFER TO DRAWING 220103.
- 5.0 LINEAR DRAINAGE SYSTEM
- 5.1 THE LINEAR DRAINAGE SYSTEM SHALL BE BRICOL (SEE DRAWING FOR DETAILS). MANUFACTURED IN PRE-CAST CONCRETE, WITH THE EXCEPTION OF CERTAIN FITMENTS MANUFACTURED IN STEEL OR CAST IRON, AND INSTALLED IN ACCORDANCE WITH MARSHALLS STANDARD DETAIL SHEETS.
- 5.2 THE LINEAR DRAINAGE SHALL BE A TWO PART SYSTEM CONSISTING OF STEEL OR CAST IRON GRATING OR COVERS BOLTED TO PRE-CAST CONCRETE DRAINAGE CHANNELS. DRAINAGE CHANNELS TO COMPILE CONSTANT DEPTH AND INBUILT FALL UNITS AS REQUIRED TO SATISFY THE WORKABLE DESIGN.
- 5.3 ALL COMPONENTS OF THE MARSHALLS BRICOL SYSTEM SHALL COMPLY WITH LOAD CLASSIFICATION D400 IN ACCORDANCE WITH BS EN 1433:2002.
- 5.4 THE LINEAR DRAINAGE SYSTEM COMPRISING GRATING/COVERS, CONSTANT DEPTH AND INBUILT FALL CHANNELS, OUTFALLS, JUNCTION CHANNELS, END CAPS, GAP OUTLETS, AND SEALANTS SHALL BE INSTALLED TO THE LINE AND LEVELS INDICATED IN THE CONTRACT DOCUMENTS AND IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND STANDARD DETAILS.
- 5.5 BRICOL OUTFALLS TO BE 150mm DIA UNLESS OTHERWISE STATED IN TWO SECTIONS WITH UNIFORM FIT SEAL AND STOPPER INCLUDED. OUTFALL SECTIONS TO BE BEDED USING MARSHALLS POLYURETHANE SEALANT.
- 5.6 MARSHALLS VERTICAL JOINT SEALANT, M-SEAL, SHALL BE APPLIED TO ALL VERTICAL JOINTS OF THE CHANNEL.

8 27/05/26 JSD LAYOUT AND DRAINAGE UPDATED.
14 17/05/26 JSD LAYOUT AND DRAINAGE UPDATED.

REV	DATE	BY	DESCRIPTION
1		JSD	LAYOUT AND DRAINAGE UPDATED.

PURPOSE OF ISSUE: PRELIMINARY

CLIENT: EDGEFOLD HOMES

PROJECT: SPRINGSIDE ROAD, WALMERSLEY, BURY

TITLE: EXTERNAL WORKS G.A. - PLOT DRAINAGE

J292 / 109 B

Drawn: JSD, Checked: MD, Scale: 1:100, Date: DEC 2025

Email: info@DandDconsulting.co.uk
Web: www.DandDconsulting.co.uk
Tel: 07884 975243 (J. Dickinson)
07884 930577 (M. Gwynne)

DandD
consulting engineers

D and D Consulting Engineers Ltd
Laybourn Business Centre, 45 Middle Hillgate, Stockport SK1 3DG

ACCESS FITTINGS/CONNECTIONS

STORMWATER	FOULWATER
RW ■ RAINWATER PIPE (LINO)	FG ■ FLOOR GULLY
RG ■ ROAD GULLY	BIG ■ BACK INLET GULLY
YD ■ YARD GULLY	SP ■ SOL PIPE
RE ■ ROADWAY	SVP ■ SOL VENT PIPE
WC ■ WASTE OUTLET	WO ■ WASTE OUTLET

DRAINAGE RUNS (Existing Private/Public & Proposed Private)

EX 1500/90 ■ Existing Stormwater Drainage

EX 1500/75 ■ Existing Foulwater Drainage

EX 1500/90 ■ Existing Combined Sewer

NEW 1500/90 ■ NEW Stormwater Drainage

NEW 1500/75 ■ NEW Foul Drainage

NEW 1500/75 ■ NEW Combined Drainage

NEW 1500/75 ■ NEW Filter Drainage

MANHOLES & INSPECTION CHAMBERS

F= Foulwater, S= Stormwater, C= Combined

CONCRETE MANHOLE RINGS (Type B or E) - BD indicates 'Back Drop'

RECTANGULAR BRICK OR CONCRETE MANHOLES (Type C or D)

POLYPROPYLENE INSPECTION CHAMBER (PPIC) - REDUCED ACCESS (RA) PIPES

MINI ACCESS CHAMBER (MINI AC)

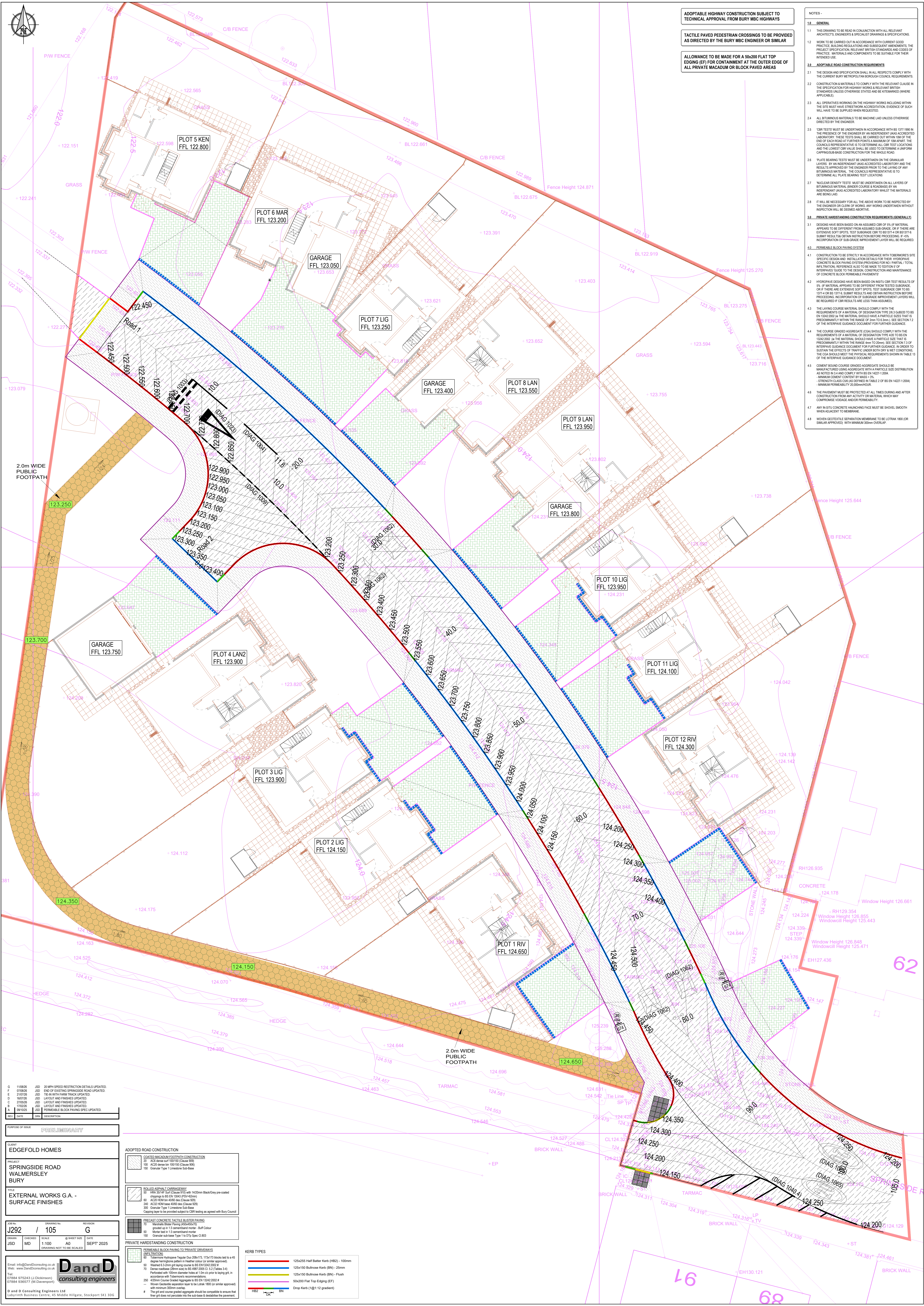
GENERAL

PROPOSED LEVELS

PROPOSED HARDSTANDING GRADIENTS

SLOPE CHANGE (in RIDGE, VALLEY or FOLD)

MH No	MANHOLE TYPE	COVER TYPE	COVER LEVEL (m)	INVERT LEVEL (m)	DEPTH TO SOFFIT (m)	EASTING (m)	NORTHING (m)
S1	OUTFALL	D400	118.000	118.000	0.000	380116.928	413715.944
S2	1500	Type C	119.520	118.320	1.200	380125.014	413714.624
S3	2400	CONTROL	121.000	118.650	2.350	380094.896	413675.580
S4	2100	Type B	122.840	119.400	3.440	380145.285	413615.947
S5	2100	Type B	122.480	119.650	2.830	380158.807	413622.080
S6	1500	Type B	123.714	121.700	2.014	380189.858	413591.455
S7	1200	Type B	124.528	122.700	1.828	380205.189	413592.720

[illegible]

D and D
consulting engineers

D and D Consulting Engineers Ltd
Labyrinth Business Centre, 45 Middle Hillgate, Stockport SK1 3DG

PRIVATE HANDSTANDING CONSTRUCTION

PERMEABLE BLOCK PAVING TO PRIVATE DRIVEWAYS (INFILTRATION)

- 60 Tobemore Hydropave Tegular Duo 206x173, 173x173 blocks laid to a 45 degree herringbone pattern in Heather colour (or similar approved).
- 50 Washed 3-6mm grit laying course to BS EN 12424:2002 #
- 200 Dense roadbase (BS EN 12620:2002 Class 5, S.2, Tables 4-5)
- Perforated with 150mm diameter holes at 100 mm prior to laying grit, in accordance with Tobemore's recommendations.
- 250 40/20mm Class Aggregate layer to BS EN 12424:2002 #
- # Woven Geotextile separation layer to be Lutrah 1600 (or similar approved) to maintain minimum 30mm cover over geotextile.
- # The grit and coarse graded aggregate should be compacted to ensure that finer grit does not percolate into the sub-base & destabilise the pavement.

KERB TYPES

	125x255 Half Batten Kerb (HB2) - 100mm
	125x150 Bulbnose Kerb (BN) - 25mm
	125x150 Bulbnose Kerb (BN) - Flush
	50x200 Flat Top Edging (EF)
	Drop Kerb (1@1:12 gradient)



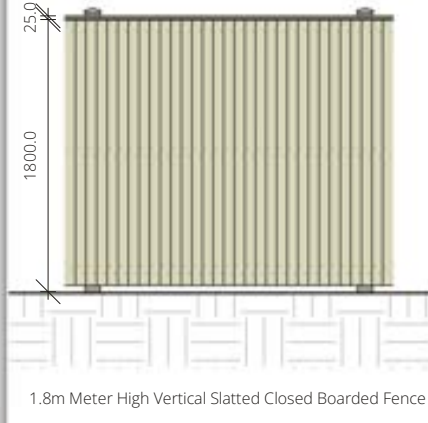
Existing Boundary Notes

- A > B No Physical Boundary
- B > C No Physical Boundary
- C > D 1.8m Meter High Vertical Slatted Closed Boarded Fence
- D > E No Physical Boundary
- E > F No Physical Boundary
- F > A Existing Hedge Row with 900mm Post and Wire Fence on Boundary Side

Proposed Boundary Notes

- A > B No Physical Boundary - As Existing
- B > C No Physical Boundary - As Existing
- C > D 1.8m Meter High Vertical Slatted Closed Boarded Fence - to be Retained
- D > E Newly Proposed 1.8m Meter High Vertical Slatted Closed Boarded Fence to Tie into and Match Existing
- E > F No Physical Boundary - As Existing
- F > A Existing Hedge Row to be Retained with 900mm Post and Wire Fence to be Removed and Replaced with 1.8m Meter High Vertical Slatted Closed Boarded Fence

Proposed Boundary Treatment Detail



Accommodation Schedule							
House Type	Building Type	Bedrooms	GIFA m ²	GIFA ft ²	Count	Total GIFA m ²	Total GIFA ft ²
Kenyon (Bay)	Detached	4	127.37	1371.00	1	127.37	1371.00
Lancaster	Detached	5	173.75	1870.23	2	347.50	3740.46
LancasterTwo	Detached	5	191.44	2060.64	1	191.44	2060.64
Lightshaw	Detached	3	109.07	1174.02	5	545.35	5870.09
Marley	Detached	4	132.55	1426.75	1	132.55	1426.75
Rivinton	Detached	3	105.12	1131.50	2	210.24	2263.00
					12	1554.45	16731.94

0m2m5m10m
Scale = 1 : 200

Site Plan Legend and Key

Car Charging Input Location

Electric Meter Box Location

Gas Meter Box Location

Bin Store Location - Size and Colour as Per Local Authority's Requirements

200L Water Butt Location

7' X 5' Garden Shed

External Gate for Rear Garden Access Minimum 775mm Clear Opening Width

1200mm x 1200mm Level Landing Shown at a Minimum of 1No. Entrance [ADMA(2) 2.2a]

900mm Min. Clear Width Approach Route [ADMA(1) 1.6c&d]

900mm Min. Clear Width Bin Dragging Route

Indicative Planting Areas - Less than 600mm in Height Where Adjacent to Parking Spaces

S: 11/08/2025: Speed Cushions Added & Other Highway Notations

R: 28/01/2025: Minor Amendment

Q: 11/01/2025: Minor Update Following Information from Engineer

P: 24/06/2024: Footpath to Back of Plots 1-4 Updated to Show Curve & 62 Springside Road's Parking Corridor

O: 22/06/2024: End of Road Altered, Plot 5 Parking Rearranged

N: 14/05/2024: Plot 4 Reconfigured

M: 06/05/2024: General Site Arrangement, Plot Sweeps and House Type Mix Change in Association with Comments from Planning

L: 29/03/2024: Access Road Updated to Match Approved Access Plan and Plots Swept Out for Smaller Units

K: 08/03/2024: Public Footpath & Plot 5 Parking Arrangement Updated

J: 29/02/2024: Minor Update to Plot One

I: 12/02/2024: Landscaping Update to Front of Plots

H: 11/02/2024: Minor Amendments

G: 27/01/2024: Drainage Compound Size Updated, Turning Head Widened to 6.75m

F: 19/01/2024: Road Width Widened to 6.75m Throughout Site

E: 10/10/2024: Water Butts Shown

D: 24/09/2024: Various Changes Following Client Design Review Updated to MAQ3 Standards

C: 28/08/2024: Road End Correction & House Locations Adjusted

B: 27/08/2024: Minor Amendments

A: 22/08/2024: First Issue

Rev: Date: Notes

DRAWING NUMBER

J1192-WS-PL102 S

ISSUE

DRAWING TITLE

Proposed Site Plan

PROJECT

Springside Road, Walmsley

CLIENT

Edgefold Homes Ltd.

JOB NUMBER

1192

DATE

Aug '25

SCALE

1 : 200

SIZE

A1

INFORMATION

MANOR

ARCHITECTURE

Manor Architecture Ltd.

Blotters Hall, Boddens Park,

Chalfont St Giles, Bucks, MK16 6ES

Tel: 01595 740 520

Email: info@manorarchitecture.co.uk

Web: www.manorarchitecture.co.uk

CIAT

Chartered Institute of Architectural Technicians

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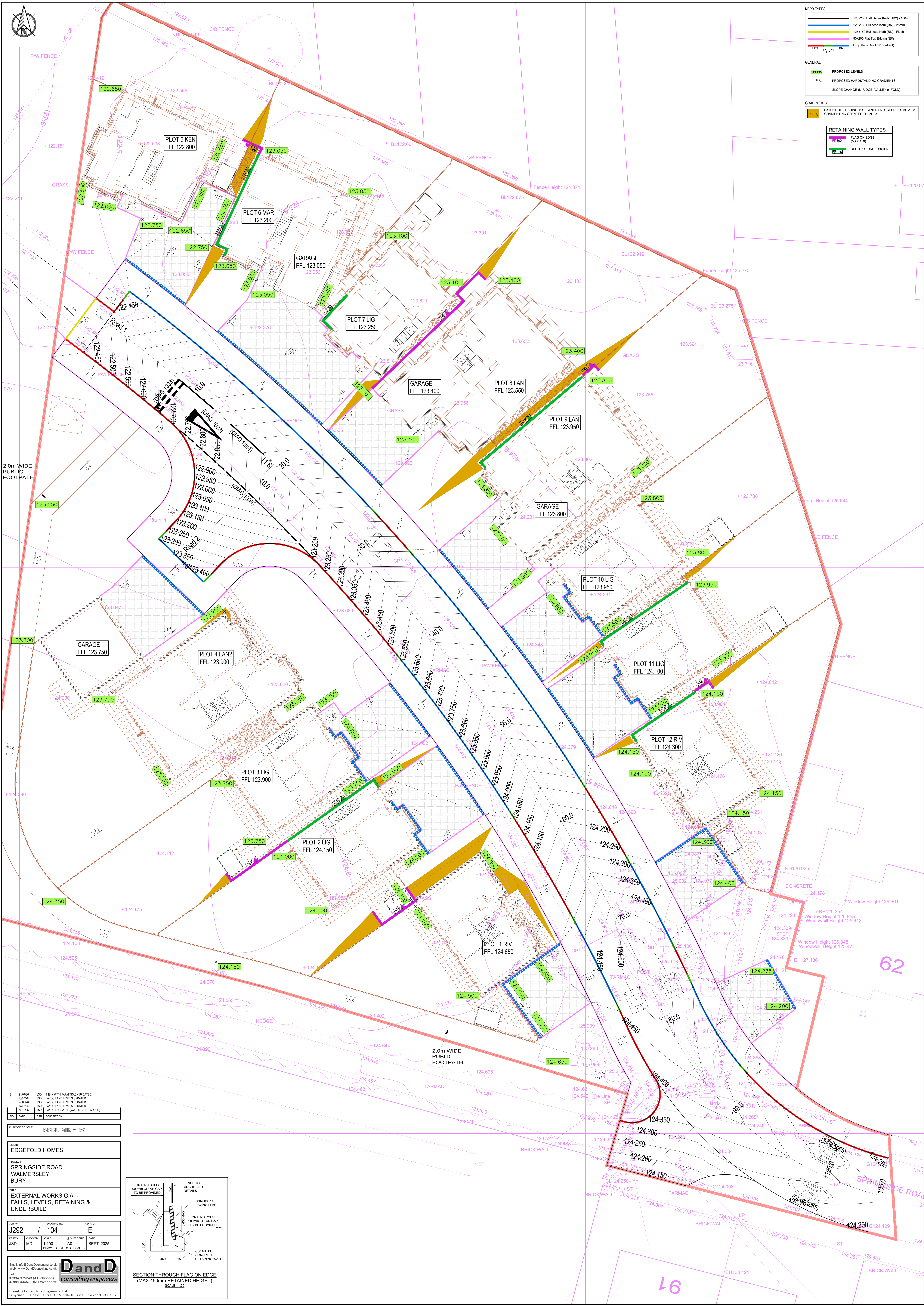
All Survey Data, Dimensions, Accuracies, Levels, etc. are the responsibility of the Client. Manor Architecture Ltd. is not responsible for any errors or omissions in this drawing. It is the responsibility of the Client to ensure that all information is correct and up to date. Manor Architecture Ltd. is not responsible for any errors or omissions in this drawing. It is the responsibility of the Client to ensure that all information is correct and up to date.

Any Variation Between Drawing and Site Conditions is to be Reported to the Client Immediately. All Contractors Must read the Site And Area Safety Responsible For Taking And Checking All Dimensions Related To The Work They are Required To Carry Out.

This Drawing Must Not Be Used On Site Unless Issued For Construction.



-		-	Drawn By:	Date:	Client Name:	Drawing Title:	Drawing No.	SCP an RSK company Office of Origin: Manchester Tel: 0161 832 4400 www.scptransports.co.uk - www.rskgroup.com
C	NEW SITE LAYOUT UNDERLAND	22.07.26	EK	LD	08.06.2026	EDGEFOLD HOMES LIMITED	SCP/250466/ATTR02	
B	NEW SITE LAYOUT UNDERLAND	24.06.26	EK	Checked:	Scale@A3:	SWEPT PATH ANALYSIS – PROPOSED SITE LAYOUT		
A	NEW SITE LAYOUT UNDERLAND AND UPDATED SWEPT PATHS	24.06.26	EK	CT	1:500			
Rev	Description	Date	By	Approved:	Status:			
REVISIONS				CT	PLANNING	SPRINGSIDE ROAD, BURY	Rev. C	



KERB TYPES

- 125x255 Half Batten Kerb (HB2) - 100mm
- 125x150 Bulbnose Kerb (BN) - 25mm
- 125x150 Bulbnose Kerb (BN) - Flush
- 50x200 Flat Top Edging (EF)
- HB2
- BN
- Drop Kerb (181-112 graders)

GENERAL

- PROPOSED LEVELS
- PROPOSED HARDSTANDING GRADIENTS
- SLOPE CHANGE (a RIDGE, VALLEY or FOLD)

GRADING KEY

- EXTENT OF GRADING TO LAWNNED / MULCHED AREAS AT A GRADIENT NO GREATER THAN 1:3

RETAINING WALL TYPES

- FLAG ON EDGE (MAX 450)
- DEPTH OF UNDERBUILD

E	21/07/26	JSD	TEAL WITH FARM TRACK UPDATED
D	16/07/26	JSD	LAYOUT AND LEVELS UPDATED
C	27/06/26	JSD	LAYOUT AND LEVELS UPDATED
B	17/02/26	JSD	LAYOUT AND LEVELS UPDATED
A	30/10/25	JSD	LAYOUT UPDATED (WATER BUTTS ADDED)

REV	DATE	BY	DESCRIPTION

PURPOSE OF ISSUE

PRELIMINARY

CLIENT

EDGEFOLD HOMES

PROJECT

SPRINGSIDE ROAD
WALMERSLEY
BURY

**EXTERNAL WORKS G.A. -
FALLS, LEVELS, RETAINING &
UNDERBUILD**

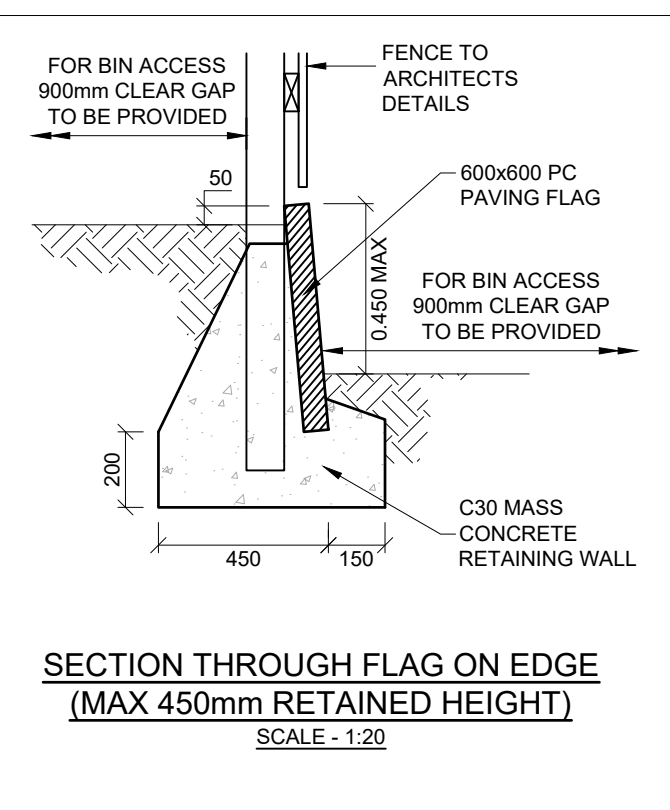
JOB NO.	DRAWING NO.	REVISION
J292	/ 104	E

DRAWN	CHECKED	SCALE	SHEET SIZE	DATE
JSD	MD	1:100	A0	SEPT' 2025

Email: info@danddconsulting.co.uk
Web: www.danddconsulting.co.uk
Tel: 07884 976243 (J. Dickinson)
07884 636577 (M. Downes)

DandD
consulting engineers

D and D Consulting Engineers Ltd
Laburnum Business Centre, 45 Middle Hillgate, Stockport SK1 3DG





BRIEFING

21

62

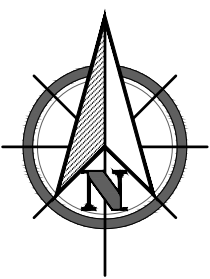


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From The Figured Dimension
Scale From The Drawing

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Instruction.

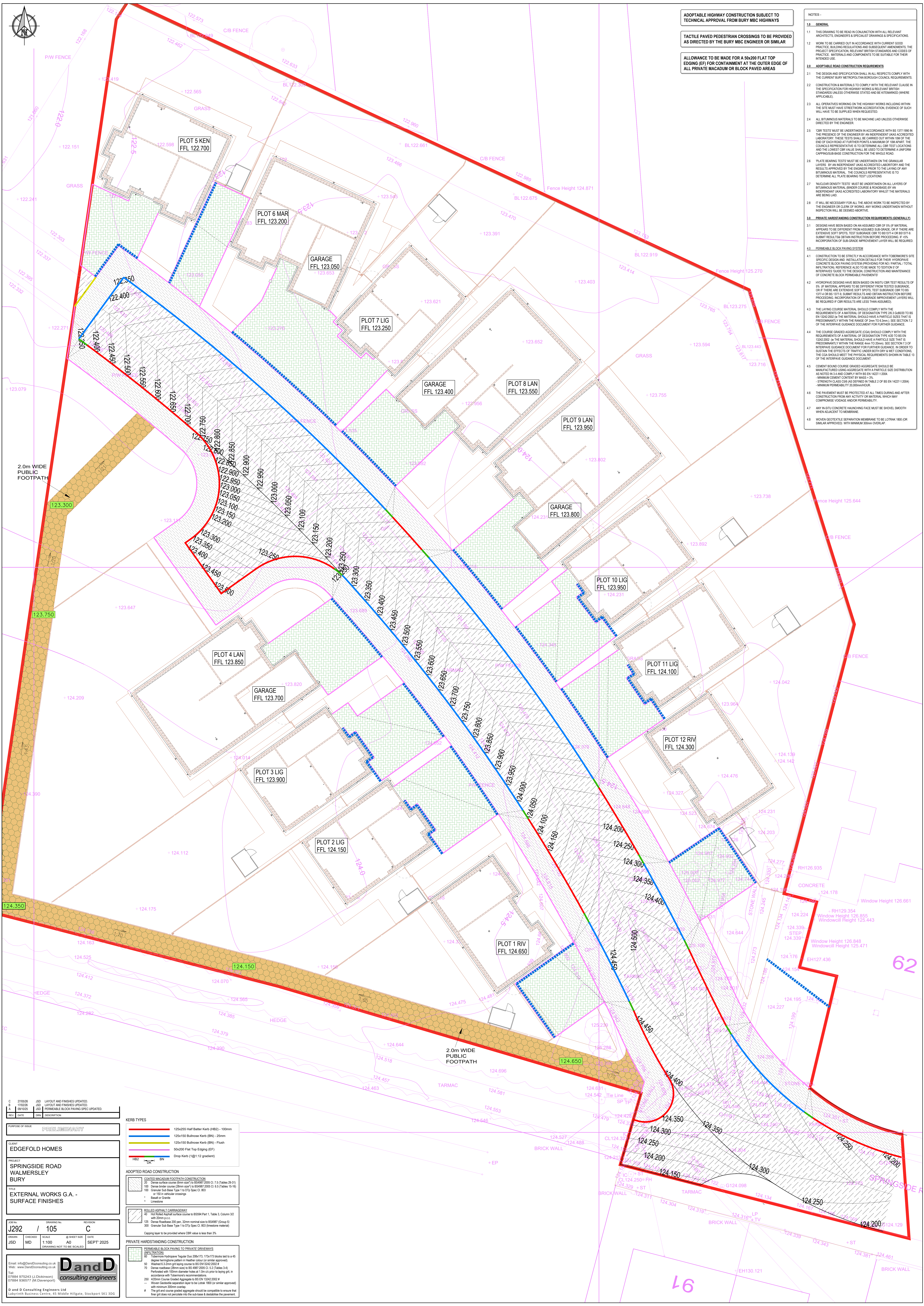


ADOPTABLE HIGHWAY CONSTRUCTION SUBJECT TO
TECHNICAL APPROVAL FROM BURY MBC HIGHWAYS

TACTILE PAVED PEDESTRIAN CROSSINGS TO BE PROVIDED
AS DIRECTED BY THE BURY MBC ENGINEER OR SIMILAR

ALLOWANCE TO BE MADE FOR A 50x200 FLAT TOP
EDGING (EF) FOR CONTAINMENT AT THE OUTER EDGE OF
ALL PRIVATE MACADAM OR BLOCK PAVED AREAS

- NOTES -
- 1.0 GENERAL
- 1.1 THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS & SPECIALIST DRAWINGS & SPECIFICATIONS
- 1.2 WORK TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOOD PRACTICE, BUILDING REGULATIONS AND SUBSEQUENT AMENDMENTS, THE PROJECT SPECIFICATION, RELEVANT BRITISH STANDARDS AND CODES OF PRACTICE. MATERIALS AND COMPONENTS TO BE SUITABLE FOR THEIR INTENDED USE.
- 2.0 ADOPTABLE ROAD CONSTRUCTION REQUIREMENTS
- 2.1 THE DESIGN AND SPECIFICATION SHALL IN ALL RESPECTS COMPLY WITH THE CURRENT BURY METROPOLITAN BOROUGH COUNCIL REQUIREMENTS.
- 2.2 CONSTRUCTION MATERIALS TO COMPLY WITH THE RELEVANT CLAUSE IN THE SPECIFICATION FOR HIGHWAY WORKS A RELEVANT BRITISH STANDARD UNLESS OTHERWISE STATED AND BE IDENTIFIED (WHERE APPLICABLE).
- 2.3 ALL OPERATIVES WORKING ON THE HIGHWAY WORKS INCLUDING WITHIN THE SITE MUST HAVE STREETWORK ACCREDITATION EVIDENCE OF SUCH WILL HAVE TO BE SUPPLIED WHEN REQUESTED.
- 2.4 ALL BITUMINOUS MATERIALS TO BE MACHINE LAD UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 2.5 'CBR TESTS' MUST BE UNDERTAKEN IN ACCORDANCE WITH BS 1377:1990 IN THE PRESENCE OF THE ENGINEER BY AN INDEPENDENT UKAS ACCREDITED LABORATORY. THESE TESTS SHALL BE CARRIED OUT WITHIN 100M OF THE END OF EACH ROAD AT FURTHER POINTS A MAXIMUM OF 10M APART. THE COUNCIL'S REPRESENTATIVE IS TO DETERMINE ALL CBR TEST LOCATIONS AND THE LOWEST CBR VALUE SHALL BE USED TO DETERMINE A UNIFORM CARPINGS/PAVEMENT CONSTRUCTION FOR THE WHOLE ROAD.
- 2.6 'PLATE BEARING TESTS' MUST BE UNDERTAKEN ON THE GRANULAR LAYERS BY AN INDEPENDENT UKAS ACCREDITED LABORATORY AND THE RESULTS APPROVED BY THE ENGINEER PRIOR TO THE LAYING OF ANY BITUMINOUS MATERIAL. THE COUNCIL'S REPRESENTATIVE IS TO DETERMINE ALL 'PLATE BEARING TEST' LOCATIONS.
- 2.7 'NUCLEAR DENSITY TESTS' MUST BE UNDERTAKEN ON ALL LAYERS OF BITUMINOUS MATERIAL (BINDER COURSE & ROADBASE) BY AN INDEPENDENT UKAS ACCREDITED LABORATORY UNLESS THE MATERIALS ARE BEING LAD.
- 2.8 IT WILL BE NECESSARY FOR ALL THE ABOVE WORK TO BE INSPECTED BY THE ENGINEER OR CLERK OF WORKS. ANY WORK UNDERTAKEN WITHOUT INSPECTION WILL BE REJECTED AND/OR FURTHER WORK WILL BE REQUIRED.
- 3.0 PRIVATE HARDSTANDING CONSTRUCTION REQUIREMENTS (GENERALLY)
- 3.1 DESIGNS HAVE BEEN BASED ON AN ASSUMED CBR OF 5% IF MATERIAL APPEARS TO BE DIFFERENT FROM ASSUMED SUB-GRADE, OR IF THERE ARE EXTENSIVE SOFT SPOTS. TEST GUIDANCE CBR TO BS1377-4 OR BS1377-4 SUBMIT RESULTS AND OBTAIN INSTRUCTION BEFORE PROCEEDING. INCORPORATION OF SUB-GRADE IMPROVEMENT LAYERS WILL BE REQUIRED IF CBR RESULTS ARE LESS THAN ASSUMED.
- 4.0 PERMEABLE BLOCK PAVING SYSTEM
- 4.1 CONSTRUCTION TO BE STRICTLY IN ACCORDANCE WITH TOLBROOK'S SITE SPECIFIC DESIGN AND INSTALLATION DETAILS FOR THEIR HYDROPAVE CONCRETE BLOCK PAVING SYSTEM PROVIDING FOR NO PARTIAL TOTAL INFILTRATION. REFERENCE ALSO TO BE MADE TO EDITION 5 OF INTERPAVE GUIDANCE DOCUMENT FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF CONCRETE BLOCK PERMEABLE PAVEMENTS.
- 4.2 HYDROPAVE DESIGNS HAVE BEEN BASED ON INST/CBR TEST RESULTS OF 5% IF MATERIAL APPEARS TO BE DIFFERENT FROM TESTED SUBGRADE, OR IF THERE ARE EXTENSIVE SOFT SPOTS. TEST GUIDANCE CBR TO BS1377-4 OR BS1377-4 SUBMIT RESULTS AND OBTAIN INSTRUCTION BEFORE PROCEEDING. INCORPORATION OF SUB-GRADE IMPROVEMENT LAYERS WILL BE REQUIRED IF CBR RESULTS ARE LESS THAN ASSUMED.
- 4.3 THE LAYING COURSE MATERIAL SHOULD COMPLY WITH THE REQUIREMENTS OF A MATERIAL OF DESIGNATION TYPE 3B3 G6/0/20 TO BS EN 12424:2002 IN THE MATERIAL SHOULD HAVE A PARTICLE SIZE THAT IS PREDOMINANTLY WITHIN THE RANGE OF 2mm TO 10mm. SEE SECTION 13 OF THE INTERPAVE GUIDANCE DOCUMENT FOR FURTHER GUIDANCE.
- 4.4 THE COURSE GRADED AGGREGATE (G6A) SHOULD COMPLY WITH THE REQUIREMENTS OF A MATERIAL OF DESIGNATION TYPE 4/0 TO BS EN 12424:2002 IN THE MATERIAL SHOULD HAVE A PARTICLE SIZE THAT IS PREDOMINANTLY WITHIN THE RANGE 0.075 TO 4.75mm. SEE SECTION 13 OF THE INTERPAVE GUIDANCE DOCUMENT FOR FURTHER GUIDANCE. IN ORDER TO SUSTAIN THE EFFECTS OF TRAFFIC UNDER DRY & WET CONDITIONS, THE G6A SHOULD MEET THE PHYSICAL REQUIREMENTS SHOWN IN TABLE 13 OF THE INTERPAVE GUIDANCE DOCUMENT.
- 4.5 CEMENT BOUND COURSE GRADED AGGREGATE SHOULD BE MANUFACTURED USING AGGREGATE WITH A PARTICLE SIZE DISTRIBUTION AS NOTED IN 3.4 AND COMPLY WITH BS EN 14227-1:2004 MINIMUM CEMENT CONTENT BY MASS = 3% STRENGTH CLASS C30 (AS DEFINED IN TABLE 2 OF BS EN 14227-1:2004) MINIMUM PERMEABILITY 250mm/HOUR.
- 4.6 THE PAVEMENT MUST BE PROTECTED AT ALL TIMES DURING AND AFTER CONSTRUCTION FROM ANY ACTIVITY OR MATERIAL WHICH MAY COMPROMISE VOIDAGE AND PERMEABILITY.
- 4.7 ANY IN SITU CONCRETE FINISHING SURFACE MUST BE SHOVEL SMOOTH WHEN ADJACENT TO MEMBRANE.
- 4.8 WOVEN GEOTEXTILE SEPARATION MEMBRANE TO BE LOTRAK 1800 (OR SIMILAR APPROVED) WITH MINIMUM 300mm OVERLAP.



C	27/05/26	JSD	LAYOUT AND FINISHES UPDATED
B	17/05/26	JSD	LAYOUT AND FINISHES UPDATED
A	09/10/25	JSD	PERMEABLE BLOCK PAVING SPEC UPDATED
REV	DATE	BY	DESCRIPTION

PURPOSE OF ISSUE: PRELIMINARY

CLIENT: EDGEFOLD HOMES

PROJECT: SPRINGSIDE ROAD, WALMERSLEY, BURY

TITLE: EXTERNAL WORKS G.A. - SURFACE FINISHES

JOB No.	DRAWING No.	REVISION
J292	105	C

CHECKED	SCALE	@ SHEET SIZE	DATE
JSD	MD	1:100	AO

DRAWING NOT TO BE SCALED

SEPT 2025

Email: info@DandDConsulting.co.uk
Web: www.DandDConsulting.co.uk
Tel: 07884 975243 (J. Dickinson)
07884 930577 (M. Caversham)

DandD
consulting engineers

D and D Consulting Engineers Ltd
Laythorn Business Centre, 45 Middle Hillgate, Stockport SK1 3DG

- KERB TYPES
- 125x255 Half Batter Kerb (HB2) - 100mm
 - 125x150 Bullnose Kerb (BN) - 25mm
 - 125x150 Bullnose Kerb (BN) - Flush
 - 50x200 Flat Top Edging (EF)
 - Drop Kerb (1/8" to 1/2" gradient)
- ADOPTED ROAD CONSTRUCTION
- COATED MACADAM FOOTPATH CONSTRUCTION
- 20 Dense surface course (8mm max) to BS4987:2005 C 7.5 (Tables 28-31)
 - 100 Dense binder course (25mm max) to BS4987:2005 C 3.5 (Tables 15-18)
 - 100 Granular Sub Base Type 1 to DTp Spec C1: R03
 - or 150 in wheeled crossings
 - Basecoat or Granite
 - Limestone
- SOLID ASPHALT CARRIAGEWAY
- 20 Hot Rolled Asphalt surface course to BS594 Part 1, Table 3, Column 3/2
 - 40 20mm p.c.c.
 - 125 Dense Roadbase 20/0, 32mm nominal size to BS4987 (Group 5)
 - 300 Granular Sub Base Type 1 to DTp Spec C1: R03 (limestone material)
- Capping layer to be provided where CBR value is less than 3%
- PRIVATE HARDSTANDING CONSTRUCTION
- PERMEABLE BLOCK PAVING TO PRIVATE DRIVEWAYS
- CHECK (1/200)
- 60 100mm Hypropane Tegalite Duo 200x173, 173x173 blocks laid to a 45 degree herringbone pattern in final layer (or similar approved)
 - 50 Washed 6.3-2mm grit laying course to BS EN 12424:2002 #
 - 100 Dense binder course (25mm max) to BS4987:2005 C 3.5 (Tables 15-18)
 - Perforated with 100mm diameter holes at 1.0m centres to laying grid, in accordance with Tolbros's recommendations
 - 250 400mm Course Graded Aggregate to BS EN 12424:2002 #
 - Woven Geotextile separation layer to be Lotrak 1800 (or similar approved) with minimum 300mm overlap
 - The grit and coarse graded aggregate should be compatible to ensure that the grit does not penetrate into the sub-base & destabilise the pavement.

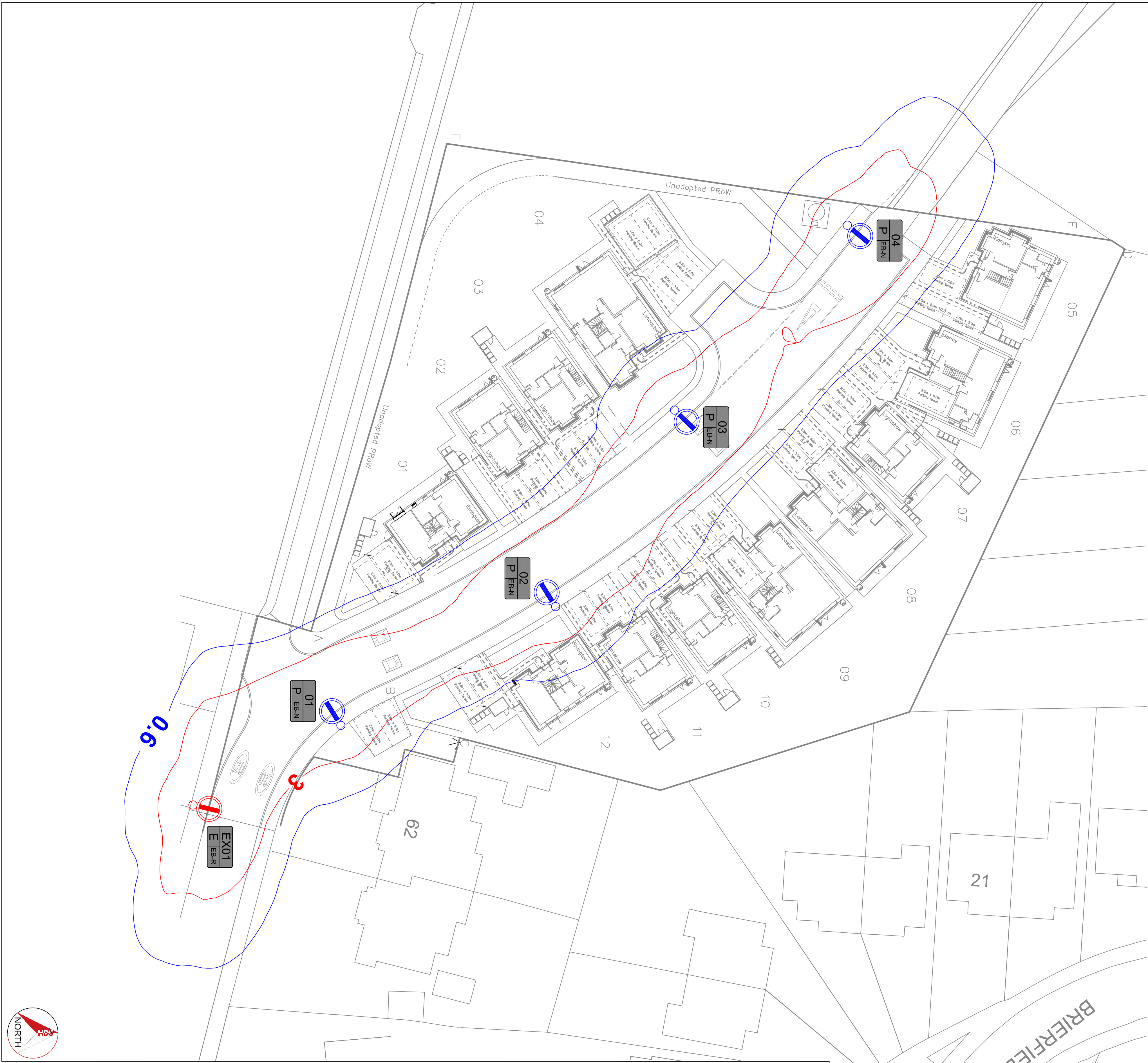


Table A.5 — Lighting classes for subsidiary roads

Traffic flow	Lighting class		
	E1 to E4A)	E1 to E2A)	E3 to E4A)
Pedestrian and cyclists only	Speed limit v ≤ 30 mph	Speed limit v ≤ 30 mph	Speed limit v ≤ 30 mph
Busy B)	P5	P4	P3
Normal C)	P5	P5	P4
Quiet D)	P6	P5	P4

NOTE 1 Table A.5 assumes no parked vehicles; see risk assessment in A.3.3.2.

NOTE 2 An EV lighting class using vertical illuminance, from BS EN 13201-2:2015, Table 6, can be specified in addition to the general lighting class when there are particular concerns about crime and personal safety. EV is calculated at the typical height of a human face (1.5m) and in relevant viewing orientations.

NOTE 3 To ensure adequate uniformity, the actual value of the maintained average illuminance is not to exceed 1.5 times the value indicated for the class.

NOTE 4 The actual overall uniformity of illuminance, U_o, needs to be as high as reasonably practicable (See 7.2.6).

NOTE 5 The ambient luminance descriptions E1 to E4 refer to the environmental zone as defined in ILP GN01 [N2].

NOTE 6 The illuminance classes are suggested minimum levels. A risk assessment needs to be carried out to ensure that the light levels are adequate, particularly for pedestrians and cyclists.

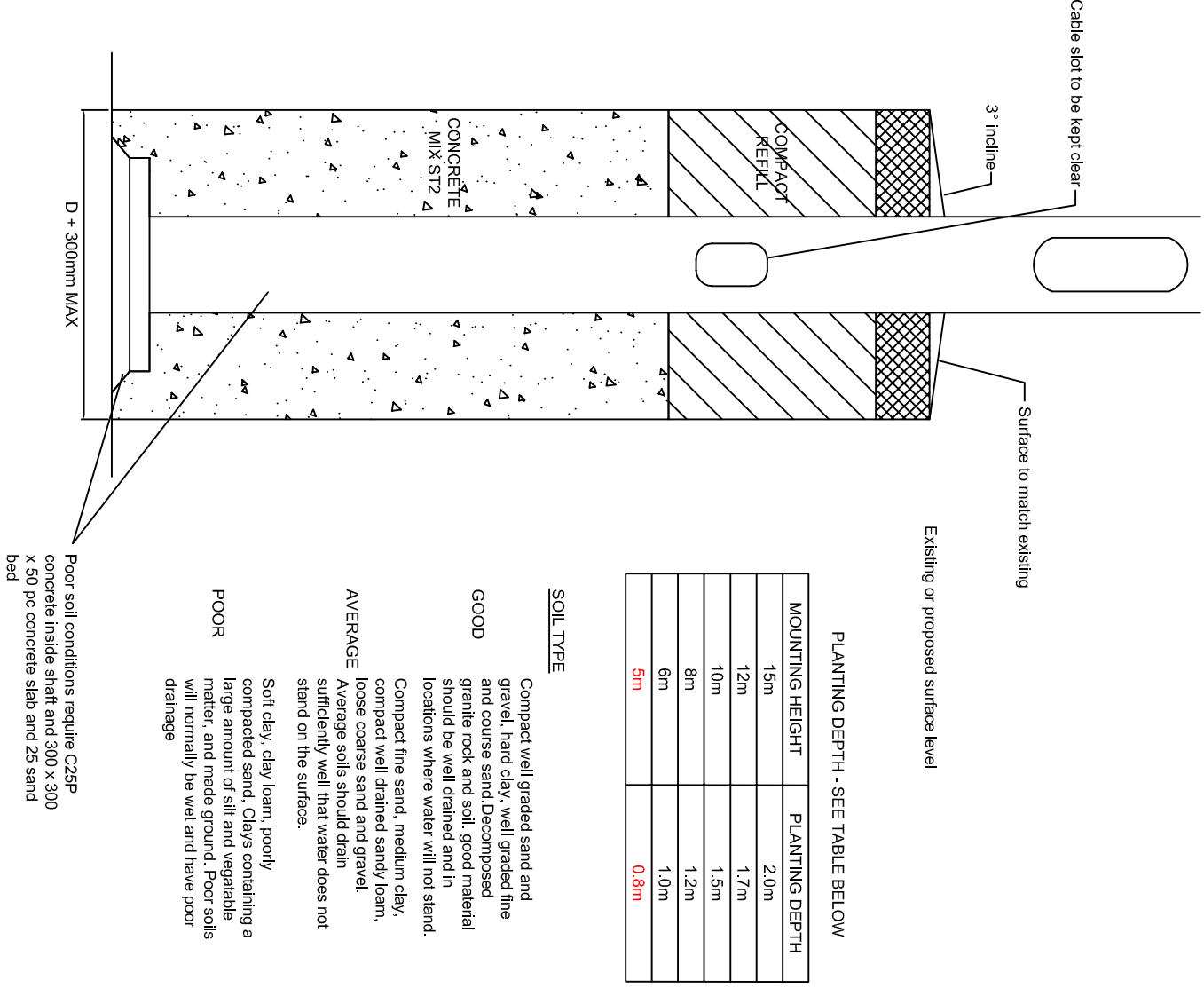
7A) Environmental zone, as given in ILP GN01 [N2].

7b) Busy traffic flow refers to areas where the traffic usage is high and can be associated with local amenities such as clubs, shopping facilities, public houses, etc.

7c) Normal traffic flow refers to areas where the traffic usage is of a level equivalent to a housing estate access road.

7d) Quiet traffic flow refers to areas where the traffic usage is of a level equivalent to a residential road, and is mainly associated with the adjacent properties or properties on other equivalent roads accessed from this road.

Column installation details NTS



Key

- Proposed**
 - Column:** Manufacturer: Mastite Model: Digisheet Micro Type: Tubular Height: 5m
 - Isolux:** Manufacturer: Philips Model: Digisheet Micro Type: Tubular Height: 5m
 - Material:** Concrete
 - Existing**
 - Column:** Manufacturer: Mastite Model: Digisheet Micro Type: Tubular Height: 5m
 - Isolux:** Manufacturer: Philips Model: Digisheet Micro Type: Tubular Height: 5m
 - Material:** Concrete
- Column scheme numbering for existing and proposed equipment**
 - P** = Proposed
 - EB-N** = Proposed DNO / IDNO Connection
 - EB-N** = Existing DNO / IDNO to remain
 - Column numbering to be finalised with the Authoritative Engineer**
- Class P5**
 - 0.6 lux contour line: BS5488-1:2020 Lighting Class P5
 - 3.0 lux contour line: BS5488-1:2020 Lighting Class P5

B	Lamp temperature updated	18/08/26	SS	POL
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A	Lamp Zodiak Cell removed	18/08/26	SS	POL
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REV	DESCRIPTION	DATE	BY/APP
DRAWING NO.	27150-D-01	REV:	B

DRAWING STATUS: DESIGN

CLIENT:



PROJECT: Springside Road, Walmersley Section 38

TITLE:

Proposed Lighting and Installation Design Layout

SCALE: AS INDICATED	DESIGNED BY: TL 10/06/26
SHEET NO: Sheet 1 of 1	APPROVED FOR ISSUE: PDL 12/08/26

CONSULTATION, DESIGN & MANAGE

E: info@hdsighting.com

T: 01625 925 735



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Ward: Ramsbottom

Item 2

Applicant: HOME Park Avenue Ltd

Location: Former Ambulance Station, Cemetery Road, Ramsbottom, Bury, BL0 9PU

Proposal: Demolition of former Ramsbottom Ambulance Station and erection of 3 no. dwellings with associated parking, private gardens and landscaping

Application Ref: 73410/Full

Target Date: 02/09/2026

Recommendation: Approve with Conditions

Description

The application relates to the former Ambulance Station on Cemetery Road. The existing site is occupied by a single storey, flat roof building. The site is accessed from Cemetery Road. Terraced properties are located to the north west of the site fronting Cemetery Road and Hazel Street. Semi-detached, and shorter rows of terraced residential properties are located to the front and the rear of the site. The Cemetery is located to the south east of the site and includes the former Cemetery Lodge which is now a detached residential property.

Planning permission is sought for the demolition of the former Ramsbottom Ambulance Station and the erection of 3 no. detached dwellings. The dwellings would be 2 storey dwellings, with accommodation also provided within the roof space. Parking is proposed to the fronts of the properties, with gardens located to the rear.

The application is partially retrospective in that the demolition works for the former ambulance station have been undertaken during the determination of the planning application.

The application is a resubmission following a refusal at the site for 3no. dwellings. The previous application was refused due to not meeting the required minimum density without justification, design of the dwellings, loss of a TPO tree, lack of information in relation to the proposed air source heat pumps and PV panels reduction in on street parking due to width of the access arrangements proposed.

Relevant Planning History

72695 - Demolition of former Ramsbottom Ambulance Station and erection of 3 no. dwellings with associated parking, private gardens and landscaping - Refused 12/03/2026

Publicity

Letter sent to neighbouring properties 17th July 2026

15 objections received in relation to:

- Lack of existing parking on Cemetery Road. Road is used by residents, cemetery users and funeral attendees.
- Road is in poor condition. Construction traffic would further damage this road.
- The pavement in front of the former ambulance station is needed for residents of the road and visitors.
- Proposed parking is unrealistic and will lead to additional vehicles parking on the street.
- Bolton Road West is a busy main road serving two nearby schools (Woodhey High School and Hazlehurst Primary School).

- Increased traffic and parking demand are considered would increase congestion, impede visibility at the junction with Bolton Road West and create highway safety risks.
- Concerns are expressed regarding access for emergency vehicles, refuse vehicles, gritting vehicles and funeral corteges.
- During demolition works construction and delivery vehicles have obstructed the road.
- Overdevelopment
- Three storey dwellings are out of character with the predominantly two storey properties.
- Detrimental to street scene.
- Concerns that demolition and construction would damage the TPO trees and their root systems.
- Tree protection measures not in place during demolition.
- TPO trees may cause damage to existing properties if not managed correctly.
- Impact on wildlife in adjacent cemetery due to light and noise pollution.
- Local drainage and sewer infrastructure is ageing and could be placed under additional pressure by the development.
- Previous planning application for the site has been refused and the same concerns remain applicable.
- Concerns regarding the timing of demolition works relative to the planning application process

Statutory/Non-Statutory Consultations

Traffic Section - Comments awaited

Waste Management - No response

Drainage Section - SuDs condition requested.

Greater Manchester Ecology Unit - The main considerations for this application are bats, nesting bird and biodiversity net gain. All can be covered by either informative or condition text.

Environmental Health - Contaminated Land - The site currently comprises a ambulance station. Whilst a Desk Study and Preliminary Risk Assessment was submitted, it was found to be insufficient. As such conditions in relation to the submission of a site characterisation and risk assessment, remediation strategy and verification, unexpected contamination and imported soil are requested.

United Utilities (Water and waste) - Guidance given in relation to drainage, United Utilities property, assets and infrastructure and water efficiency in new development which have been published on the website and will be included as an informative.

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions

Development Plan and Policies

EN1/2	Townscape and Built Design
EN6/3	Features of Ecological Value
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8/1	Tree Preservation Orders
EN8/2	Woodland and Tree Planting
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development

HT2/4	Car Parking and New Development
JP-H1	Scale of New Housing Development
JP-H3	Type, Size and Design of New Housing
JP-H4	Density of New Housing
JP-G8	A Net Enhancement of Biodiversity and Geodiversity
JP-G7	Trees and Woodland
JP-P1	Sustainable Places
JP-C2	Digital Connectivity
JP-C5	Streets For All
JP-C6	Walking and Cycling
JP-C8	Transport Requirements of New Development
JP-S2	Carbon and Energy
JP-S4	Flood Risk and the Water Environment
JP-S1	Sustainable Development
JP-S5	Clean Air
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Residential)

The National Planning Policy Framework (NPPF) (August 2026) is a material planning consideration in planning decisions.

NPPF Policy S3 - Presumption in favour of Sustainable Development sets out the presumption in favour of development and distinguishes between development within settlements and development outside settlements.

This application is within a settlement, therefore NPPF Policy S4 - Principle of Development within Settlements applies. This states that development proposals within settlements should be approved unless the benefits of doing so would be substantially outweighed by any adverse effects, when assessed against the national decision-making policies in the Framework.

NPPF Policy HO7 gives substantial weight to the benefits of providing homes which will contribute towards meeting the evidenced accommodation needs of the community.

NPPF Annex D paragraph 8 states that local planning authorities should identify and update annually a supply of specific deliverable sites to provide a minimum of five years' worth of housing, with an appropriate buffer. The supply of housing must be assessed against the housing requirement set out in the development plan where this is less than five years old.

The joint Places for Everyone Plan was adopted with effect from 21 March 2024 and sets the up-to-date housing requirement for Bury against which the deliverable supply of housing land must be assessed. PfE Policy JP-H1 sets the following stepped targets for Bury:

- 246 homes per year from 2022-2025;
- 452 homes per year from 2025-2030; then
- 520 homes per year from 2030-2039.

The buffer applicable to the five year supply assessment is based on NPPF Annex D paragraph 9. In Bury's case, a 5% buffer is required in accordance with paragraph 9c.

A 20% buffer is no longer required because:

- the latest Housing Delivery Test result exceeds 85% (NPPF Annex D paragraph 9b: 2025 result = 114%); and
- the collective PfE requirement for all 9 PfE districts exceeds 80% of the LHN for those 9 districts (NPPF Annex D paragraph 9c: 10,305 PfE target against LHN of 12,470 = 83%).

The Council has carried out an assessment of the housing land supply to determine whether sites meet the deliverability tests in the NPPF and can contribute to the five year supply of housing land. Based on the 2025 5-year supply, a supply of 2,231 homes has been identified for the period from 2025-2030. This is set against a requirement for 2,270 homes (including a 5% buffer and having taken account of past over delivery). The Council can therefore demonstrate a 4.9 year supply of housing land including a 5% buffer (or 4.7 years if past over delivery is excluded). There is therefore currently a slight shortfall in the five year supply against the adopted housing requirement. Whilst the proposal is only for 3 dwellings, it would nevertheless make a small positive contribution to the housing land supply, which weighs in favour of the application.

The site is located within a settlement and outside of the Green Belt. As such the proposal is considered to be acceptable in principle unless the benefits of doing so would be substantially outweighed by any adverse effects. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policies S3 and HO7 of the NPPF.

Design and Layout

PfE Policy JP-H4 - Requires new housing development to be delivered at a density appropriate to the location, reflecting the relative accessibility of the site by walking, cycling and public transport and the need to achieve efficient use of land and high quality design. Policy JP-H4 sets out minimum densities that should be considered. Therefore in accordance with Policy JP-H4 regard should be had to a minimum net residential density of 35 dwellings per hectare at this site. The application form states the site is 950 square metres or 0.095 hectares. The developable area of the site is 850 square metres or 0.085 hectares. Based on 3no. properties this would lead to a density of 35 dwellings per hectare which would comply with minimum density.

It is noted that the previous application was refused for failure to make efficient use of land in relation to the minimum density requirements at the site. The previous application sought to remove TPO tree T9, which increased the developable area that could be utilised. This proposal seeks to retain both TPO trees on site namely T8 and T9 and as such there is a site specific constraint, that reduces the space on the site that can be developed.

UDP Policies H2/1 and H2/2 provide the assessment criteria for detailed matters relating to height, appearance, density and character, aspects and finishing materials for new

residential developments. Policy EN1/2 seeks to ensure that development proposals would not have a detrimental effect on the visual amenity and character of a particular area. PfE Policy JP-P1 seeks to create a city region that consists of a series of beautiful, healthy and varied places. High quality design is fundamental to achieving this. PfE Policy JP-H3 seeks to provide an appropriate mix of dwelling types and sizes reflecting local plan policies and having regard to relevant local evidence. Development across the plan area should seek to incorporate a range of dwelling types and sizes, including for self-build.

The immediate streetscene is depicted by a mix of single and two storey, terraced and semi-detached properties. Ramsbottom Cemetery Lodge is located to the south east of the site and is a detached property with stone detailing and a ground floor projecting bay window. Whilst mixed in design, there is an established local context, grain and vernacular. The previously refused dwellings had projecting bay windows, with larger footprints than the adjacent terraced properties, were considered to be top heavy and excessive levels of hardstanding to the front.

Whilst the dwellings proposed are still larger in terms of footprint when compared to the neighbouring terraces and bungalows, as set out above minimum density at the site can be met and as such the proposal would make efficient use of the land. The designs of the dwellings have been simplified, and the proposed projecting gable that extends to roof height helps to break up the top heavy roof to allow the roof space to be utilised as additional accommodation.

The proposal seeks to add elements of soft landscaping to the fronts of the dwellings with low level planting, and hedgerows depicting the front boundaries. The application also seeks to reduce the parking areas, compared to the previously refused scheme reducing the elements of hard standing visible from the public realm. 1.8 metre fencing would be utilised to depict the rear and side boundaries between the plots. The existing side boundary walls will be retained, and a wrought iron railing is proposed to the top of the wall with the cemetery which would be in keeping with the existing boundary treatment.

The Design and Access Statement confirms that the proposal seeks to utilise Ibstock Anstone - Black (old weathered) brickwork for the external walls and Sandtoft-Rivius Antique Slate for the roof tiles. The applicant considers that the brick proposed simulates stone, and would reasonably sit with the materials of the adjacent properties in tone. The applicant also considers that the proposed roofing material would replicate the look of slate.

The introduction of mullions, and surrounds to the front elevation, and headers and cills to the rear elevation are considered to be a modern interpretation of the adjacent window designs. Whilst no objection in principle is made to the proposed materials set out above, a condition that requires material samples to be submitted would be required for any consent at this site as the proposal does not provide full details of all materials proposed including the materials for the windows and window surrounds.

Given the changes proposed to simplify the proposed dwellings it is considered that the applicant has addressed the previous reason for refusal and the proposal would now comply with UDP Policies H2/1, H2/2, EN1/2 and PfE Policies JP-P1 and JP-H3.

PfE Policy JP-H3 also states that all new dwelling must:

1. Comply with the nationally described space standards (NDSS); and
2. Be built to the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations unless specific site conditions make this impracticable.

The proposed dwellings would all be considered to be 3 storey, 5 bedroom, 8 person properties as both types of dwelling include rooms in the roofspace. Contrary to the

Nationally Described Space Standards Compliance Statement submitted by the applicant which states the properties need to have a Gross Internal Area (GIA) of 156 square metres, NDSS actually requires a minimum of Gross Internal Area of 134 square metres for this size of property. The statement provided by the applicant also fails to accurately assess plot 1 which has been reduced in size following the previous refusal at the site. The assessment in relation to NDSS has therefore been made off the floor plans, not the submitted statement which is inaccurate.

Based on the floor plans the GIA for Plot 1 would be 233 square metres and Plots 2 and 3 would be 242 square metres which would exceed the minimum requirements.

Across all plots the master bedroom, bedroom 2, 4 and 5 would exceed minimum areas and widths for double occupancy rooms. Bedrooms 3 exceed minimum areas and widths for single occupancy rooms.

Storage proposed would exceed the 3.5 square metres required by NDSS.

The proposed dwellings would therefore comply with NDSS standards as required by PfE Policy JP-H3. M4(2) compliance can be secured by condition.

Amenity

UDP Policy H1/2 states that the council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses. There are no adopted aspect standards for new build residential properties however, Supplementary Planning Document 6 (SPD 6) provides guidance on aspect standards between residential properties and as such, would be a reasonable guide in this case.

For clarity the following aspect standards would be applicable:

- 20 metres between directly facing habitable room windows;
- 13 metres between an existing habitable room window and a proposed two storey blank wall
- 6.5 metres between an existing habitable room window and a proposed single storey blank wall
- 7 metres between a proposed first floor habitable room window and a directly facing boundary with a neighbouring property. An additional 3 metres would be applied for each additional floor.

The sections submitted show that the levels within the site rise towards the rear boundary. As such the bungalows to the rear of the site would be approximately 1.8 metres higher than the ground floors of the proposed dwellings. As this is not a full storey in difference additional distances have not be applied to the aspects set out above.

The proposed first floor rear for windows for plots 2 and 3 would be located approximately 11.2 metres from the directly facing rear boundary. The proposed first floor rear windows for plot 1 would be located approximately 10.3 metres from the directly facing boundary. This would exceed the 7 metres required by SPD 6.

The proposed second floor windows for plots 2 and 3 would be located approximately 11.2 from the directly facing boundary . The proposed second floor windows for plot 1 would be located approximately 10.3 metres from the directly facing boundary. This would exceed the 10 metres required by SPD 6.

The proposed windows of plot 2, and parts of the windows relating to plot 1 would face towards the blank side gable of No. 49 Hazel Street. The proposed ground floor element would be located approximately 10.4 metres from this blank gable and as such the location of this bungalow would not have an overbearing relationship on the ground floor windows of the proposed dwellings.

A minimum distance of 29 metres can be provided between the proposed front windows of all plots and the directly facing dwellings on Cemetery Road. This would exceed the requirements of the aspect standards set out above for the proposed ground, first floor and second floor windows.

The proposed dwellings would not project beyond the principal front elevation of the terraced properties to the north west of the site.

No. 29 Cemetery Road has a single storey rear extension. This has not been shown on the proposed site layout submitted by the applicant. The rear elevation of the extension appears to be blank. It is therefore considered that the proposed dwelling at plot 1 would not have a detrimental impact on the ground floor windows of this property. Plot 1 would extend beyond the first floor of No. 29 by approximately 14 metres and would intercept a 45 degree line as taken from the midpoint of the nearest habitable room window. The applicant has submitted a daylight and shadow assessment in support of the application that looks at the impact of the proposal on the rear windows of this property that confirms that shadows from Plot 1 would be expected to fall primarily to the west in the morning, north at midday, and east in the afternoon. The period of greatest potential effect on No. 29 would therefore be during early morning hours. Given the location of the proposed dwelling, in relation to the path of the sun it is unlikely that this relationship would have a detrimental impact on this window to warrant refusal of the scheme on this point.

Given the above, the proposal would not have a detrimental impact on the amenity of the neighbouring properties complying with UDP Policy H1/2 and the intentions of SPD 6.

Highways and Access

Policy EN1/2 requires the consideration of the design and appearance of access, parking and service provision. This is further supported by Policy H2/2 that requires proposals to demonstrate adequate car parking provision, access for both vehicles and pedestrians, and provision for public transport and the existence of any public rights of way. Policies JP-C5 and JP-C6 require streets to be well designed and managed to make a significant positive contribution to the quality of place and support high levels of walking, cycling and public transport.

The proposal seeks to narrow the existing access currently used to service the site, reinstating the footpath and introducing a dropped kerb to access plot 3. A further 2no. dropped kerbs are also proposed to access plots 1 and 2. The Traffic Section have confirmed that the principle of the development would not present a problem in highway terms due to the previous, much more intensive use as an ambulance station. Further comments will be reported in the Supplementary Report.

Parking

In terms of parking standards UDP Policy HT2/4 requires all applications for development to make adequate provision for their car parking and servicing requirements. Supplementary Planning Document 11 (SPD11) provides parking standards for developments.

The site is located within Zone 4 for parking. SPD 11 requires 3no. spaces per four-bed dwelling, or greater. 3no. spaces are proposed for each property.

In terms of cycle parking standards SPD 11 requires 1 secured, covered cycle storage space per bedroom (If no garage or secure area is provided within curtilage of dwelling). Cycle storage is shown to the rear of each plot, for 5no.cycles complying with SPD 11. Sufficient space is provided to the side of each dwelling to allow this storage to be accessed.

On street parking

Concerns have been raised regarding the existing parking pressures on Cemetery Road, which serves local residents, visitors to the cemetery and funeral attendees. The previous proposal was partially refused due to the wide driveways proposed that reduced on street parking to the front of the site. The width of the accesses has been reduced through this proposal in order to retain as much on street parking as possible.

Whilst it is acknowledged that on-street parking currently occurs within the area, the development includes off-street parking provision in compliance with SPD 11. The proposed layout, and widths of the driveways would lead to a reduction of on street parking to the front of the site from 3no. spaces to 2no. spaces. It is considered that the reduction of 1no. space from the existing on street provision would not create severe highway impacts that would justify refusal of the application.

Ecology and Biodiversity Net Gain

PfE Policy JP-G8 states that through local planning and associated activities a net enhancement of biodiversity resources will be sought. This is supported by Policy EN6/3 that seeks to retain, protect and enhance the natural environment and seeks to retain features of ecological or wildlife value. Policy N2 - Improving the Natural Environment from the NPPF states that development proposals should contribute positively to the natural and local environment. UDP Policy EN8/2 supports and encourages new woodland and tree planting within the borough.

Bats

A Preliminary Roost Assessment and ground level tree assessment (Gritstone Ecology - October 2025) has been submitted. A full internal and external inspection of the property and trees found negligible potential for the building and trees to support roosting bats. GMEU have no reason to question the finding of the report. The Local Records Centre holds few records of foraging or roosting bats in the area. Having assessed the work planned, GMEU consider that there is negligible potential for the works to disturb roosting bats and no further surveys are required.

Nesting Birds

All British birds nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife & Countryside Act 1981, as amended. Should tree and shrub removal be delayed until after the 1st of March, GMEU would recommend a condition in relation to tree and shrub clearance during nesting season.

Biodiversity Net Gain

The information submitted with the application includes a basic Biodiversity Net Gain (BNG) report and statutory Biodiversity Metric from Natalie Morris (June 2026)

The appraisal found the site had some ecological value, consisting of individual trees, shrubs and modified grassland. GMEU have examined the Biodiversity Net Gain (BNG) metric spreadsheet and are satisfied with the information provided.

After construction of the development, on site biodiversity remediation and the 10% net gain requirement there is due to be a deficit of 0.22 Area Habitat units. GMEU consider that

given the availability of off site units, this appears to be a realistic achievement for the site and therefore the Local Planning Authority (LPA) can be reasonably confident that the statutory biodiversity requirements could be discharged.

GMEU would not consider the on site biodiversity mitigation/enhancement to be significant and a habitat management and monitoring plan is not required.

If approved, the Biodiversity Gain Plan (BGP) and updated metric should be completed to show how the on site/off site biodiversity gain will be achieved and approved by the LPA, before the automatically applied statutory biodiversity gain condition can be discharged.

Biodiversity Enhancement

GMEU would expect any such scheme to include measures to enhance biodiversity at the site in line with the requirements of the National Planning Policy Framework. GMEU would recommend that opportunities for biodiversity enhancement be incorporated into the new development. These should include:

1. Bat bricks and/or tubes within the new development
2. Bird box/swift nesting bricks
3. Hedgehog friendly fencing

Trees

UDP Policies EN8/1 and EN8/2 seek to support the retention of trees, woods, copses and hedgerows to encourage natural regeneration and new and replacement tree planting. PfE Policy JP-G7 seeks to significantly increase tree cover, protect and enhance woodland, and connect people to the trees and woodland around them.

One of the previous reasons for refusal was the loss of a TPO tree. This tree is now proposed to be retained and Plot 1 is a different design to plots 2 and 3 to accommodate this tree.

The submitted Arboricultural Impact Assessment identifies 12. trees/groups that may be impacted by the proposal. T7 is the only tree proposed to be removed. This is a category C (tree with significant structural and physiological flaws and/or extremely stressed) cherry tree located centrally within the site. No objections are raised to the removal of this tree and it would not warrant further protections by means of a TPO.

Root Protection Areas (RPA) for the trees to be retained are indicated within the Arboricultural Impact Statement.

The Arboricultural Method Statement outlines the required steps which must be implemented to successfully retain the trees identified within the Impact Assessment without adversely affecting their safe useful life expectancy.

Outside of the removal of T7, works to T4, T8 and T9 are also proposed to facilitate the development. This works comprise:

- T4 - Holly - Reduce crown on the northwestern side by 1m.
- T8 - Pedunculate Oak - Reduce crown on the eastern side by 1.7m. Crown lift to 4m.
- T9 - Maple - Reduce crown on the southeastern side by 1.2m

The Method Statement confirms that all tree works must be undertaken in line with BS3998:2010. Tree protective fencing, and ground protection measures are also proposed in relation to the retained trees on site. These protective measures will be included as a condition on any permission. Subject to this condition, that requires works to be undertaken

in accordance with British Standards no objections are raised to the tree works proposed.

In order to protect the RPA of T8 a cellular confinement system is proposed to create the driveway for plot 1. A cellular confinement system provides a load transfer mattress which prevents direct loads on tree roots and reduces the bearing pressure on subsoil's by stabilising aggregate surfaces against rutting under wheel loads.

Permitted Development Rights

Given the nature of the site, and the adjacent cemetery with a number of TPO trees that require protection it is proposed to remove particular permitted development rights from the dwellings in order to protect the vitality of the trees, namely extensions and outbuildings.

Drainage

PfE Policy JP-S4 and UDP Policies EN7/3 and EN7/5 seek to protect the water courses and other water features within the Borough, and limit surface water pollution.

It is noted that the Drainage Strategy has not been updated and the additional information submitted does not address the drainage matters raised in the Council's Drainage consultation response reported in the original officer report for application 72695. Sufficient information is still required to enable the proposed surface water drainage arrangements to be adequately assessed.

However, given that the proposal involves the redevelopment of an existing ambulance station to three dwellings, with a reduction in impermeable area and reuse of the existing drainage connection, a proportionate approach is considered appropriate. It would therefore be acceptable for the detailed surface water drainage scheme to be secured by a pre-commencement condition.

Carbon And Energy

PfE Policy JP-S2 sets out the steps required to achieve net zero carbon emissions.

The submitted Carbon and Energy Statement confirms that each dwelling would be gas-free and heated via air source heat pumps (ASHP). Roof-mounted photovoltaic panels are proposed and are shown on the proposed elevation plans. Electric vehicle charging would be provided and can be secured by condition.

In terms of Air Source Heat Pumps the main consideration in relation to this installation will be in relation to the noise created. As such UDP Policy EN7/2 is required to be considered for this application. This policy states that the Council will not permit development which could lead to an unacceptable noise nuisance to nearby occupiers and or/amenity users or development close to a permanent source of noise.

On the 29th May 2025 Class G was altered to relax the rules around ASHP allowing for larger units however the heat pump must comply with the Microgeneration Certification Scheme (MCS). The proposed site plan shows that the ASHPs would be located to the rear of the proposed dwellings, a minimum of 5.6 metres away from the shared rear boundary. The specification of ASHP provided confirms that even the loudest potential model of heatpump would have a sound pressure level of 38 dB(A) at 5 metres which would be acceptable considering that the dwelling to the rear has a blank gable facing towards the site rather than habitable rooms.

A condition will therefore be attached to the permission to ensure that the proposed air pumps do not exceed the noise limits defined by permitted development rights to ensure that the proposal would not impact on the amenity of the neighbouring properties.

Given the measures set out within the submitted Carbon and Energy Statement it is considered that the proposal complies with PfE Policy JP-S2.

Digital Connectivity

PfE Policy JP-C2 requires development to have full fibre to premises connections unless infeasible or unviable, with multiple-ducting.

The applicant has confirmed that each dwelling will be designed to enable connection to high-speed fixed broadband services. Ducting and internal cabling routes will be provided during construction to facilitate future connection to fibre-to-the-premises (FTTP) or equivalent high-speed broadband services, subject to availability. The proposal would therefore comply with this Policy.

Response to Representations

The potential impact of construction traffic, any damage to the public highway arising from construction activities would be a matter for the developer to address through a Construction Traffic Management Plan which has been included as a condition. Construction related impacts are temporary in nature and do not constitute a reason to refuse planning permission where they can be appropriately managed.

The site is located in proximity to Bolton Road West, which serves as a main road and provides access to nearby schools. The scale of development, when considered against the previous ambulance station use is considered to be acceptable in principle. The proposal does not include any amendments to the existing junction with Bolton Road West. Concerns regarding access for emergency vehicles, refuse collection vehicles, gritting vehicles and funeral corteges have been taken into account and the completed development would not otherwise exacerbate beyond the existing situation.. The proposed layout has been reviewed by the relevant consultees, and there is no evidence to indicate that the development would prevent necessary access to or along Cemetery Road particularly when considering the previous use of the site as an ambulance station.

It is considered that the concerns raised in relation to design and drainage have been addressed within the main body of the report.

The impact of the proposal on the existing TPO trees has been assessed within the main body of the report. The LPA attended the site when it became apparent that demolition works were being undertaken and protective fencing has now been put in place around these trees. The applicant has confirmed that the foundations adjacent to T9 have been retained in situ in accordance with their submitted arboricultural reports.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during pre-application discussions to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 001 Rev A, 059 Rev A, H.01 Rev A, H.02 Rev A, H.03 Rev A, H.04 Rev A, 201 Rev A, 202 Rev A, 203 Rev A, 204, 205, 206, 208, 302, 301 Rev A, 303 Rev A, S.01 Rev A, S.02 Rev A, P202 Rev 1 Plot 1, P202 Rev 1 Plots 2 and 3, 2524_TCP.01 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before above ground works are commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design
4. No development hereby permitted (except demolition and site clearance) within any approved phase shall take place until the works relating to land contamination detailed below are fully completed:
With consideration to human health, controlled waters and the wider environment, the following documents shall be completed to characterise potential risk to sensitive receptors and submitted to the Local Planning Authority for approval:
 - I. Preliminary Risk Assessment (PRA). Submission of this document is the minimum requirement.
 - II. Generic Quantitative Risk Assessment (GQRA). Submission of this document only if PRA requires it.
 - III. Detailed Quantitative Risk Assessment (DQRA). Submission of this document if GQRA requires it.Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims of Policy P2 - Ground Conditions of Section 17 of the National Planning Policy Framework (August 2026).
5. No development hereby permitted (except demolition and site clearance) within any approved phase shall take place until the works relating to land contamination detailed below are fully completed:
In accordance with the findings of site characterisation and risk assessment as previously approved, documents from the following shall be submitted to the Local Planning Authority for approval:
 - I. Remedial Options Appraisal.
 - II. Remediation Strategy.
 - III. Verification Plan.Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and

Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

6. The development hereby permitted within any approved phase shall not be occupied/brought into use until the works relating to land contamination detailed below are fully completed:
Where remediation is required, it shall be carried out in full accordance with the approved Remediation Strategy.
A Verification Report must be submitted to the Local Planning Authority for approval upon completion of remediation works. The Verification Report must include information validating all remediation works carried out; details of imported materials (source/quantity/suitability); details of exported materials; and details of any unexpected contamination.
Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims of Policy P2 - Ground Conditions of Section 17 of the National Planning Policy Framework (August 2026).

7. The development hereby approved within any approved phase shall not be brought into use until written confirmation is provided to the Local Planning Authority that unexpected or previously unidentified contamination was not encountered during the course of development works.

If, during development, unexpected contamination is found to be present on the site, no further works shall be carried out at the affected location until the following are submitted to the Local Planning Authority for approval:

- I. Risk Assessment (GQRA or DQRA);
- II. Remediation Strategy & Verification Plan;

If remediation is required, it shall be carried out in accordance with the approved Remediation Strategy. Upon completion of remediation works, a Verification Report shall be submitted for approval. The Verification Report must include information validating all remediation works carried out; details of imported materials (source/quantity/suitability); details of exported materials; and details of any unexpected contamination.

Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims of Policy P2 - Ground Conditions of Section 17 of the National Planning Policy Framework (August 2026).

8. Any soil or soil forming materials to be brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use.
Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to the Local Planning Authority for approval prior to any soil or soil forming materials being brought onto site.
The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc.) submitted to Local Planning Authority for approval prior to the development being brought into use.
Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims of Policy P2 - Ground Conditions of Section 17 of the National Planning Policy Framework

(August 2026).

9. Prior to occupation the applicant shall provide:

- 1 no. electric vehicle (EV) charging point (minimum 7kW*) per dwelling/parking space.

Certification and photographic evidence of the installation of the agreed electric vehicle charge points shall be submitted to Local Planning Authority for approval prior to the development being brought into use. The infrastructure shall be maintained and operational in perpetuity.

*Mode 3, 7kW (32A) single phase, or 22kW (32A) three phase, and for 50kW Mode 4 rapid charging may be required. British Standard BS EN 61851-1:2019 to be used. Further information regarding minimum standards can be found at <https://www.gov.uk/transport/low-emission-and-electric-vehicles>.

Reason. To encourage the uptake of ultra-low emission vehicles and ensure the development is sustainable and to safeguard residential amenity, public health and quality of life with respect to Local Air Quality, in accordance with Policy P3 - Living Conditions and Pollution of the National Planning Policy Framework (August 2026) and Places for Everyone Policy JP-S5 (Clean Air).

10. No tree or shrub clearance shall occur or further demolition works shall occur between the 1 st March and 31 st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to works and written confirmation provided that no active bird nests are present, which has been agreed in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Places for Everyone Joint Development Framework Policy JP-G8: A Net Enhancement of Biodiversity and Geodiversity, Bury Unitary Development Plan Policy EN6/3 - Features of Ecological Value and Policy N2 - Improving the Natural Environment of Section 19 of the National Planning Policy Framework (August 2026).

11. An ecological enhancement scheme shall be submitted to, and approved in writing by the Local Planning Authority prior to the commencement of construction of the dwellings hereby approved. The contents of the plan should include:

1. Bat bricks and/or tubes within the new development
2. Bird box/swift nesting bricks
3. Hedgehog friendly fencing

The approved scheme shall be implemented in full prior to occupation of the dwellings and thereafter maintained.

Reason. To secure the satisfactory development of the site and in order to ensure that no harm is caused to a Protected Species pursuant to policies JP-G8 - A Net Enhancement of Biodiversity and Geodiversity and EN6/3 – Features of Ecological Value of the Development Plan and Policy N2 - Improving the Natural Environment of Section 19 of the National Planning Policy Framework (August 2026).

12. Development shall not commence unless and until details of surface water drainage proposals have been submitted to and approved by the Local Planning

Authority. The scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or subsequent revisions of it. This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Design details should comply with guidance contained in the Greater Manchester's Sustainable Drainage Design Guide, March 25. Details of proposed maintenance arrangements should also be provided.

Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Development Plan Policies JP-S4 - Flood Risk and the Water Environment, EN7/3 - Water Pollution and EN7/5 - Waste Water Management and Policy F8 - Sustainable Drainage Systems and Watercourses of Section 18 of the National Planning Policy Framework (August 2026).

13. All trees to be retained on site shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction" and in accordance with the approved Arboricultural Method Statement 2524_AMS.03. The development shall not commence unless and until the measures required by the British Standard and the approved Arboricultural Method Statement are implemented and all measures required shall remain in situ until the development has been completed.

Reason. To avoid the loss of protected trees which are of amenity value to the area pursuant to Policies EN1/2 - Townscape and Built Design, EN8/1 - Tree Preservation Orders and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and Policy JP-G7: Trees and Woodland of Places for Everyone Joint Development Framework.

14. No trees subject to a Tree Preservation Order, unless indicated otherwise within the approved Arboricultural Method Statement 2524_AMS.03, shall be felled, lopped or topped before, during or after the construction period without the previous written consent of the Local Planning Authority.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policies EN1/2 - Townscape and Built Design, EN8/1 - Tree Preservation Orders and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and Policy JP-G7: Trees and Woodland of Places for Everyone Joint Development Framework.

15. The Cellular Confinement System shall be implemented in accordance with section 3.7 of the approved Arboricultural Method Statement 2524_AMS.03.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policies EN1/2 - Townscape and Built Design, EN8/1 - Tree Preservation Orders and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and Policy JP-G7: Trees and Woodland of Places for Everyone Joint Development Framework.

16. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order and Classes A to F of Part 2 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.

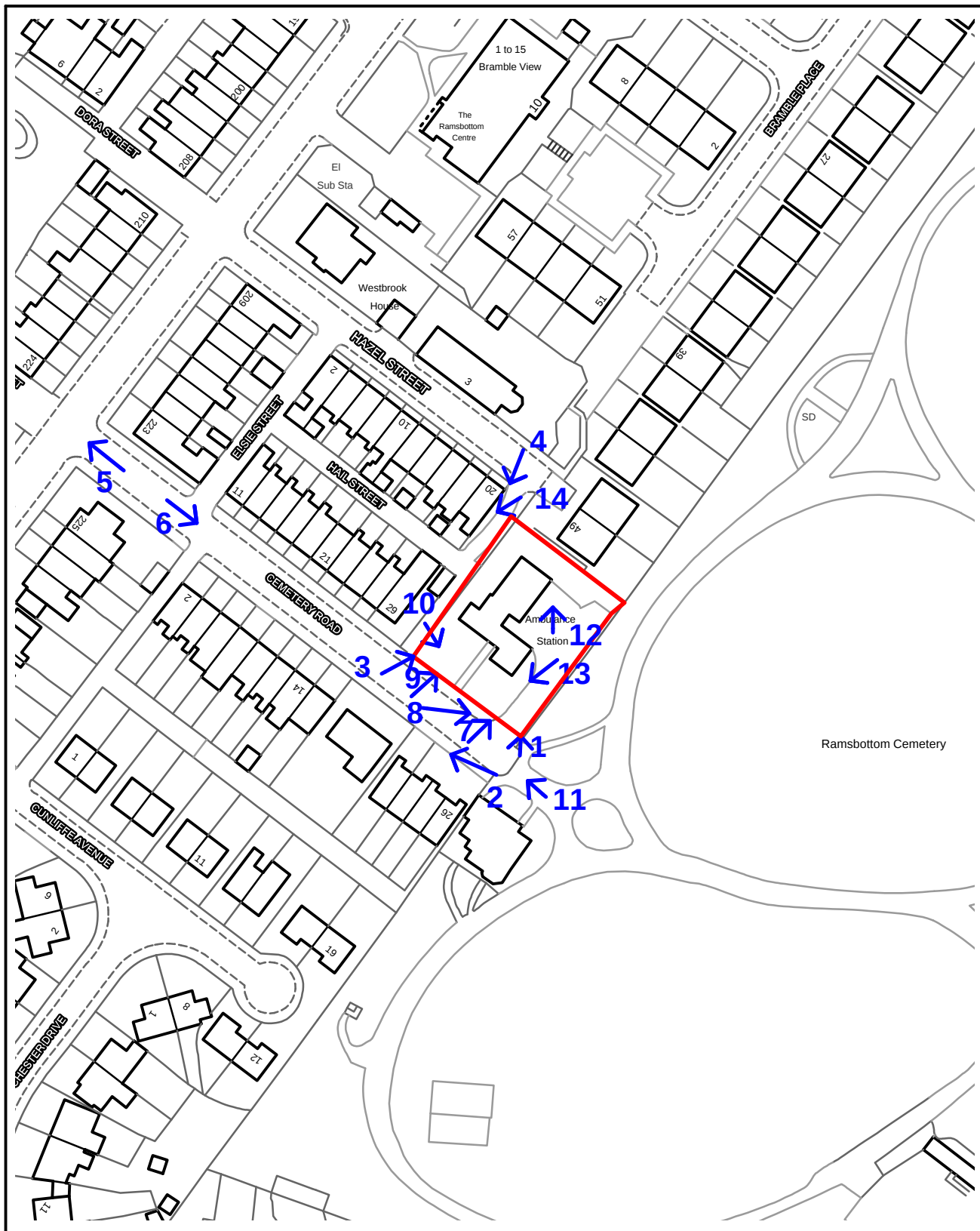
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policies EN1/2 - Townscape and Built Design, EN8/1 - Tree Preservation Orders and EN8/2 – Woodland and Tree Planting of the Bury Unitary

Development Plan and Policy JP-G7: Trees and Woodland of Places for Everyone Joint Development Framework.

17. The proposed air source heat pumps shall comply with Microgeneration Certification Scheme (MCS) Planning Standards, and the volume of the air source heat pump's outdoor compressor unit (including any housing) shall not exceed 1.5 cubic metres.
Reason. No MCS details have been submitted with the proposed application and to protect the amenity of neighbouring occupiers pursuant to Development Plan Policy EN7/2 - Noise Pollution.
18. The dwelling hereby approved shall be built in accordance with the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations.
Reason. To secure the satisfactory development of the site pursuant to Places for Everyone Joint Development Plan Policy JP-H3: Type, Size and Design of New Housing.
19. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A and E of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.

For further information on the application please contact **Helen Pressley** on **0161 253 5277**

Viewpoints



Application 73410

ADDRESS: Former Ambulance Station, Cemetery Road



Planning, Environmental and Regulatory Services

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73410

Photo 1



Photo 2



73410

Photo 3



Photo 4



73410

Photo 6



73410

Photo 7



73410

Photo 8



Photo 9



73410

Photo 10



Photo 11



73410

Photo 12



Photo 13



73410

Photo 14



Photo 15



Notes

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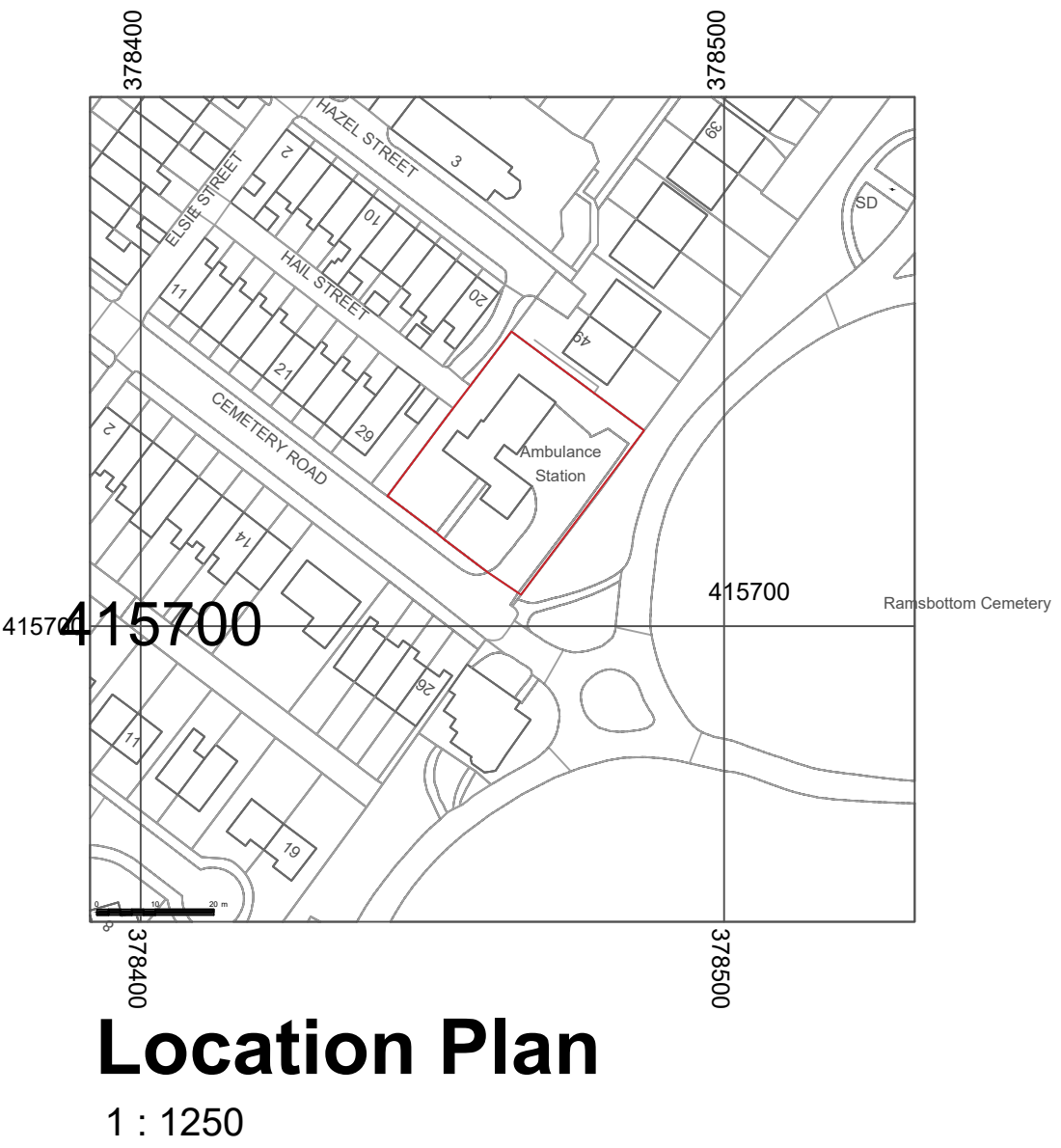
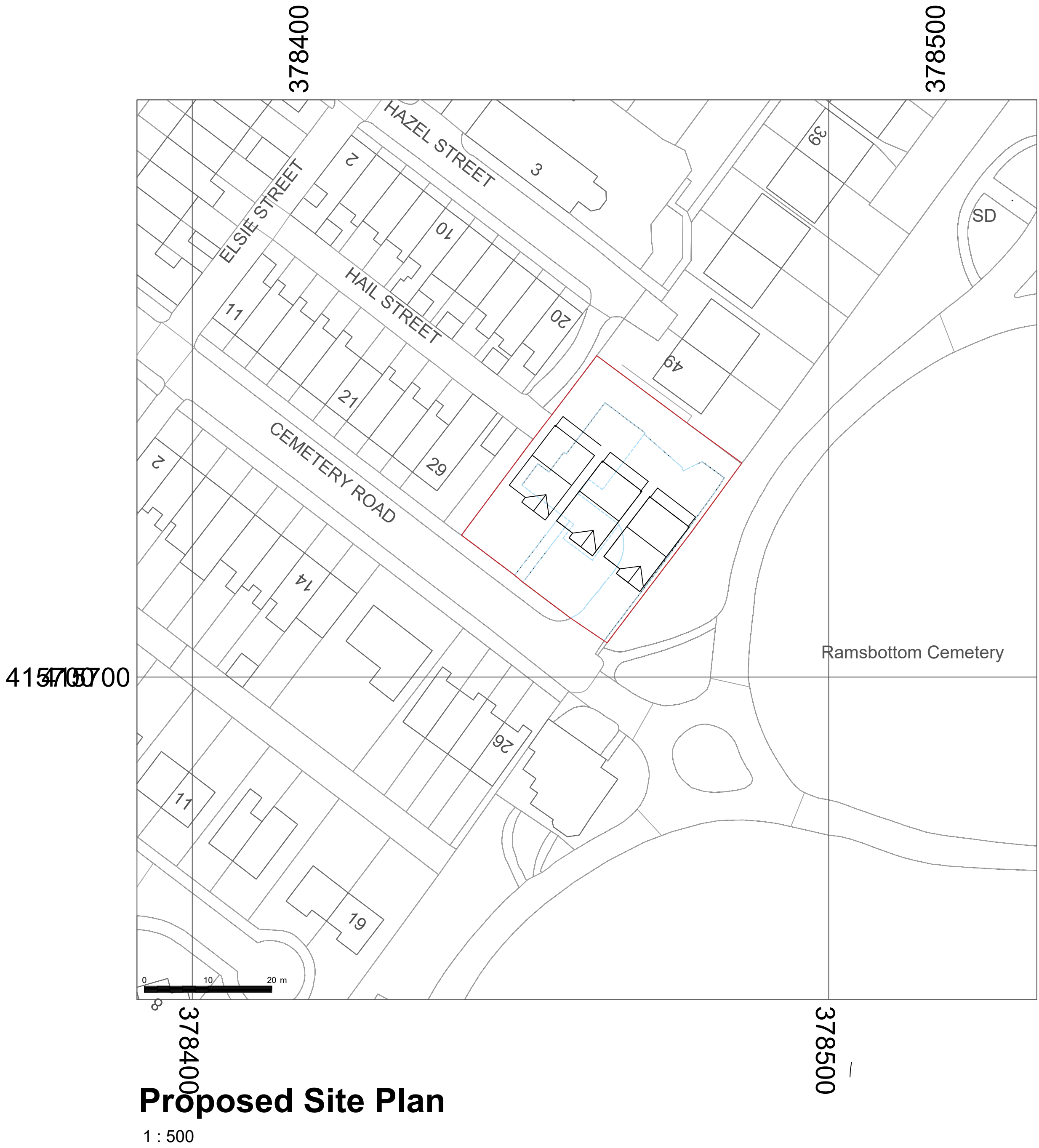
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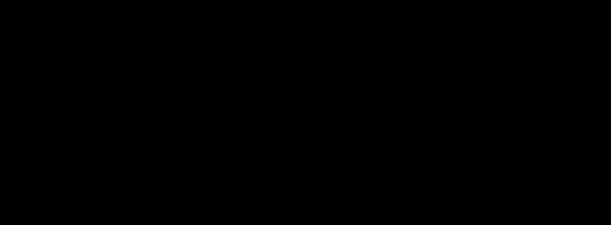


Page 76



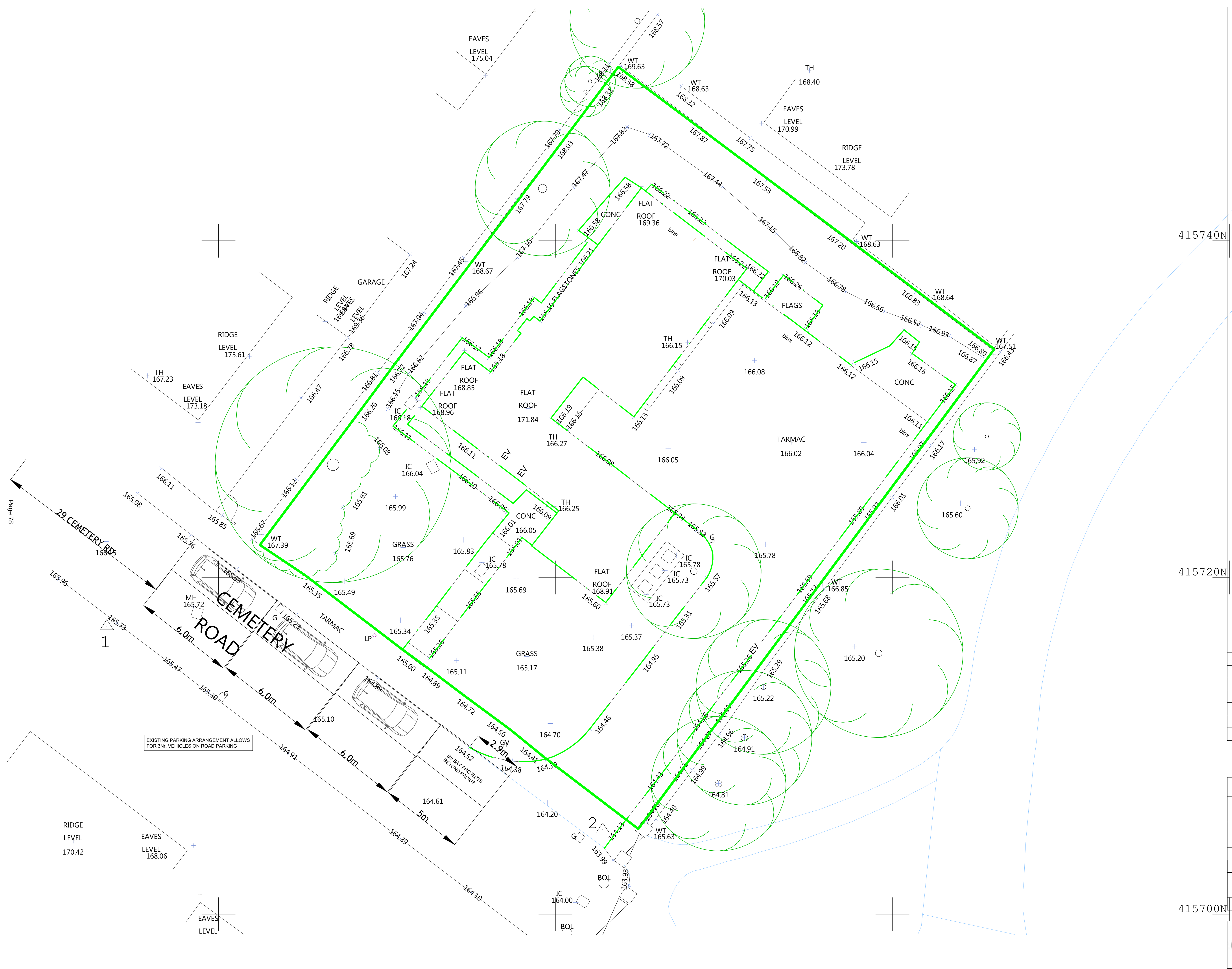
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N°	DATE	DESCRIPTION
REVISION		

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CONTRACT: FORMER AMBULANCE STATION, CEMETARY RD					
DRAWING TITLE: LOCATION & SITE PLANS					
PROJECT N°:	25.372	Dwg N°:	001	Rev:	A
PLANNING:	•	SCALE:	1 / 500		
BUILDING REGS:	DATE:		13.08.25		
TENDER:	DRAWN:		AG		
CONSTRUCTION:	CHECKED:				





CLIENT: HOME PARK AVENUE LTD					
CONTRACT: FORMER AMBULANCE STATION CEMETARY ROAD					
DRAWING TITLE: PROPOSED SITE LAYOUT					
PROJECT N°:	25.372	Drg N°:	059	Rev:	A
PLANNING:		SCALE:		1/50	
BUILDING REGS:		DATE:		28.04.26	
TENDER:		DRAWN:		AG	
CONSTRUCTION:		CHECKED:			



Notes

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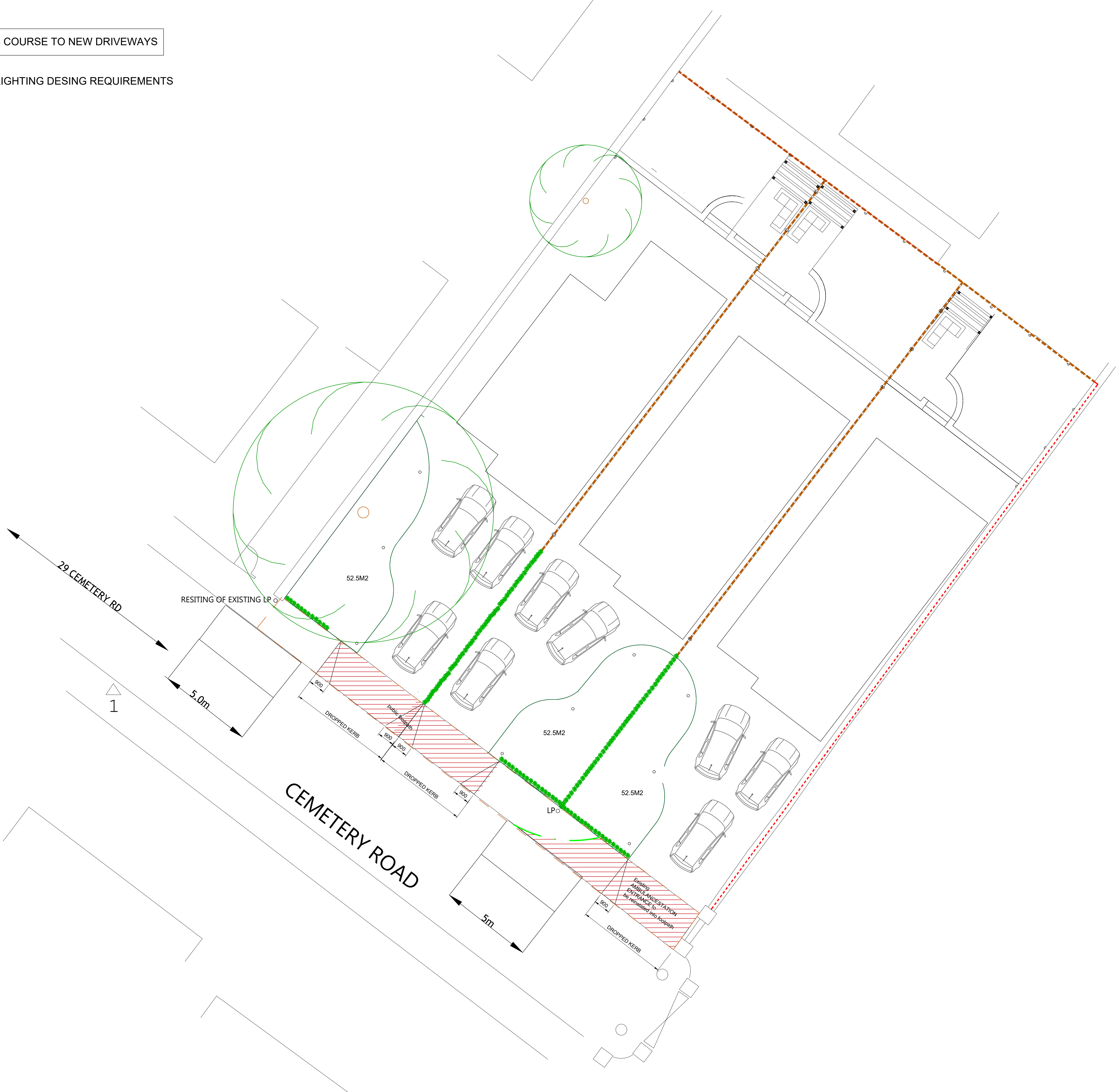
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N°	DATE	DESCRIPTION
REVISION		

CLIENT:				
CONTRACT:				
DRAWING TITLE: EXISTING PARKING ARRANGEMENTS				
PROJECT N°:	25.372	Drig N°:	H.01	Rev: A
PLANNING:		SCALE:		1/100
BUILDING REGS:		DATE:		25.04.24
TENDER:		DRAWN:		AG
CONSTRUCTION:		CHECKED:		



PERMEABLE WEARING COURSE TO NEW DRIVEWAYS

NEW LP SUBJECT TO LIGHTING DESING REQUIREMENTS



Notes

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NEW ADOPTABLE FOOTWAY CONSTRUCTION (SUBJECT TO SITE REVIEW)



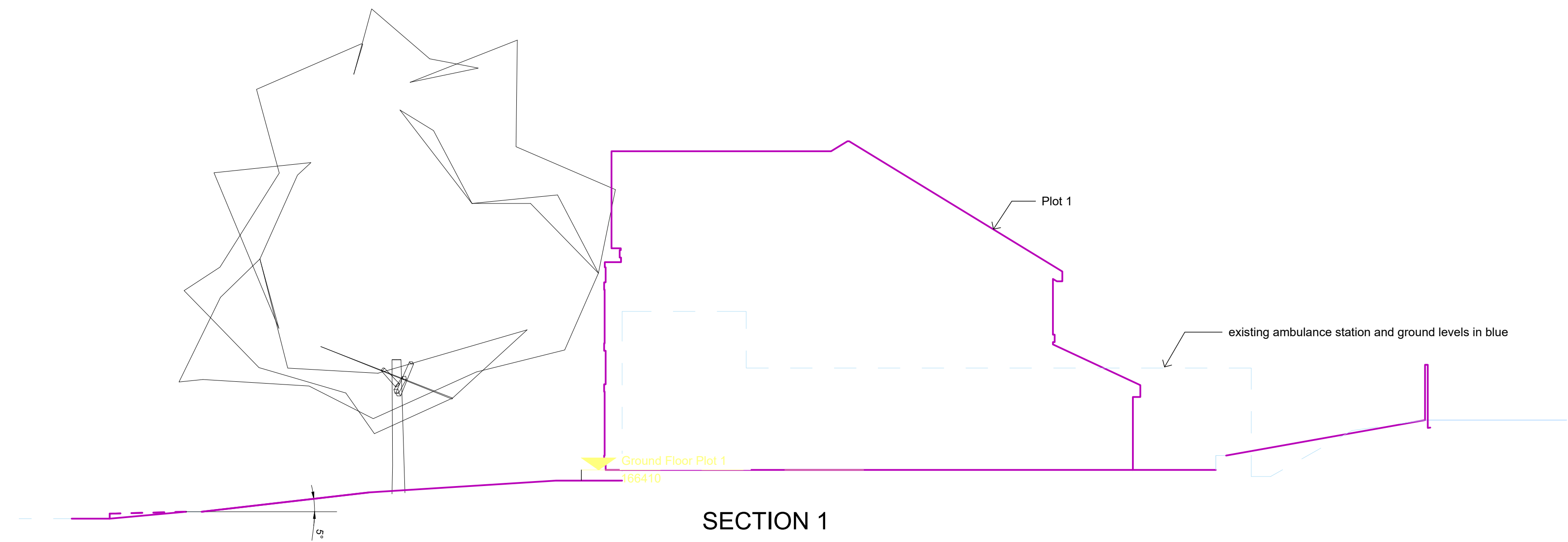
SECTION 278 HIGHWAY WORKS BOUNDARY

TOTAL - 936M2
GRASS - 274M2
DRIVE / PAVING / HOUSE FOOTPRINT - 662M2

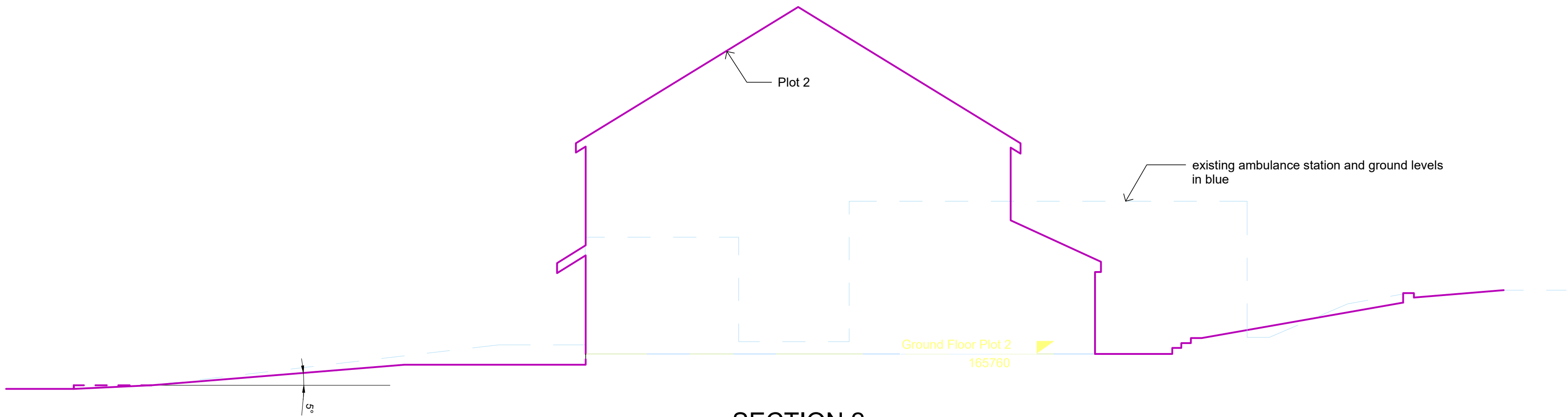
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N°	DATE	DESCRIPTION
REVISION		

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CONTRACT:				
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PROJECT N°:	25.372	Drg N°:	H.02	Rev: A
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TENDER:		DRAWN:		AG
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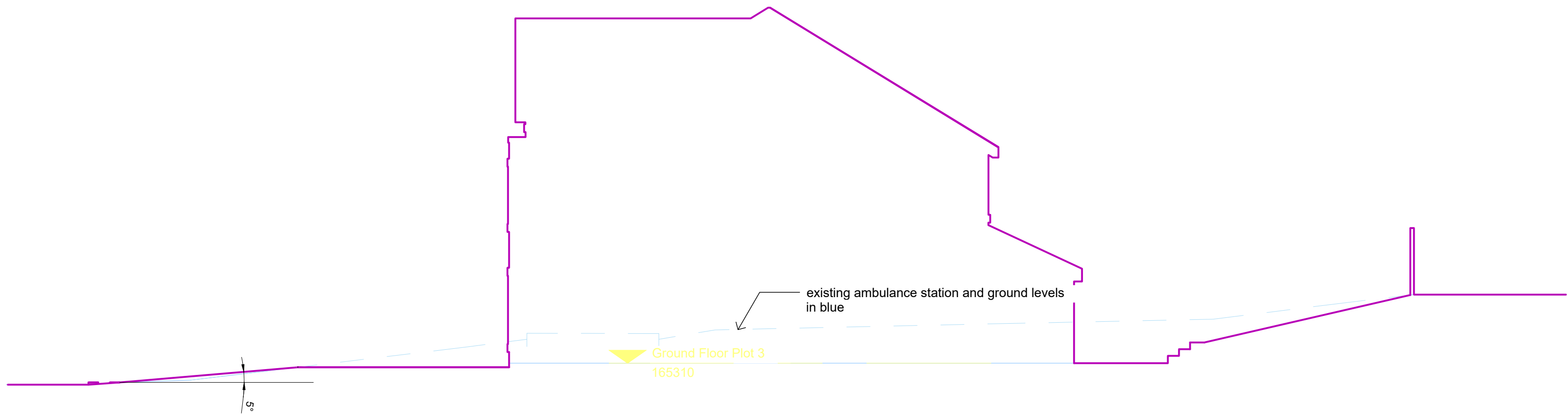




SECTION 1



SECTION 2

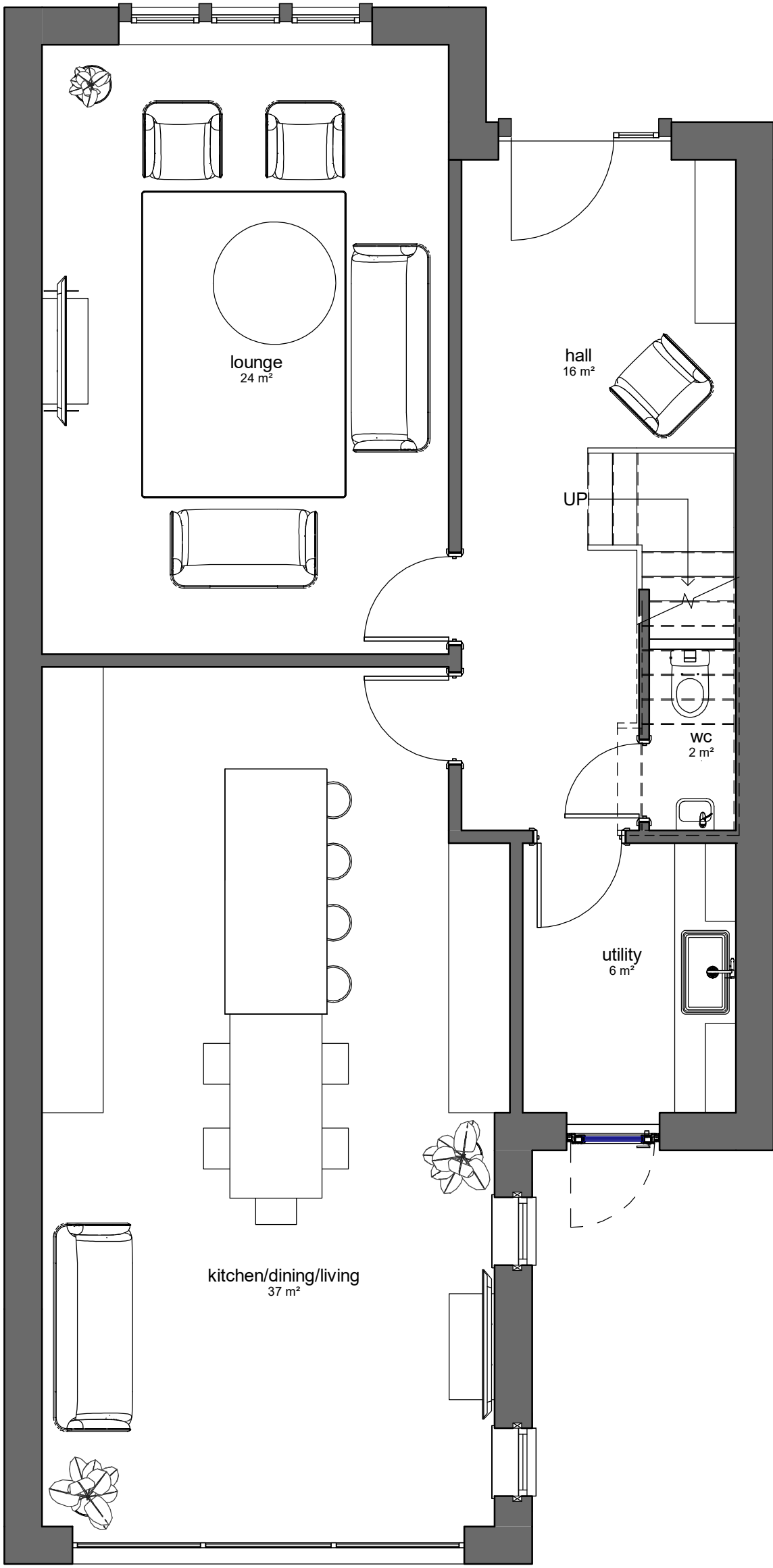


SECTION 3

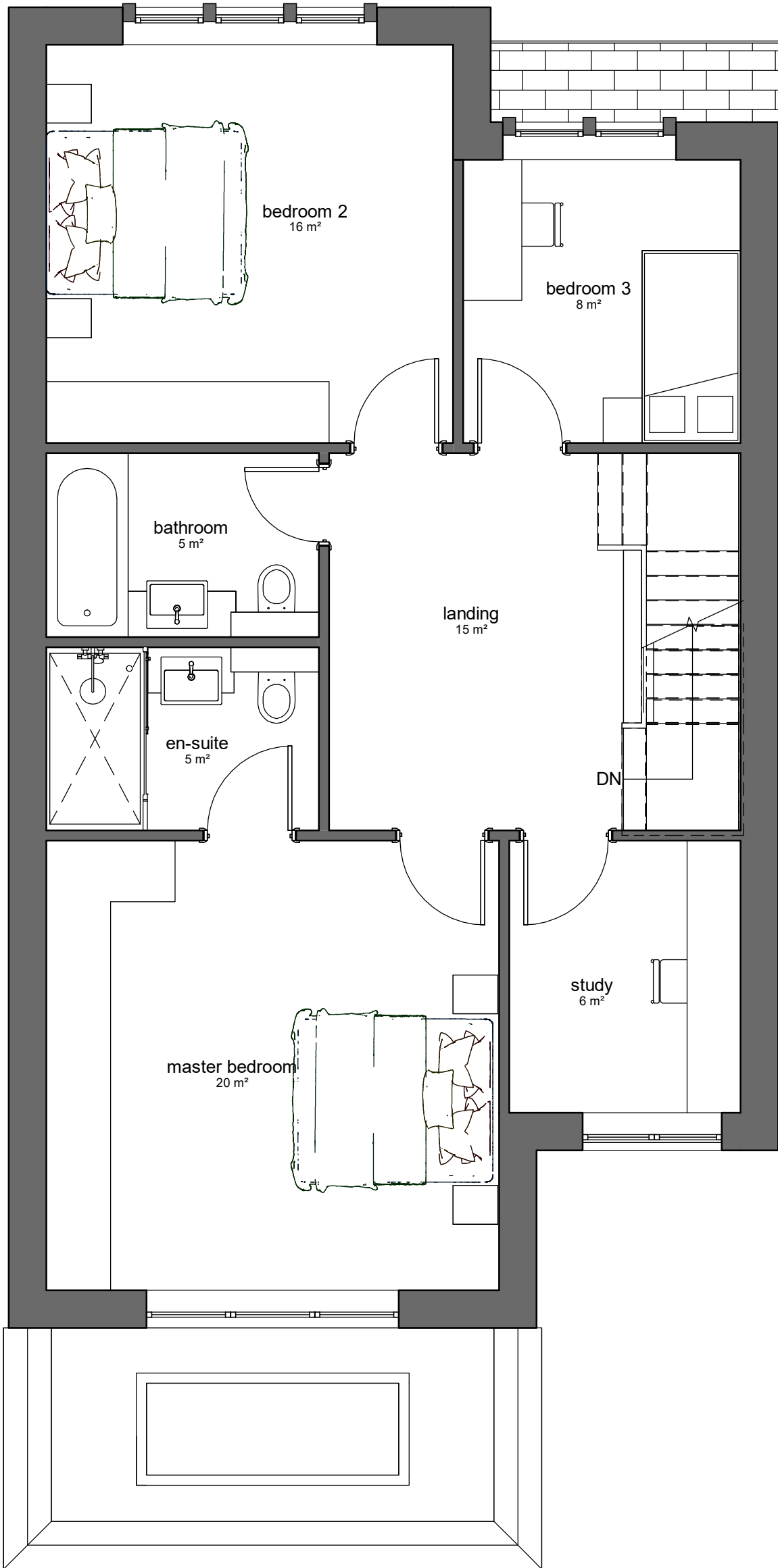
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N°	DATE	DESCRIPTION
REVISION		

CLIENT:					
CONTRACT:					
DRAWING TITLE: PROPOSED SECTIONS					
PROJECT N°:	25.372	Drg N°:	H.04	Rev:	A
PLANNING:		SCALE:	1/100		
BUILDING REGS:		DATE:	25.04.24		
TENDER:		DRAWN:	AG		
CONSTRUCTION:		CHECKED:			

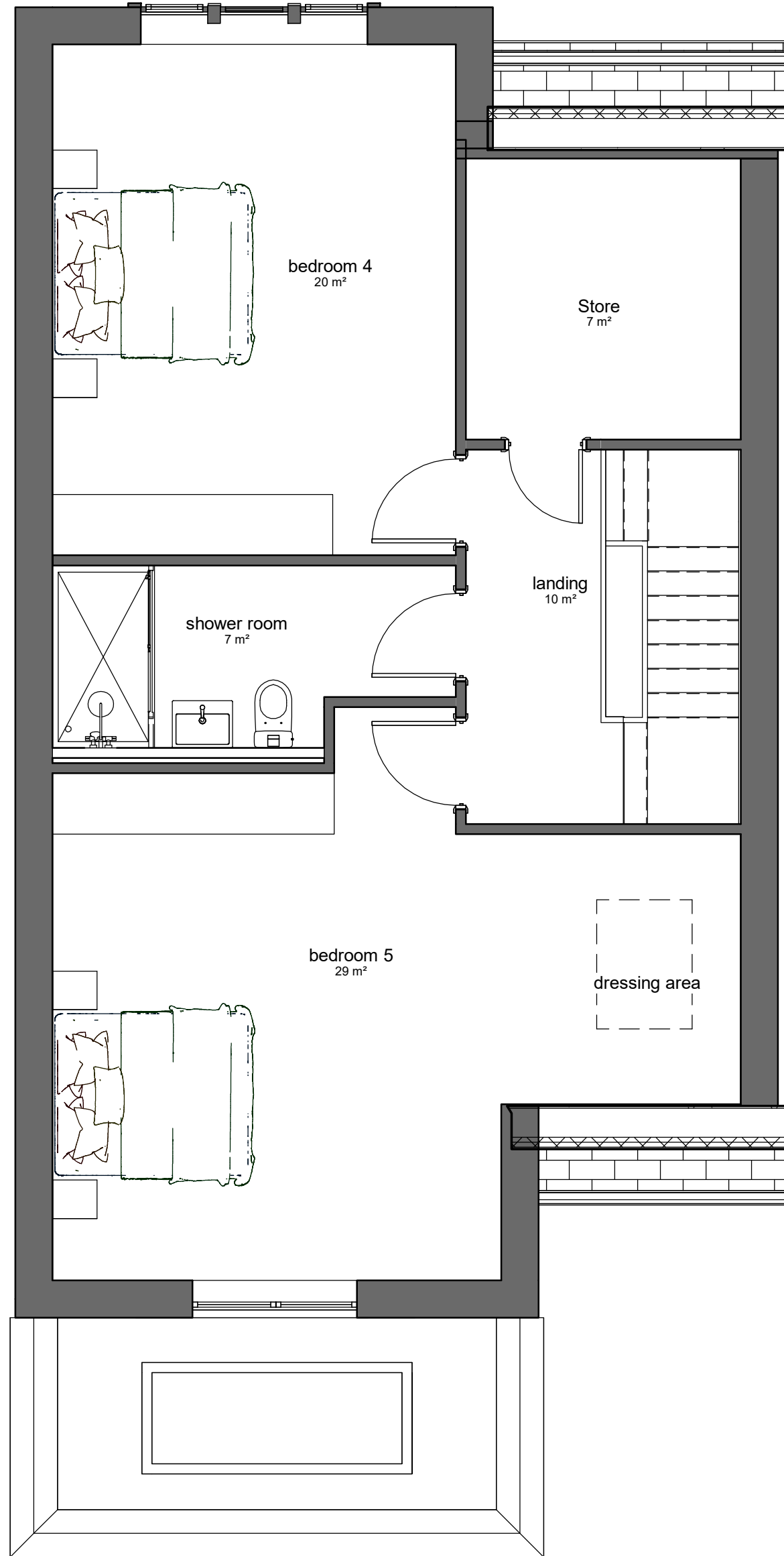




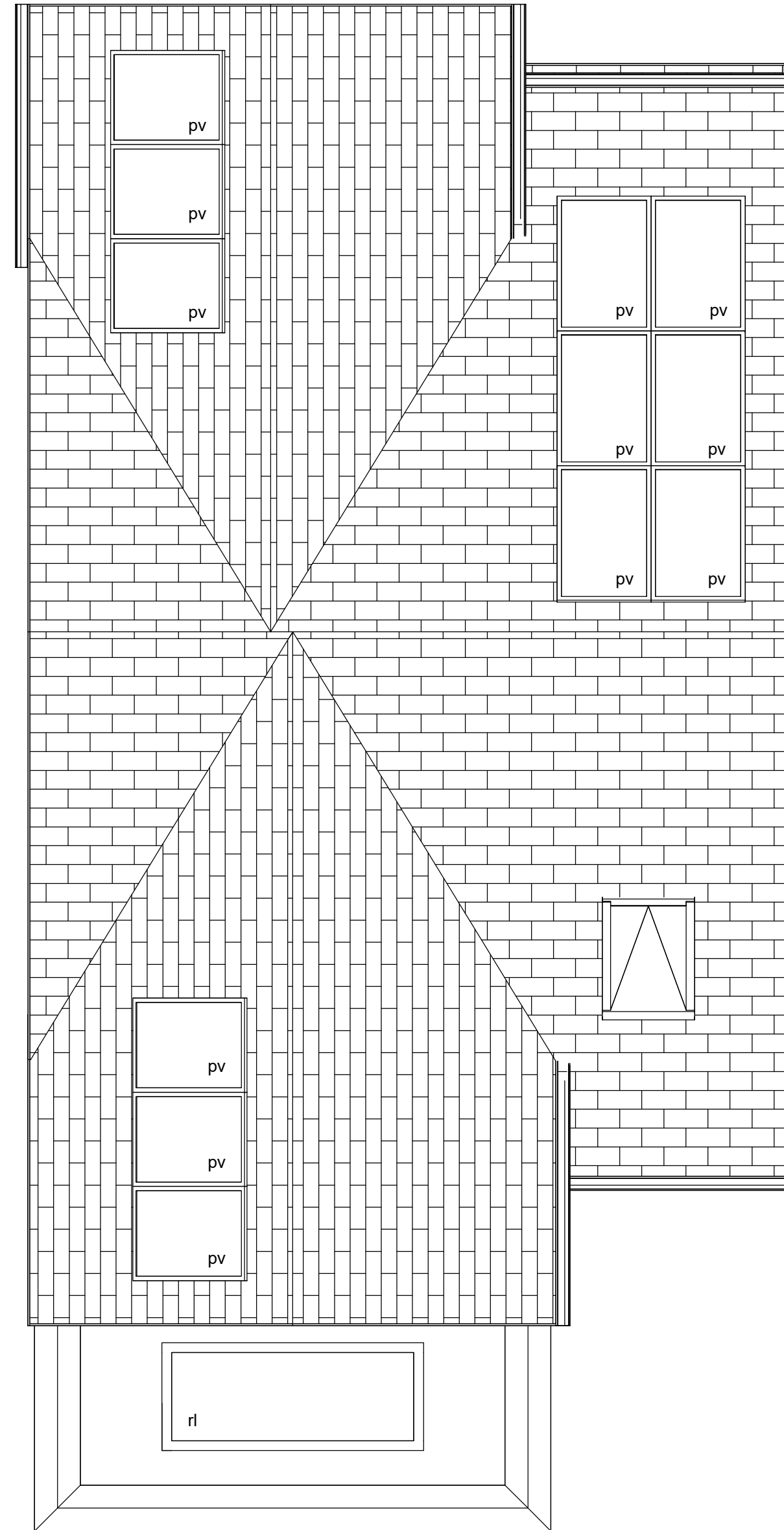
1 Ground Floor
1 : 50



2 First Floor
1 : 50



3 Second Floor
1 : 50



4 Roof
1 : 50

Notes

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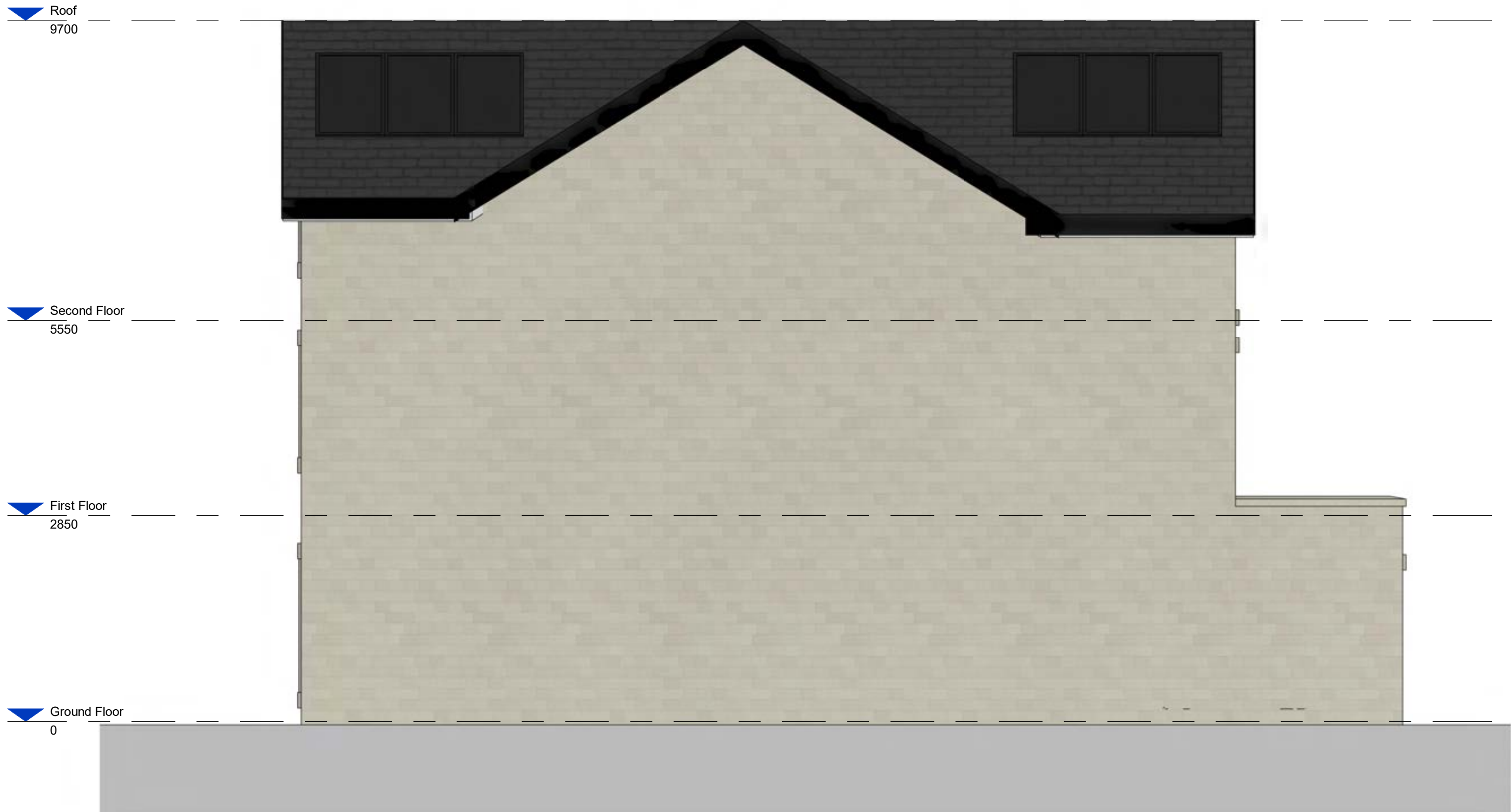
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A	28.04.26	AMENDED LAYOUT
N°	DATE	DESCRIPTION
REVISION		

CLIENT: HOME PARK AVENUE LTD					
CONTRACT: FORMER AMBULANCE STATION CEMETARY ROAD					
DRAWING TITLE: PROPOSED PLANS - Plot 1					
PROJECT N°:	25.372	Drg N°:	201	Rev:	A
PLANNING:		SCALE:			1/50
BUILDING REGS:		DATE:			28.03.26
TENDER:		DRAWN:			AG
CONSTRUCTION:		CHECKED:			



1 Front Elevation
1 : 50



4 Side 2
1 : 50



2 Rear Elevation
1 : 50



3 Side 1
1 : 50

Notes

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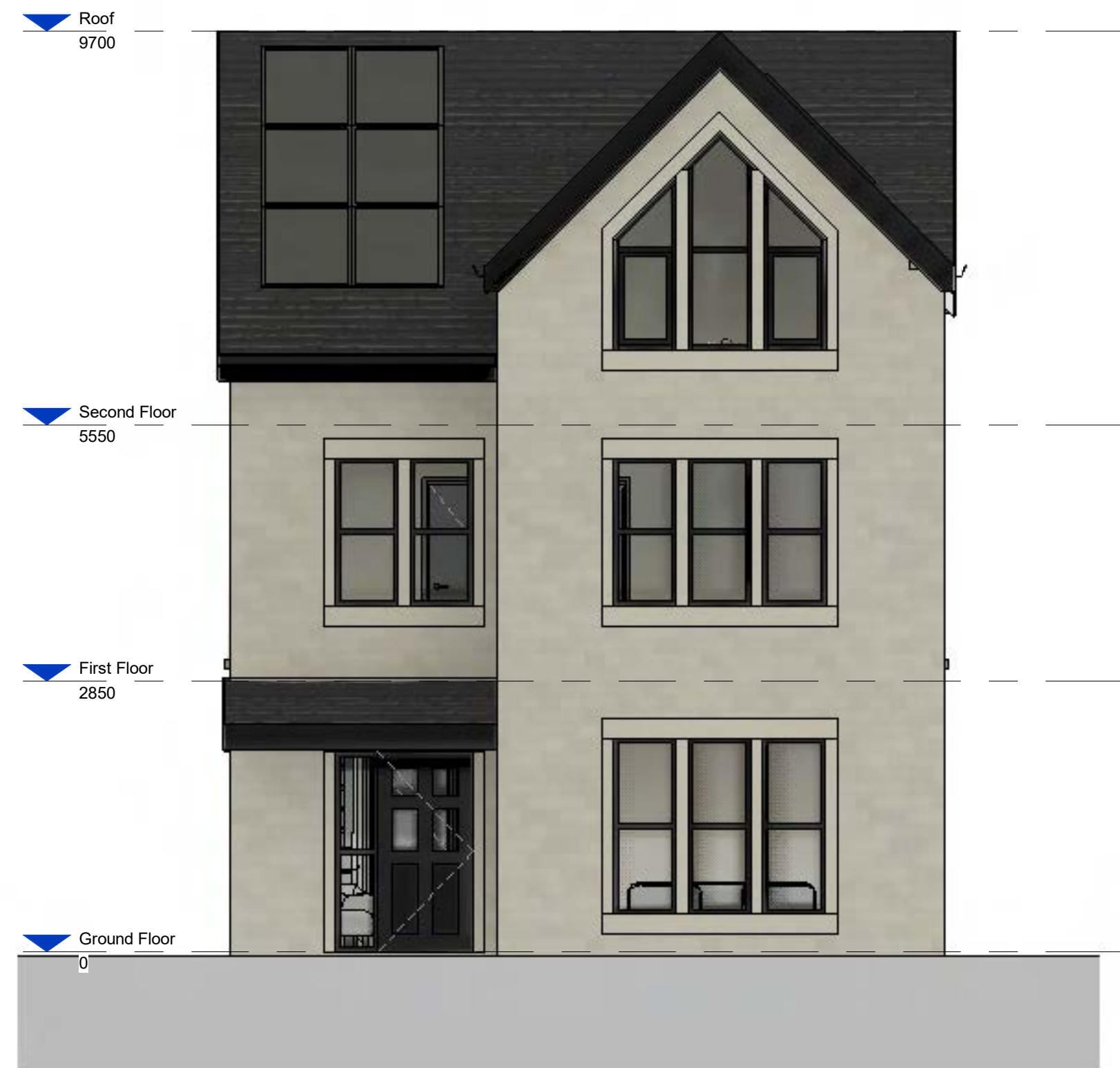
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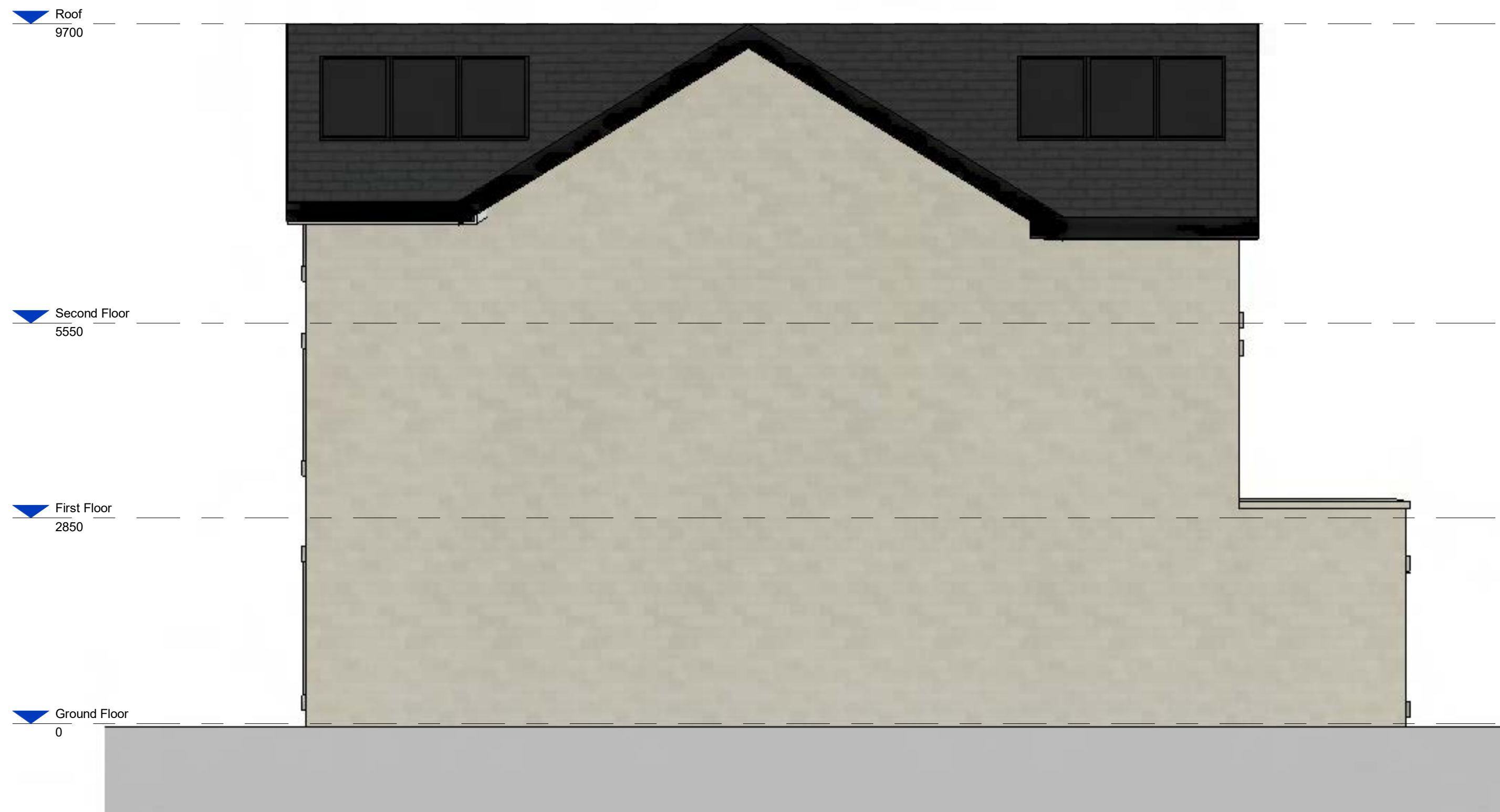
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A	28.04.26	AMENDED LAYOUT
N°	DATE	DESCRIPTION
REVISION		

CLIENT: HOME PARK AVENUE LTD					
CONTRACT: FORMER AMBULANCE STATION CEMETARY ROAD					
DRAWING TITLE: PROPOSED ELEVATIONS - PLOT 1					
PROJECT N°:	25.372	Drg N°:	202	Rev:	A
PLANNING:		SCALE:			1/50
BUILDING REGS:		DATE:			28.03.26
TENDER:		DRAWN:			AG
CONSTRUCTION:		CHECKED:			



1 Front Elevation



4 Side 2
1 : 50



2 Rear Elevation



3 **Side 1**
1 : 50

Notes

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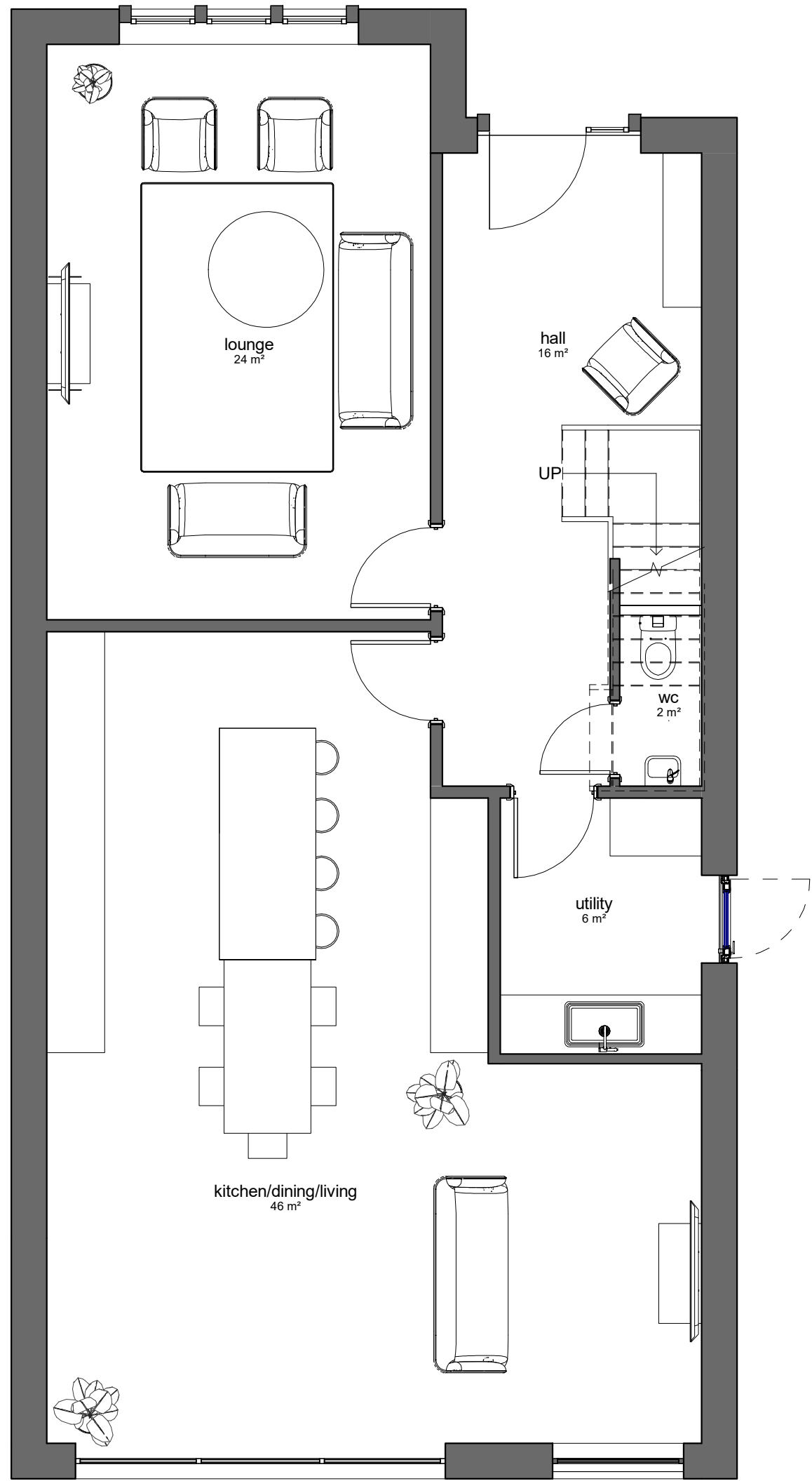
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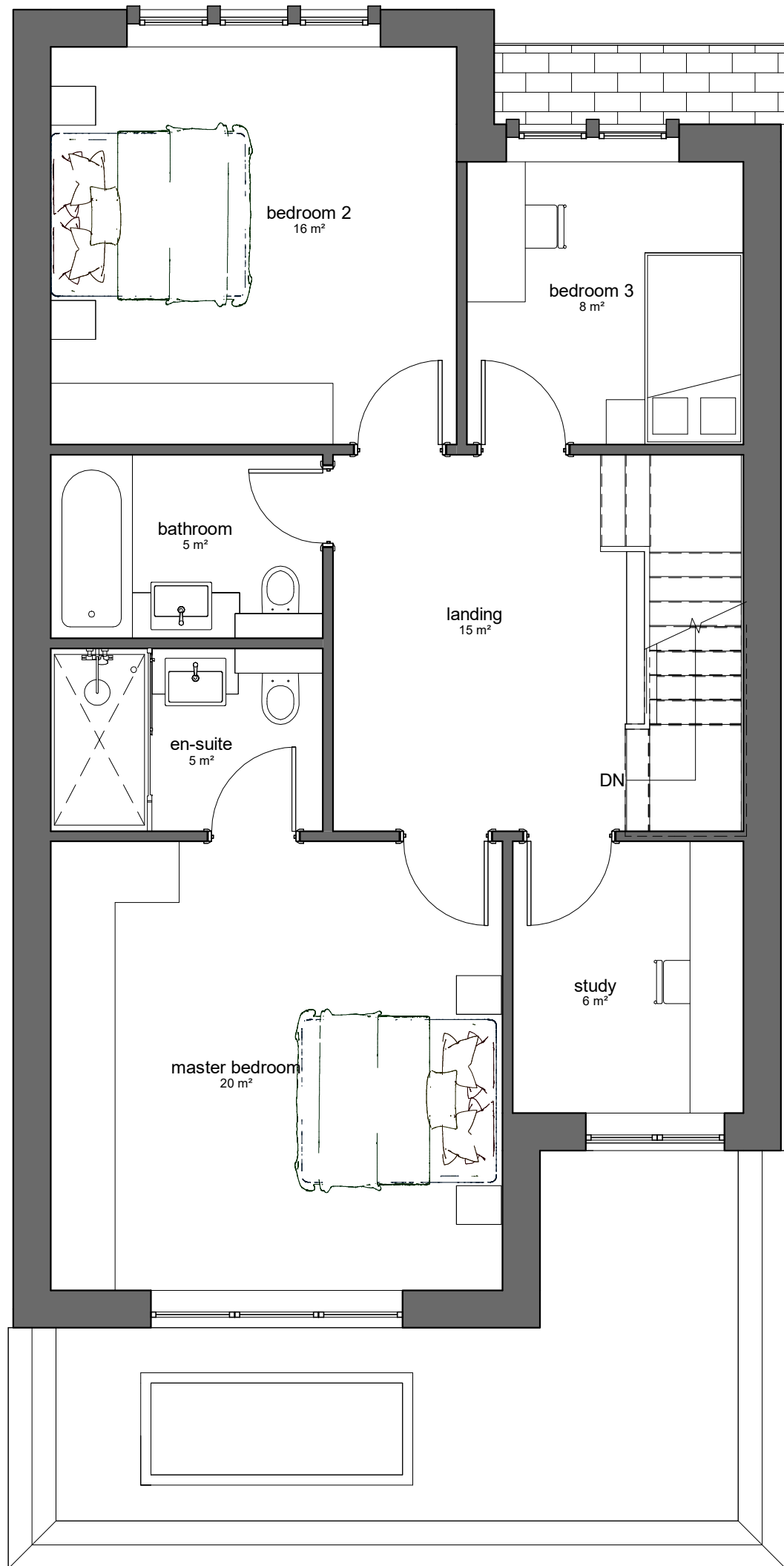
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT SPECIFICATIONS ISSUED BY HOB, BRITISH STANDARD CODES OF PRACTICE, STATUTORY REQUIREMENTS AND THE CONTRACT DOCUMENTS.

A	29.04.26	GROUND FLOOR WINDOWS AMENDED
N°	DATE	DESCRIPTION
REVISION		

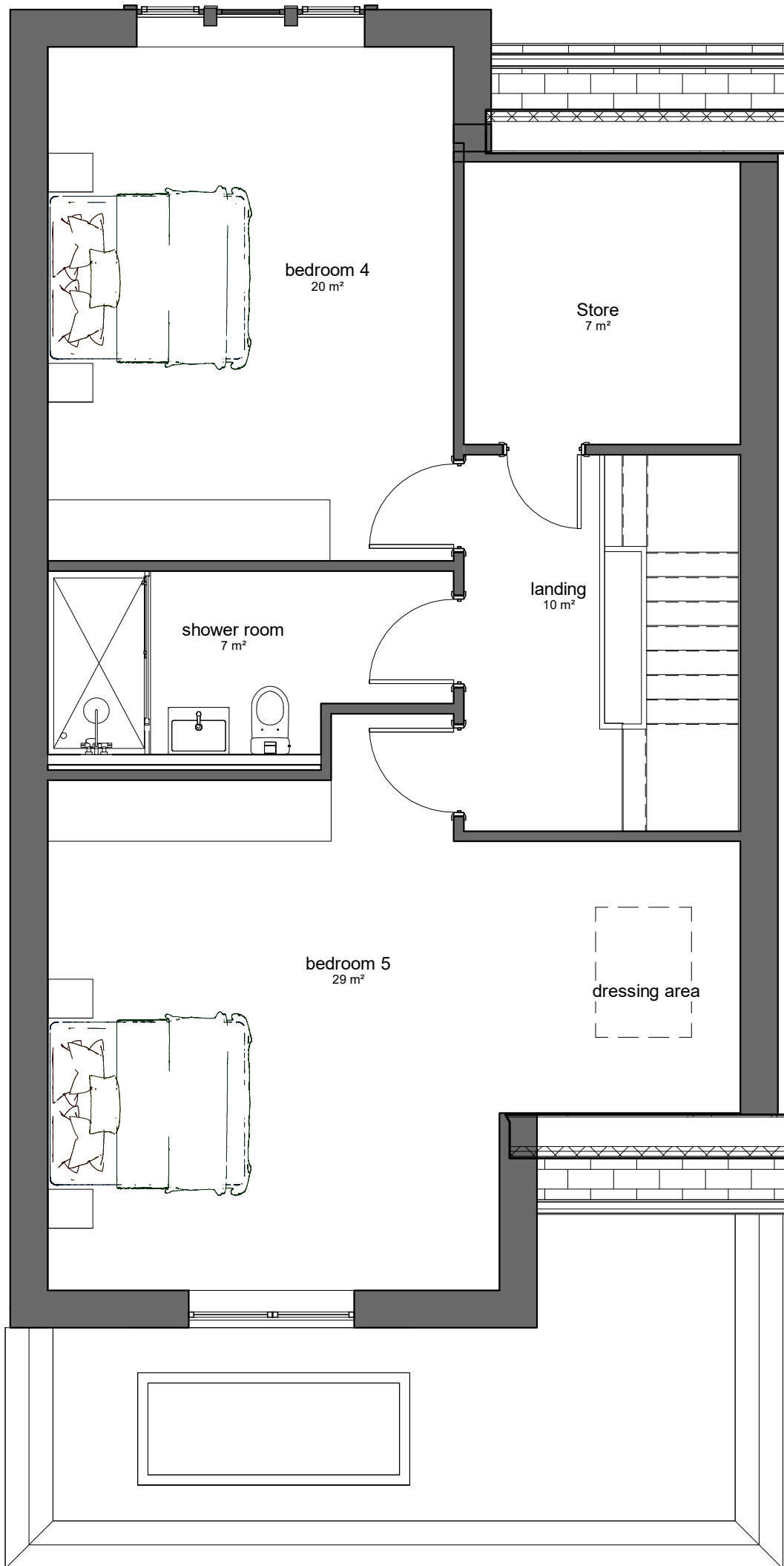
CLIENT:			
HOME PARK AVENUE LTD			
CONTRACT:			
FORMER AMBULANCE STATION CEMETARY ROAD			
DRAWING TITLE:			
PROPOSED ELEVATIONS - OPTION 2B (Plots 2 & 3)			
PROJECT N°:	25.372	Org N°:	302
		Rev:	
PLANNING:		SCALE:	1/50
BUILDING REGS:		DATE:	28.03.26
TENDER:		DRAWN:	AG
CONSTRUCTION:		CHECKED:	



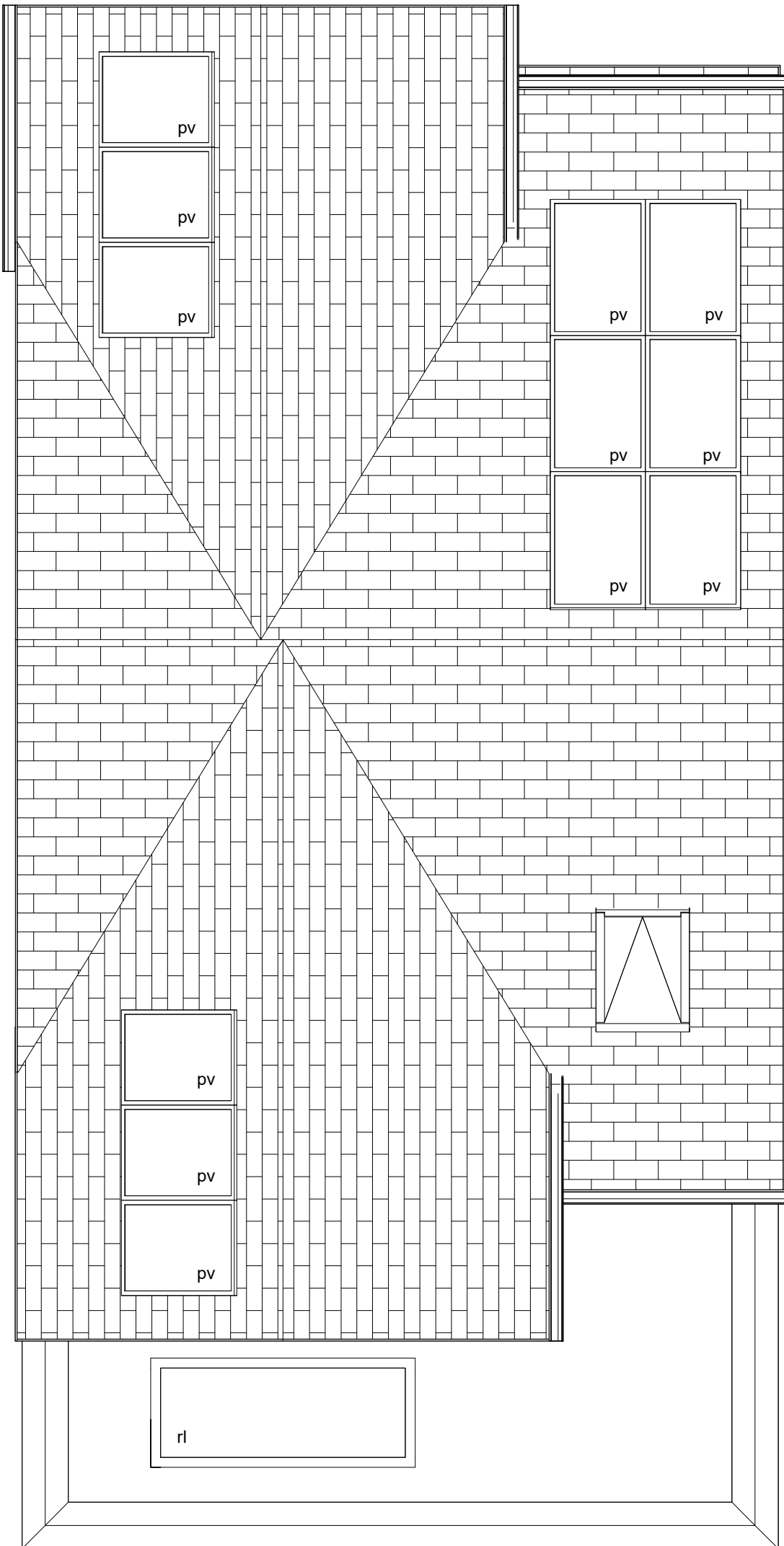
1 Ground Floor
1 : 50



2 First Floor
1 : 50



3 Second Floor
1 : 50



4 Roof
1 : 50

Notes

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A	29.04.26	GROUND FLOOR WINDOWS AMENDED
N°	DATE	DESCRIPTION
REVISION		

CLIENT: HOME PARK AVENUE LTD				
CONTRACT: FORMER AMBULANCE STATION CEMETARY ROAD				
DRAWING TITLE: PROPOSED PLANS - (Plots 2 & 3)				
PROJECT N°:	25.372	Dwg N°:	301	Rev: A
PLANNING:		SCALE:		1/50
BUILDING REGS:		DATE:		29.03.26
TENDER:		DRAWN:		AG
CONSTRUCTION:		CHECKED:		

Notes

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT HDB, ARCHITECTS, SERVICE ENGINEERS AND SUBCONTRACTOR DRAWINGS.

REVIEW ALL DRAWINGS AND REPORT ANY DISCREPANCIES TO HDB PRIOR TO COMMENCEMENT.

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS AND LEVELS INCLUDING ANY ABUTMENT TO EXISTING STRUCTURES TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT.

WORK FROM FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM THIS DRAWING.

ALL DIMENSIONS IN MILLIMETRES AND LEVELS IN METRES, TO BE CHECKED ON SITE

NO DEVIATION FROM DETAILS SHOWN ON THIS DRAWING IS ALLOWED WITHOUT HDB PRIOR PERMISSION IN WRITING.

ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT SPECIFICATIONS ISSUED BY HDB, BRITISH STANDARD CODES OF PRACTICE, STATUTORY REQUIREMENTS AND THE CONTRACT DOCUMENTS.



1 Front Street Elevation
1 : 100



2 Rear Street Elevation
1 : 100

N°	DATE	DESCRIPTION
REVISION		

CLIENT: HOME PARK AVENUE LTD					
CONTRACT: FORMER AMBULANCE STATION CEMETARY ROAD					
DRAWING TITLE: PROPOSED STREET SCENE					
PROJECT N°:	25.372	Drg N°:	206	Rev:	
PLANNING:		SCALE:		1/50	
BUILDING REGS:		DATE:		28.04.26	
TENDER:		DRAWN:		AG	
CONSTRUCTION:		CHECKED:			

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REPORT FOR NOTING

**Agenda
Item**
5

DECISION OF:	PLANNING CONTROL COMMITTEE
DATE:	01 SEPTEMBER 2026
SUBJECT:	DELEGATED DECISIONS
REPORT FROM:	HEAD OF DEVELOPMENT MANAGEMENT
CONTACT OFFICER:	DAVID MARNO
TYPE OF DECISION:	COUNCIL
FREEDOM OF INFORMATION/STATUS:	This paper is within the public domain
SUMMARY:	The report lists: Recent delegated planning decisions since the last PCC
OPTIONS & RECOMMENDED OPTION	The Committee is recommended to the note the report and appendices
IMPLICATIONS:	
Corporate Aims/Policy Framework:	Do the proposals accord with the Policy Framework? Yes
Statement by the S151 Officer: Financial Implications and Risk Considerations:	Executive Director of Resources to advise regarding risk management
Statement by Executive Director of Resources:	N/A
Equality/Diversity implications:	No
Considered by Monitoring Officer:	N/A
Wards Affected:	All listed
Scrutiny Interest:	N/A

TRACKING/PROCESS**DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

1.0 BACKGROUND

This is a monthly report to the Planning Control Committee of the delegated planning decisions made by the officers of the Council.

2.0 CONCLUSION

That the item be noted.

List of Background Papers:-None**Contact Details:-**

David Marno, Head of Development Management
Planning Services, Department for Resources and Regulation
3 Knowsley Place
Bury BL9 0EJ

Tel: 0161 253 5291

Email: d.marno@bury.gov.uk

Planning applications decided using Delegated Powers

Between 21/07/2026 and 20/08/2026



Ward:

Application No.: 72868 **App. Type:** CONDIS 12/08/2026 Approve
Location: Land off Fletcher Fold Road, Bury, BL9 9RX
Proposal: Application to discharge the statutory biodiversity net gain plan on planning permission 70805

Application No.: 73021 **App. Type:** CONDIS 31/07/2026 Approve
Location: Bury Interchange & land bounded by Pyramid Park/East Lancashire railway line/Knowsley Place Duke Street, Bury, BL9 0EJ
Proposal: Application to discharge condition 7 (water main protection), condition 13 (SBI fencing detail), condition 15 (precautionary working measures method statement), condition 16 (control and biosecurity measures method statement), condition 17 (bat/bird boxes location/specification), condition 19 construction environment management plan, condition 20 (stopping up order details), condition 22 (habitat management and monitoring plan HMMP), BNG statutory condition (biodiversity gain plan) on planning application 71834.

Application No.: 73125 **App. Type:** CONDIS 07/08/2026 Approve
Location: Land to east of M66 motorway, connecting Rochdale Road, Edenfield to Woodgate Hill WTW Compound, Bury
Proposal: Application to discharge condition 13 - Details of impacts to and measures to protect private water supplies on planning permission 66947

Application No.: 73222 **App. Type:** CONDIS 18/08/2026 Approve
Location: Kempton Heaton Avenue, situated between Bury Cemetery & Peachment Place, Bury
Proposal: Application to discharge condition 18 (Management and Maintenance of Unadopted Areas) and condition 25 (Parking Provision) on planning permission 70015 (amended by 71532)

Application No.: 73229 **App. Type:** CONDIS 07/08/2026 Approve
Location: Chamberhall Business Park, Magdalene Road, Bury, BL9 0ES
Proposal: Application to discharge condition 9 (drainage scheme) on planning permission 72790

Application No.: 73265 **App. Type:** CONDIS 21/07/2026 Split Decision
Location: Kempton Heaton Avenue, between Bury Cemetery & Peachment Place
Proposal: Application to discharge condition nos. 5 (remediation strategy) and 8 (coal mining risk) of planning permission 71532

Application No.: 73281 **App. Type:** CONDIS 03/08/2026 Approve
Location: 263 Bury Old Road, Prestwich, Manchester, M25 1JA
Proposal: Application to discharge conditions 3 (sound insulation) 4 (roller shutter door) 5 (roller shutter painted black) 6 (refuse storage & cycle parking) 7 (external doorstep on Newton Street) of planning permission 72327

Application No.: 73287 **App. Type:** CONDIS 27/07/2026 Approve
Location: Fire Station, Bury New Road, Whitefield, Manchester, M45 7SY
Proposal: Application to discharge condition 5 (Validation Report) on planning permission 70895

Application No.:	73299	App. Type:	CONDIS 07/08/2026	Approve
Location:	Land to east of M66 motorway, connecting Rochdale Road, Edenfield to Woodgate Hil WTW compound, Bury			
Proposal:	Application to part discharge condition 4 (Temporary Above Ground Structures) of planning permission 66947			
Application No.:	73308	App. Type:	CONDIS 04/08/2026	Approve
Location:	Land to east of M66 motorway connecting Rochdale Road Edenfield to Woodgate Hill WTW compound, Bury			
Proposal:	Application to part discharge condition 9 (materials management plan) and 10 (site waste management plan) of planning permission 66947			
Application No.:	73310	App. Type:	CONDIS 14/08/2026	Approve
Location:	Summerseat Island, Miller Street, Summerseat, Ramsbottom			
Proposal:	Application to discharge condition 4 (Habitat Management and Monitoring Plan), condition 5 (external appearance) and condition 6 (bird box) of planning permission 72151			
Application No.:	73318	App. Type:	CONDIS 07/08/2026	Approve
Location:	Land at junction of Bury Old Road & Rochdale Road, Edenfield & WHWTW, Sixth Avenue, Bury			
Proposal:	Application to discharge condition 7 (contaminated land) and condition 8 (remediation strategy) on planning permission 66947			
Application No.:	73324	App. Type:	CONDIS 11/08/2026	Split Decision
Location:	Fragrance Oils International Ltd, Eton Hill Road, Radcliffe, Manchester, M26 2FR			
Proposal:	Application to discharge conditions 3 (construction management), 5 (site remediation), 8 (drainage) on planning permission 71917			
Application No.:	73328	App. Type:	CONDIS 07/08/2026	Approve
Location:	Land to east of M66 motorway, connecting Rochdale Road, Edenfield to Woodgate Hill WTW Compound, Bury			
Proposal:	Application to discharge condition 14 (traffic management plan), condition 16 (construction travel plan), conditions 17 and 18 (wheel cleaning facilities) on planning permission 66947			
Application No.:	73333	App. Type:	CONDIS 14/08/2026	Approve
Location:	Land to east of M66 motorway, connecting Rochdale Road, Edenfield to Woodgate Hill WTW Compound, Bury			
Proposal:	Application to discharge condition 30 (highways works) on planning permission 66947			
Application No.:	73380	App. Type:	CONDIS 10/08/2026	Approve
Location:	Land adjacent to Bealey Industrial Estate, Dumers Lane, Radcliffe, Manchester, M26 2BD			
Proposal:	Application to discharge condition 9 (nesting birds method statement) on planning permission 71426			
Application No.:	73386	App. Type:	CONDIS 07/08/2026	Approve
Location:	Land at junction of Hollins Brook Way & Pilsworth Road, Bury, BL9 8RR			
Proposal:	Application to discharge condition 7 (construction traffic management plan) on planning permission 72656			
Application No.:	73405	App. Type:	REG5 24/07/2026	Raise No Objection
Location:	Albion Mill, Albion Street, Bury, BL8 2AE			
Proposal:	Regulation 5 notification (ref. 20568) for upgrade of existing base station, comprising the removal of 2 no. RRU and 1 no. MHA, installation of 2 no. ERS units and 2 no. MHAs fixed to wall internally; Internal upgrade of existing equipment cabinets inside building and all ancillary works thereto			

Application No.:	73408	App. Type:	CONDIS 11/08/2026	Approve
Location:	Fairfield General Hospital, Rochdale Old Road, Bury, BL9 7TD			
Proposal:	Application to discharge condition 9 (Landscape and Environmental Management) on planning permission 72500			
Application No.:	73433	App. Type:	CONDIS 07/08/2026	Approve
Location:	170 Rochdale Road, Pimhole, Bury, BL9 7DF			
Proposal:	Application to discharge condition no. 5 (Construction Traffic Management Plan) on planning permission 72691			
Application No.:	73439	App. Type:	REG5 13/08/2026	Raise No Objection
Location:	Roach Bank Road, off Pilsworth Road, Bury, BL9 8RN			
Proposal:	Regulation 5 notice of intention to upgrade existing installations; removal of existing Harrier Cabinet; existing meter pillar upgraded to meter cabinet; removal of existing HUAWEI cabinet; installation of bank of 3no. cabinets; removal of existing 15m pole and installation of 20m pole with 3no. antenna.			
Application No.:	73469	App. Type:	REG5 19/08/2026	Raise No Objection
Location:	Pavement on the east side of Pimhole Business Park, Hurst Street, Pimhole, Bury, BL9 7RT			
Proposal:	Regulation 5 notification of intention to replace existing 17.5 metre high monopole with a new 20 metre high monopole supporting 9 no. antennas, the removal of 5 no. existing equipment cabinets and their replacement with 4 no. new cabinets, and ancillary development thereto			
Application No.:	73470	App. Type:	REG5 11/08/2026	Raise No Objection
Location:	Ringley Road SW, Ringley Road, Whitefield, Greater Manchester, M45 7TP			
Proposal:	Regulation 5 notification of intention to install of 1 No. proposed Arqiva Amphenol Procom 4220-06-405-T4 omni antenna, to be mounted on a new Hutchinson mounting pole fixed to the top of the Orion streetpole			
Application No.:	73491	App. Type:	REG5 18/08/2026	Raise No Objection
Location:	Tower House, 269 Walmersley Road, Bury, BL9 6NX			
Proposal:	Regulation 5 Notice of Intention to replace and install a 20 metre high replacement street pole supporting 9 no. antennas and 4 no. new equipment cabinets			
Application No.:	73492	App. Type:	REG5 18/08/2026	Raise No Objection
Location:	Duck Club, Coppice Street, Bury, BL9 7LN			
Proposal:	Regulation 5 Notice of Intention to remove and replace of 3 no. antennas, 1 no. GPS node and 1 no. equipment cabinet and associated ancillary works thereto			
Application No.:	73505	App. Type:	PAVE 14/08/2026	Raises No Objection Subject to Condition
Location:	Sky Bar, Unit 4, Kay Gardens, 4 Market Street, Bury, BL9 0BL			
Proposal:	Consultation on application for placement of tables and chairs on public highway (Ref: TM8-20-53)			
Application No.:	73511	App. Type:	CONDIS 13/08/2026	Approve
Location:	Gorsefield County Primary School, Robertson Street, Radcliffe, Manchester, M26 0DW			
Proposal:	Application to discharge condition 4 (Drainage/SUDS) on planning permission 73158			

Ward: **Bury East**

Application No.:	71874	App. Type:	FUL	22/07/2026	Approve with Conditions
Location:	Kashmir Superstore, 134 - 136 Rochdale Road, Bury, BL9 7BD				
Proposal:	Change of Use from first floor Storage (B8) area to a Restaurant [E(b)] on the first floor (restaurant 02) , including: Two storey front extension to existing restaurant (Restaurant 01); Single-storey rear extension to form dedicated Bin Storage; replacement rear gate and installation of fire escape staircase at the rear				
Application No.:	73148	App. Type:	FUL	31/07/2026	Refused
Location:	11-13 The Rock, Bury, BL9 0JP				
Proposal:	Reconfiguration of shopfront to include new access door, window and installation of new fascia				
Application No.:	73230	App. Type:	FUL	07/08/2026	Approve with Conditions
Location:	Holy Cross College, Manchester Road, Bury, BL9 9BB				
Proposal:	External Site Security works to the front site entrance including installation of double gates; 2 no. gates with hydraulic arm closer; 2.4 metres high weld mesh fencing, turnstiles and security guard cabin.				
Application No.:	73234	App. Type:	FUL	19/08/2026	Refused
Location:	Land to east of Broad Oak Terrace, Bury, BL9 7ST				
Proposal:	Erection of garage and creation of parking area				
Application No.:	73262	App. Type:	FUL	23/07/2026	Approve with Conditions
Location:	15 Smethurst Hall Road, Bury, BL9 7TP				
Proposal:	Removal of existing conservatory and erection of single storey rear extension with raised patio area with glazed balustrade and steps to garden level				
Application No.:	73288	App. Type:	FUL	21/07/2026	Approve with Conditions
Location:	20 Castle Hill Road, Bury, BL9 7RN				
Proposal:	First floor side extension; 2 no. single storey rear extensions				
Application No.:	73297	App. Type:	ADV	14/08/2026	Approve with Conditions
Location:	12 Bolton Street, Bury, BL9 0LQ				
Proposal:	1no. fascia sign (externally illuminated)				
Application No.:	73330	App. Type:	FUL	28/07/2026	Refused
Location:	Former Bury Fire Station, The Rock, Bury, BL9 0NJ				
Proposal:	Change of use of land at former fire station to vehicle storage yard (Sui Generis)				
Application No.:	73346	App. Type:	LDCE	11/08/2026	Lawful Development
Location:	92 Heywood Street, Bury, BL9 7EA				
Proposal:	5 Bedroom House in Multiple Occupation for the Use of up to 6 People (Use Class C4)				

Ward: **Bury East - Moorside**

Application No.: 73199 **App. Type:** FUL 11/08/2026 Refused
Location: 194 Hornby Street, Bury, BL9 5BA
Proposal: Change of use of first floor from mixed use of commercial/living accommodation (Class C3/Class E) to 3 bed, 3 person (single occupancy) HMO (House in Multiple Occupation) (Class C4); Change of existing rear tiled roof to flat roof and alterations to existing elevations

Application No.: 73246 **App. Type:** FUL 31/07/2026 Approve with Conditions
Location: 36 Seedfield Road, Bury, BL9 6PD
Proposal: Raising of existing roof ridge height and roof/elevation alterations and two storey extensions at front/side/rear

Ward: **Bury East - Redvales**

Application No.: 73094 **App. Type:** FUL 30/07/2026 Approve with Conditions
Location: Land adjacent to 27-29 Tarn Drive, Bury, BL9 9QB
Proposal: Erection of 1 no. dwelling

Application No.: 73240 **App. Type:** FUL 28/07/2026 Refused
Location: Parkhills Garage, Manchester Road, Bury, BL9 9AZ
Proposal: Demolition of existing car showroom/workshop and redevelopment to provide 2no. units (1no. retail unit, 1no. food and drink unit with drive thru facility) together with car parking, amended vehicle access points, landscaping and associated works.

Application No.: 73352 **App. Type:** FUL 31/07/2026 Approve with Conditions
Location: 230 Market Street, Bury, BL9 9AB
Proposal: Single storey front/side/rear extension

Application No.: 73359 **App. Type:** FUL 18/08/2026 Refused
Location: 29 Nelson Street, Bury, BL9 9BL
Proposal: Two/single storey rear extension and new windows to rear elevation

Application No.: 73378 **App. Type:** FUL 14/08/2026 Approve with Conditions
Location: 5 Windermere Drive, Bury, BL9 9QQ
Proposal: Part single/part two storey rear extension

Application No.: 73461 **App. Type:** LDCP 07/08/2026 Lawful Development
Location: Former Floors To Go building, corner of Millett Street and Bolton Street, Bury, BL9 0JA
Proposal: Lawful Development Certificate for proposed change from Use Class E(a) (retail) to E(d) (indoor sport) for use as an indoor padel court

Ward: **Bury West**

Application No.: 73313 **App. Type:** FUL 27/07/2026 Approve with Conditions
Location: 14 Turton Close, Bury, BL8 2EE
Proposal: Single storey side & rear extensions; Side porch; Rear garden room

Application No.: 73319 **App. Type:** LDCP 21/07/2026 Lawful Development
Location: 56 Mile Lane, Bury, BL8 2JE
Proposal: Lawful development certificate for proposed use of the property as a dwellinghouse occupied by two adult residents, living together as a single household with the provision of care, falls within the Use Class C3(b).

Application No.: 73406 **App. Type:** FUL 18/08/2026 Refused
Location: 10 Ashington Drive, Bury, BL8 2TS
Proposal: Garage conversion; first floor front and side extension

Application No.: 73419 **App. Type:** FUL 18/08/2026 Approve with Conditions
Location: 428 Bolton Road, Bury, BL8 2DA
Proposal: Single storey side extension

Ward: **Bury West - Elton**

Application No.: 73355 **App. Type:** FUL 07/08/2026 Approve with Conditions
Location: 25 Woodbank Drive, Bury, BL8 1DR
Proposal: Two storey side extension to include garage; Single storey rear extension

Ward: **North Manor**

Application No.: 72690 **App. Type:** FUL 13/08/2026 Approve with Conditions
Location: 2 The Island, Railway Street, Summerseat, Ramsbottom, Bury, BL9 5QJ
Proposal: Single storey rear extension and two storey side extensions

Application No.: 73271 **App. Type:** FUL 21/07/2026 Approve with Conditions
Location: 26 Moorway, Tottington, Bury, BL8 4LF
Proposal: Single storey front extension; Render to external elevations

Application No.: 73272 **App. Type:** FUL 27/07/2026 Approve with Conditions
Location: 11 Ashborne Drive, Summerseat, Ramsbottom, Bury, BL9 5PD
Proposal: Demolition of existing garage and erection of new single storey extensions at side / rear; new front porch; raising height of ridge of roof ridge by 2.4m to create new first floor level; new roof, render to all elevations; new windows and stone sills and formation of juliette balcony at rear

Application No.: 73329 **App. Type:** FUL 28/07/2026 Approve with Conditions
Location: 22 Sandringham Drive, Tottington, Bury, BL8 4DJ
Proposal: Single Storey Side / Rear Extension; Alterations to Front Elevation

Application No.: 73366 **App. Type:** FUL 14/08/2026 Approve with Conditions
Location: 657 Walmersley Road, Bury, BL9 5JD
Proposal: Single storey side extension with bay window and retention of bin storage in front garden

Ward: Prestwich - Holyrood

Application No.: 72957 **App. Type:** FUL 04/08/2026 Approve with Conditions
Location: 70 Glebelands Road, Prestwich, Manchester, M25 1NJ
Proposal: Demolition of front porch and single storey side extension; Two storey/single storey side extension; Loft conversion with rear dormer and 2 no. rooflights; Extension of driveway and widening of vehicular dropped crossing; Raised decking with balustrade and steps into rear garden; Front porch; Amendments to fenestration; Render and cladding

Application No.: 73232 **App. Type:** FUL 05/08/2026 Refused
Location: 25 Beeston Grove, Whitefield, Manchester, M45 6UD
Proposal: Erection of 1.5m high boundary fence at front/side

Ward: Prestwich - Sedgley

Application No.: 73290 **App. Type:** FUL 31/07/2026 Approve with Conditions
Location: Mikvah, 102-104 Albert Avenue, Prestwich, Manchester, M25 0LU
Proposal: Variation of condition no. 2 (approved plans) following grant of planning permission 70511 (Single storey rear/side extension for use as changing room and shower area): Extend part of the approved rear elevation so that part of the rear wall aligns with the extent of the approved laundry/outrigger element to create a staggered rear elevation

Application No.: 73294 **App. Type:** FUL 21/07/2026 Approve with Conditions
Location: 17 Windsor Road, Prestwich, Manchester, M25 0DZ
Proposal: First floor front extension; single storey rear flat roof extension with roof lantern; rendering to elevations and raised terrace area at rear

Application No.: 73311 **App. Type:** FUL 21/07/2026 Approve with Conditions
Location: 3 Princess Avenue, Prestwich, Manchester, M25 0LG
Proposal: Variation of condition 2 (approved plans) on planning permission 72600 (First floor side extension and loft conversion with front and rear dormers): Amend front dormer position

Application No.: 73327 **App. Type:** FUL 13/08/2026 Approve with Conditions
Location: 74 Meade Hill Road, Prestwich, Manchester, M8 4LP
Proposal: Two storey/single storey side/rear extension; Single storey rear extension

Application No.: 73348 **App. Type:** FUL 28/07/2026 Approve with Conditions
Location: 2 Watkins Drive, Prestwich, Manchester, M25 0DS
Proposal: first floor extension at side, two storey extension at rear and single storey extension at rear

Application No.: 73349 **App. Type:** FUL 31/07/2026 Approve with Conditions
Location: 49 Dovedale Avenue, Prestwich, Manchester, M25 0BT
Proposal: Single storey rear extension; First floor side extension

Application No.: 73358 **App. Type:** FUL 10/08/2026 Approve with Conditions
Location: 20 Princess Avenue, Prestwich, Manchester, M25 0LG
Proposal: single storey side extension; single storey rear extension; front porch; basement conversion with external steps to side and light well at front

Ward: **Prestwich - St Mary's**

Application No.: 73213 **App. Type:** FUL 24/07/2026 Approve with Conditions
Location: 116 Lowther Road, Prestwich, Manchester, M25 9QP
Proposal: Removal of existing conservatory/side extension and erection of single storey extension at side/rear

Application No.: 73277 **App. Type:** FUL 20/08/2026 Approve with Conditions
Location: 422 Bury New Road, Prestwich, Manchester, M25 1BD
Proposal: Change of use from hot food takeaway (Sui Generis) to restaurant/café (Class E(b))

Application No.: 73350 **App. Type:** FUL 31/07/2026 Approve with Conditions
Location: 2 Hollyedge Drive, Prestwich, Manchester, M25 9RG
Proposal: Ground floor side and front wraparound extension

Application No.: 73430 **App. Type:** LDCEP 14/08/2026 Lawful Development
Location: 2 Farm Hill, Clifton Road, Prestwich, Manchester, M25 3JX
Proposal: Lawful Development Certificate for proposed demolition of existing conservatory and erection of a rear extension

Ward: **Radcliffe - East**

Application No.: 73158 **App. Type:** FUL 21/07/2026 Approve with Conditions
Location: Gorsefield County Primary School, Robertson Street, Radcliffe, Manchester, M26 0DW
Proposal: Single storey nursery extension

Application No.: 73243 **App. Type:** LDCE 28/07/2026 Refused
Location: Unit 7, Globe Industrial Estate, Darbyshire Street, Radcliffe, Manchester, M26 2TA
Proposal: Lawful Development Certificate for Existing use of a former car tyre shop as an indoor padel facility

Application No.: 73322 **App. Type:** FUL 21/07/2026 Approve with Conditions
Location: 11 Meriden Close, Radcliffe, Manchester, M26 4FL
Proposal: Erection of Outbuilding in Rear Garden

Application No.: 73383 **App. Type:** FUL 07/08/2026 Approve with Conditions
Location: 43 Sycamore Drive, Radcliffe, Manchester, M26 4SA
Proposal: demolish existing front porch and rear conservatory; new front porch; garage conversion; first floor extension over existing single storey garage; single storey rear extension

Application No.: 73411 **App. Type:** DEM 05/08/2026 Prior Approval Required and Granted
Location: Pioneer Mills, Milltown Street, Radcliffe, Manchester, M26 9WN
Proposal: Prior approval for demolition – demolition of red brick mill, single storey, three storey and red brick chimney

Ward: **Radcliffe - North and Ainsworth**

Application No.: 71329 **App. Type:** OUT 21/07/2026 Approve with Conditions
Location: Land to side of Genesis House, Stopes Road, Radcliffe, Manchester, M26 3TL
Proposal: Outline application (all matters reserved) for new warehouse unit (Class B8)

Application No.: 73363 **App. Type:** FUL 07/08/2026 Approve with Conditions
Location: 429 Bury And Bolton Road, Radcliffe, Manchester, M26 4LJ
Proposal: Variation of condition no. 2 (approved plans) on planning permission 72977 (Two Storey/ Single Storey Rear Extension; Garage Conversion with First Floor Side Extension; Front Porch): Single storey rear extension to Two storey rear extension

Application No.: 73393 **App. Type:** FUL 14/08/2026 Approve with Conditions
Location: 43 Stanley Road, Radcliffe, Manchester, M26 4HG
Proposal: Single storey rear extension and first floor side extension

Application No.: 73404 **App. Type:** DEM 04/08/2026 Prior Approval Required and Granted
Location: Fold Mill, Bradley Lane, Radcliffe, Bolton, BL2 6RA
Proposal: Prior approval for demolition – demolition of rear wall and roof associated with the building located in Zone 8.

Application No.: 73423 **App. Type:** LDCEP 21/07/2026 Lawful Development
Location: 90 Turks Road, Radcliffe, Manchester, M26 4QB
Proposal: Lawful development certificate for proposed change of use from dwellinghouse (Class C3a) to a care home for one child aged 7-18 with up to three staff working on a rota basis (Class C2).

Ward: **Radcliffe - West**

Application No.: 72849 **App. Type:** LDCE 19/08/2026 Lawful Development
Location: House at rear of Hawthorn Hotel, Stand Lane, Radcliffe, Manchester, M26 1JR
Proposal: Lawful Development Certificate that the dwelling is being used as annexe accommodation in association with the management of the Hawthorn Hotel in accordance with Condition no. 3 pursuant to application 62382

Application No.: 73312 **App. Type:** FUL 18/08/2026 Approve with Conditions
Location: 53 Greendale Drive, Radcliffe, Manchester, M26 1UE
Proposal: Two storey side extension; Single storey rear extension

Ward: **Ramsbottom**

Application No.: 73133 **App. Type:** FUL 07/08/2026 Refused
Location: 30 Kay Brow, Ramsbottom, Bury, BL0 9AY
Proposal: Erection of 1.83m high boundary fence/gate along property boundary on Grants Lane

Application No.: 73315 **App. Type:** FUL 07/08/2026 Approve with Conditions
Location: 41 Palmerston Close, Ramsbottom, Bury, BL0 9YN
Proposal: Demolition of existing garage; Two storey side extension; Front porch

Application No.: 73373 **App. Type:** FUL 31/07/2026 Approve with Conditions
Location: 1 Hazelhurst Close, Ramsbottom, Bury, BL0 9FB
Proposal: Removal of existing conservatory; Single storey rear extension

Application No.: 73377 **App. Type:** GPDE 05/08/2026 Prior Approval Not Required - Extension
Location: 28 Sims Close, Ramsbottom, Bury, BL0 9NT
Proposal: Prior approval for proposed single storey rear extension

Application No.: 73438 **App. Type:** LDCP 14/08/2026 Lawful Development
Location: 239 Whalley Road, Shuttleworth, Ramsbottom, Bury, BL0 0ED
Proposal: Lawful Development Certificate for proposed erection of a detached single-storey outbuilding within the rear garden

Application No.: 73480 **App. Type:** LDCP 18/08/2026 Lawful Development
Location: 180B Bolton Street, Ramsbottom, Bury, BL0 9JE
Proposal: Lawful Development Certificate for proposed single storey rear extension to be built under permitted development rights

Ward: **Whitefield + Unsworth - Besses**

Application No.: 73136 **App. Type:** FUL 05/08/2026 Approve with Conditions
Location: 10 Bury New Road, Whitefield, Manchester, M45 7FJ
Proposal: Change of use from dwellinghouse (Class C3(a)) to children's residential care home (Class C2) including the retention of the rear boundary fencing.

Application No.: 73367 **App. Type:** FUL 07/08/2026 Approve with Conditions
Location: 118 Bury New Road, Whitefield, Manchester, M45 6AD
Proposal: Installation of ATM machine

Application No.: 73368 **App. Type:** ADV 31/07/2026 Approve with Conditions
Location: 118 Bury New Road, Whitefield, Manchester, M45 6AD
Proposal: Installation of 1 no. illuminated surround sign to ATM

Ward: **Whitefield + Unsworth - Pilkington Park**

Application No.: 73184 **App. Type:** FUL 27/07/2026 Approve with Conditions
Location: Pinfold Court, Pinfold Lane, Whitefield, Manchester, M25 7NZ
Proposal: Installation of 5 no. New Steel Frames to Support Existing Balconies to Block of Flats and new balcony to replace 2nd floor failed balcony to west elevation

Application No.: 73334 **App. Type:** FUL 03/08/2026 Approve with Conditions
Location: 21 Ferndale Avenue, Whitefield, Manchester, M45 7GP
Proposal: rendering of existing front boundary wall; installation of 2no. electric gates and pedestrian gate

Application No.:	73390	App. Type:	FUL	14/08/2026	Approve with Conditions
Location:	11 Old Hall Road, Whitefield, Manchester, M45 7QW				
Proposal:	Two storey/single storey side/rear extension; Front porch				
Application No.:	73403	App. Type:	FUL	14/08/2026	Approve with Conditions
Location:	15 Oakdale Close, Whitefield, Manchester, M45 7LU				
Proposal:	First floor rear extension; loft conversion including raising of roof ridge height by 1m; 1 no. rear dormer; 2 no. front dormers, 2 no. side dormer and 4 no. front velux windows				
Application No.:	73415	App. Type:	GPDE	07/08/2026	Prior Approval Not Required - Extension
Location:	2 Ross Avenue, Whitefield, Manchester, M45 7FH				
Proposal:	Prior approval for proposed single storey rear extension				
Application No.:	73416	App. Type:	GPDE	03/08/2026	Prior Approval Not Required - Extension
Location:	2 Thorp Street, Whitefield, Manchester, M45 7TH				
Proposal:	Prior approval for the erection of a single-storey rear extension				

Ward: Whitefield + Unsworth - Unsworth

Application No.:	73005	App. Type:	FUL	27/07/2026	Approve with Conditions
Location:	44 Oakwell Drive, Bury, BL9 8LB				
Proposal:	Single storey front and rear infill extensions with loft conversion, 2 no. side dormers and raised roof ridge				
Application No.:	73321	App. Type:	FUL	14/08/2026	Approve with Conditions
Location:	26 Heaton Close, Bury, BL9 8BH				
Proposal:	Single storey side garage extension following demolition of the existing garage				
Application No.:	73335	App. Type:	GPDE	21/07/2026	Prior Approval Not Required - Extension
Location:	13 Melrose Close, Whitefield, Manchester, M45 8XZ				
Proposal:	Prior approval for proposed single storey rear extension				
Application No.:	73374	App. Type:	FUL	14/08/2026	Approve with Conditions
Location:	10 Kentmere Close, Bury, BL9 8EY				
Proposal:	Single storey rear extension				
Application No.:	73389	App. Type:	FUL	14/08/2026	Approve with Conditions
Location:	24 Lindale Avenue, Bury, BL9 8ED				
Proposal:	First floor rear extension; Single storey rear extension; Loft conversion with rear dormer and juliette balcony; Front porch				
Application No.:	73400	App. Type:	FUL	14/08/2026	Approve with Conditions
Location:	13 Crossfield Street, Bury, BL9 9TF				
Proposal:	Part two storey / part single storey side extension; single storey rear extension; front porch extension				

Application No.:	73426	App. Type:	LDCP	14/08/2026	Lawful Development
Location:	89 Ajax Drive, Bury, BL9 8EF				
Proposal:	Lawful Development Certificate for proposed single storey side extension				
Application No.:	73448	App. Type:	LDCP	31/07/2026	Lawful Development
Location:	95 Hollins Lane, Bury, BL9 8AB				
Proposal:	Lawful Development Certificate for proposed demolition of existing conservatory and addition of single storey rear extension.				

Total Number of Applications Decided: 102

REPORT FOR NOTING

**Agenda
Item**
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DECISION OF:	PLANNING CONTROL COMMITTEE
DATE:	01 SEPTEMBER 2026
SUBJECT:	PLANNING APPEALS
REPORT FROM:	HEAD OF DEVELOPMENT MANAGEMENT
CONTACT OFFICER:	DAVID MARNO
TYPE OF DECISION:	COUNCIL
FREEDOM OF INFORMATION/STATUS:	This paper is within the public domain
SUMMARY:	Planning Appeals: - Lodged - Determined Enforcement Appeals - Lodged - Determined
OPTIONS & RECOMMENDED OPTION	The Committee is recommended to the note the report and appendices
IMPLICATIONS:	
Corporate Aims/Policy Framework:	Do the proposals accord with the Policy Framework? Yes
Statement by the S151 Officer: Financial Implications and Risk Considerations:	Executive Director of Resources to advise regarding risk management
Statement by Executive Director of Resources:	N/A
Equality/Diversity implications:	No
Considered by Monitoring Officer:	N/A

Wards Affected:	All listed
Scrutiny Interest:	N/A

TRACKING/PROCESS

DIRECTOR:

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

1.0 BACKGROUND

This is a monthly report to the Committee of the Planning Appeals lodged against decisions of the authority and against Enforcement Notices served and those that have been subsequently determined by the Planning Inspectorate.

Attached to the report are the Inspectors Decisions and a verbal report will be presented to the Committee on the implications of the decisions on the Appeals that were upheld.

2.0 CONCLUSION

That the item be noted.

List of Background Papers:-

Contact Details:-

David Marno, Head of Development Management
Planning Services, Department for Resources and Regulation,
3 Knowsley Place ,Bury BL9 0EJ

Tel: 0161 253 5291

Email: d.marno@bury.gov.uk

**Planning Appeals Lodged
between 21/07/2026 and 20/08/2026**



Application No.: 72978/FUL

Decision level: DEL

Recommended Decision: Refuse

Applicant: Mrs Lorraine Mitchell

Location: Westgate, 339 Manchester Road, Ramsbottom, Bury, BL9 5NA

Appeal lodged: 24/07/2026

Appeal Type: Written Representations

Proposal: Creation of new front driveway including formation of vehicular crossing over the pavement

Application No.: 72985/FUL

Decision level: DEL

Recommended Decision: Refuse

Applicant: AJ & MH Properties Ltd

Location: 33 Knowsley Street, Bury, BL9 0ST

Appeal lodged: 27/07/2026

Appeal Type: Written Representations

Proposal: Change of use from a 6 bed/6 person HMO (Use Class C4) to a 7 bed/7 person HMO (Sui Generis)

Application No.: 73090/FUL

Decision level: DEL

Recommended Decision: Refuse

Applicant: Rachel Hankinson

Location: Land to rear of 354 Manchester Road, Bury, BL9 9NR

Appeal lodged: 06/08/2026

Appeal Type: Written Representations

Proposal: Erection of 1 no. dwelling

Application No.: 73159/FUL

Decision level: DEL

Recommended Decision: Refuse

Applicant: Prestwich BH Ltd

Location: 72-74 Kings Road, Prestwich, Manchester, M25 0LN

Appeal lodged: 07/08/2026

Appeal Type: Written Representations

Proposal: Change of use of 72 Kings Road from residential dwelling (Class C3) to synagogue (Class F1(f)); two storey side extension to link to existing synagogue at 74 Kings Road and external alterations

Total Number of Appeals Lodged: 4

**Planning Appeals Decided
between 21/07/2026 and 20/08/2026**



Application No.: 72260/FUL

Decision level: DEL

Recommended Decision: Refuse

Applicant: Christine Gill

Location: Hilsden Farm Stables, Ringley Road West, Radcliffe, M26 1DW

Proposal: Application for permission in principle for erection of up to 4 no. dwellings

Appeal Decision: Dismissed

Date: 17/08/2026

Appeal type: Written Representations



Appeal Decision

Site visit made on 14 July 2026

by K Mee BA(Hons) MA MRTPI

an Inspector appointed by the Secretary of State

Decision date: 17th August 2026

Appeal Ref: 6007316

Hilsden Farm, Radcliffe, Bury M26 1DW

- The appeal is made under section 78 of the Town and Country Planning Act 1990 (as amended) against a refusal to grant permission in principle.
 - The appeal is made by Christine Gill against the decision of Bury Metropolitan Borough Council.
 - The application Ref is 72260.
 - The development proposed is described as: construction of up to 4 dwellings.
-

Decision

1. The appeal is dismissed.

Background and Preliminary Matters

2. The proposal is for permission in principle. Planning Practice Guidance (PPG) advises that this is an alternative way of obtaining planning permission for housing-led development. The permission in principle route has 2 stages: the first stage (or permission in principle stage) establishes whether a site is suitable in-principle and the second (“technical details consent”) stage is when the detailed development proposals are assessed. This appeal relates to the first of these 2 stages.
3. The scope of the considerations for permission in principle is limited to location, land use and the amount of development. All other matters are considered as part of a subsequent Technical Details Consent application if permission in principle is granted. Drawing Ref: 22/107/C01 shows a concept site layout and elevations, and I have considered these as indicative only.
4. An applicant can apply for permission in principle for a range of dwellings by expressing a minimum and maximum net number of dwellings as part of the application. In this instance, permission in principle has been sought for up to 4 dwellings.

Main Issue

5. Given the above, the main issue is whether the site is suitable having regard to its location, proposed land use and the amount of development, in relation to:
 - whether the proposal would constitute inappropriate development in the Green Belt, having regard to the National Planning Policy Framework (the Framework) and any relevant development plan policies, and the effect on openness;
 - whether the amount of development proposed would represent an efficient use of land; and

- whether any harm by reason of inappropriateness, and any other harm, would be clearly outweighed by other considerations, so as to amount to very special circumstances required to justify the proposal.

Reasons

Whether inappropriate development in the Green Belt

6. The appeal site is located within the Green Belt. The Framework states that the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence. Development in the Green Belt is inappropriate unless one of the exceptions stated in the Framework applies. The appellant asserts that the proposal would meet the exceptions set out under paragraphs 154g) and 155 of the Framework.

Whether previously developed land

7. The exception under Paragraph 154g) of the Framework allows for the partial or complete redevelopment of previously developed land (PDL), including a material change of use to residential, which would not cause substantial harm to the openness of the Green Belt.
8. The Framework defines PDL as 'land which has been lawfully developed and is or was occupied by a permanent structure and any fixed surface infrastructure associated with it, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed)'.
9. From the evidence before me and my site visit, the appeal site contains a range of existing development, including stables, portable buildings, storage containers, manège, hardstanding and access tracks, although a significant proportion remains open and vegetated. The buildings are modest in scale, and the site is only partially enclosed by low-level open fencing. As a result, it retains an open character that reflects the surrounding fields and prevailing agricultural landscape.
10. The presence of permanent buildings, together with access tracks and manège, means that part of the site clearly comprises PDL. This remains the case notwithstanding the presence of some temporary structures and the fact that a significant proportion of the site is open and appears not to have been previously developed.
11. Whilst the definition of PDL includes land within the curtilage of the developed land, the extent of any such curtilage in this case is uncertain. No substantive evidence has been provided to establish its extent, and my site inspection did not resolve the matter. In particular, the enclosed paddock to the north-west of the manège shows no apparent evidence of previous development. Moreover, the southern and western boundaries are not physically defined, with vegetation blending into the adjoining field and surrounding land. Accordingly, I cannot be satisfied as to the extent of the curtilage associated with the PDL, nor that it encompasses the appeal site in its entirety.
12. Turning to openness, this is an essential characteristic of the Green Belt. It can be perceived both spatially and visually. At this stage my assessment relates to the principle of the site for residential development, and does not include details such as height, massing, scale and design, which are to be considered at the technical

details stage. From my site visit, I observed that development on the appeal site comprises a limited number of modestly scaled buildings, including temporary buildings, together with informal hard surfacing to access tracks, a manège and some low-level open fencing. The remainder consists of open, vegetated land.

13. Spatially, the proposal would introduce a substantially greater built presence. Whilst the proposed dwellings are indicatively shown as single storey, they would likely exceed the height of much of the existing low-profile development on the site. Moreover, the proposed housing, access road, driveways and associated domestic features, including boundary treatments, parked vehicles and garden paraphernalia, would result in a markedly more urbanising form of development than the existing equestrian use, which is characteristic of a rural setting. Despite its setback from the highway, the open character and topography of the surrounding landscape would render the proposed development readily visible from a variety of public and private vantage points.
14. Consequently, the proposal would diminish the openness of the Green Belt in both visual and spatial terms. Given the uncertainty surrounding the extent of the curtilage associated with the PDL, and the conspicuous urbanising effect of the proposed development within an otherwise open rural landscape, I find that the proposal would result in substantial harm to openness. Accordingly, the proposal would not satisfy the exception under paragraph 154g) of the Framework.

Whether grey belt land

15. Paragraph 155 of the Framework advises that the development of homes in the Green Belt should not be regarded as inappropriate where 4 criteria are met, including a) where it would utilise grey belt land and would not fundamentally undermine the purposes (taken together) of the remaining Green Belt across the plan area, b) where there is a demonstrable unmet need, c) where the development would be in a sustainable location considering paragraphs 110 and 115 of the Framework and d) where applicable the 'Golden Rules' are met.
16. With regard to criterion a), the main parties dispute whether the appeal site comprises grey belt land. The Framework defines grey belt land as land that does not strongly contribute to any of purposes a), b), or d) in paragraph 143. These are: a) to check the unrestricted sprawl of large built-up areas, b) prevent neighbouring towns merging into one another, and d) preserve the setting and special character of historic towns.
17. The main parties agree that the appeal site does not strongly contribute to purposes b) or d) and I see no reason to disagree. However, the dispute arises with regard to purpose a).
18. From the evidence before me and my site visit, although the appeal site contains a range of existing development, including stables, storage buildings and containers, manège, hardstanding and access tracks, a significant proportion remains open and vegetated. The limited enclosure provided by low-level open fencing allows the site to retain an open character that reflects the surrounding fields and prevailing agricultural landscape.
19. The main parties agree that the appeal site forms part of a wider parcel of land, referred to as BU-BA46 in the Greater Manchester Green Belt Assessment 2016 (GBA). It is located south of the A667 and is accessed via a track at the end of a

row of dwellings. Whilst a relatively modern housing estate lies on the opposite side of the A667, with a country park beyond, the character of the area to the south of the A667 is predominantly rural. Aside from the existing ribbon of dwellings, the surrounding landscape is characterised by open fields, interspersed with occasional farms and associated buildings, resulting in a largely open countryside character.

20. It is not disputed by the main parties that the GBA identifies the wider parcel of BU-BA46 as playing a strong role in inhibiting ribbon development south along the A667. However, in this respect I have also had regard to the cited appeal decision which concludes that when considering the contribution that land makes to the relevant Green Belt purposes, the emphasis should be on the land where the development would take place rather than the wider area within which it lies. As a result, the focus of this appeal should similarly be on the role of the site and whether it comprises grey belt land, rather than on the wider role of parcel BU-BA46.
21. The PPG sets out a number of considerations relevant to assessing the contribution of land to Green Belt purpose a). Although the site is not free from existing development, it is surrounded by open fields and lacks nearby physical features capable of restricting and containing further development. Furthermore, it is adjacent or near to a large built-up area and, if developed for residential purposes, would result in an incongruous pattern of development. I therefore find that the land makes a strong contribution to preventing urban sprawl.
22. Turning to criterion b), there is no dispute between the parties that the Council cannot demonstrate a 5-year supply of deliverable housing land. Consequently, there is an unmet need for housing in the area, and the proposal would comply with this requirement.
23. Criterion c) requires development to be in a sustainable location having regard to paragraphs 110 and 115 of the Framework. The main parties do not dispute that the site is within a sustainable location. Based on the evidence before me, and my site visit, I concur on this matter.
24. Criterion d) requires the application of the 'Golden Rules', however, these only apply to major development. Consequently, given the scale of the proposal, criterion d) is not pertinent to the appeal proposal.
25. Therefore, whilst criteria b) and c) would be met, and criterion d) is not necessary to be complied with in this case, I find that the site would not comply with the requirements of criterion a) set out under paragraph 155 of the Framework and would not meet with this exception to inappropriate development.
26. From the evidence before me, I have no reason to conclude that the proposed development would meet any of the other exceptions set out in the Framework and therefore the proposal would amount to inappropriate development in the Green Belt. This would be contrary to the Framework referred to above, unless very special circumstances (VSC) have been demonstrated. I will return to this matter later in my decision.

Amount of Development

27. Policy JP-H4 of the Places for Everyone Joint Development Plan Document 2022-2039 (March 2024) (the DPD) sets out the expectations on minimum net density for new residential development in this type of location, requiring at least 35 dwellings per hectare (dph). The appeal site has an overall site area of around 0.48ha, or 0.4ha if the access road is excluded, with up to 4 dwellings proposed. Overall, this would represent a density of around 8.3 dph, or 10 dph if excluding the access road.
28. The proposal would therefore be substantially less than that normally sought by the development plan, which the Council considers would represent an inefficient use of land. However, Policy JP-H4 of the DPD also states that lower densities may be acceptable where they can be clearly justified by either local housing market issues or site-specific issues, such as design context and any potential impact on the wider landscape.
29. The appellant asserts that the proposal prioritises quality over density. They contend that a more intensive form of development would fail to reflect the character and layout of the existing site, cause greater harm to Green Belt openness, and reduce opportunities for landscaping and the delivery of a 10% biodiversity net gain.
30. The indicative layout suggests that 4 detached bungalows could be accommodated on the appeal site. However, to comply with policy requirements, the site would be expected to deliver at least 14 dwellings. Given my findings above, and having regard to the site's Green Belt location, it is reasonable to conclude that development at the level required by the policy would result in a markedly more intensive and urbanising form of development than that shown indicatively. In these specific circumstances, a scheme of higher density, with greater built mass or site coverage, would consequently have a more pronounced effect on the surrounding landscape.
31. I therefore find that the proposal would make efficient use of land resulting in an acceptable amount of development. Accordingly, it would comply with Policy JP-H4 of the DPD which seeks to secure new housing densities achieve efficient use of land and high-quality design, but which are appropriate to the location. I have also had due regard to paragraph 130 of the Framework in respect of this main issue.

Other Considerations

32. The proposal would deliver up to 4 dwellings, which would support the Government's objective of significantly boosting the supply of housing. As a small site it could be delivered relatively quickly. The Council confirms that it cannot demonstrate a 5-year housing land supply, with a current supply of just over 4 years. I therefore find that there is a moderate shortfall in the supply of housing land and whilst the proposal is only for up to 4 dwellings, it would nevertheless make a positive contribution. I attribute significant weight to this benefit.
33. Furthermore, the proposal would deliver economic benefits arising during the construction phase and once occupied, with future occupiers contributing to local expenditure in shops and services. The delivery of biodiversity net gain would also represent a tangible environmental benefit.

Planning Balance and Conclusion

34. As set out above, I have found that the proposal would be inappropriate development in the Green Belt, which would cause harm to its openness. Paragraph 153 of the Framework states that I should afford substantial weight to any harm to the Green Belt, including harm to its openness. I find that the benefits, whilst they would be significant in combination, would not clearly outweigh this harm. Consequently, the VSC necessary to justify the proposal do not exist in this case.
35. Given the Council are unable to demonstrate a sufficient housing land supply, I am referred to paragraph 11 of the Framework. However, I have found that the proposal would be inappropriate development in the Green Belt and that it would cause harm to its openness. In the absence of VSC, I find that this constitutes a strong reason for refusing the proposal and, therefore, the presumption in favour of sustainable development does not apply in this case.
36. Accordingly, for the reasons given above, the proposal would conflict with the development plan as a whole. The material considerations in this case, including the Framework, do not indicate that the decision should be taken otherwise than in accordance with the development plan. Therefore, the appeal should be dismissed

K Mee

INSPECTOR

The Ombudsman's final decision

Summary: We will not investigate Mr X's complaint about how the Council handled his anti-social behaviour, planning enforcement, safeguarding and building safety complaints. This is because there is not enough evidence of fault to justify an investigation and part of his complaint is out of time.

The complaint

1. Mr X complained that the Council did not investigate his complaints about anti-social behaviour, safeguarding, planning enforcement and building safety.
2. Mr X said he and his mother experienced distress and that he has lost faith in the Council. He said he has had to follow up for an outcome for his complaints.
3. Mr X wants the Council to complete an independent review for safeguarding, planning enforcement, anti-social behaviour and building control. He asks for his complaint to be considered under the Councils two stage process, provide an apology and make improvements in the Council processes.

The Ombudsman's role and powers

4. We investigate complaints about 'maladministration' and 'service failure', which we call 'fault'. We must also consider whether any fault has had an adverse impact on the person making the complaint, which we call 'injustice'. We provide a free service, but must use public money carefully. We do not start or continue an investigation if we decide there is not enough evidence of fault to justify investigating (Local Government Act 1974, section 24A(6), as amended, section 34(B))
5. The Local Government Act 1974 sets out our powers but also imposes restrictions on what we can investigate.
6. We cannot investigate late complaints unless we decide there are good reasons. Late complaints are when someone takes more than 12 months to complain to us about something a council has done. (Local Government Act 1974, sections 26B and 34D, as amended)

How I considered this complaint

7. I considered information provided by the complainant and the Council.
8. I considered the Ombudsman's Assessment Code.

My assessment

9. Mr X built an annex on his property, the annex was inspected by the Council and it met the necessary building regulations. After the annex was completed Mr X's mother moved into it. Later Mr X's neighbour installed a fence on their own land, outside the window of the annex.
10. Mr X complained to the Council that the fence impacted the safety and wellbeing of his mother. He said the fence blocked an escape route for the annex. Mr X told the Council the neighbour behaved in a hostile manner toward him. Mr X viewed the fence as a deliberate action that amounted to anti-social behaviour. He asked the Council to investigate his complaint about the fence structure.

Building Control

11. In its response to Mr X the Council said the consideration of an annex escape route would have required different planning processes to the one Mr X had obtained. The Council did not view the window as a formal means of escape. The proposed escape route required use of the neighbouring property. The Council said Mr X would have needed permission of the landowner for it to be considered as an escape route. In any case the Council would not normally consider an exit via windows in an annex as a suitable escape route.
12. Matters relating to the exit route date back several years. The Ombudsman will not usually exercise discretion to investigate matters that took place more than 12 months prior to the complainant becoming aware of them. In this case, Mr X had the Council certify his annex in 2016. I have decided not to exercise discretion to look at matters relating to the annex escape before November 2024 because it is reasonable to expect Mr X to have complained to us about the matter sooner.

Planning Enforcement

13. The Council considered Mr X's request for planning enforcement action to be carried out to remove the fence. The Council served an Enforcement Warning Notice for the fence. The fence was subsequently lowered and the Council decided it would not take further enforcement action because it would not be expedient to do so.
14. Councils can take enforcement action if they find a breach of planning rules. However, councils should not take enforcement action just because there has been a breach of planning control. Planning enforcement is discretionary and formal action should only happen when it would be a proportionate response to the breach. As planning enforcement action is discretionary, councils may decide to take informal action or not to act at all.
15. Government guidance says: "Effective enforcement is important as a means of maintaining public confidence in the planning system. Enforcement action is discretionary, and local planning authorities should act proportionately in responding to suspected breaches of planning control." (National Planning Policy Framework December 2024, paragraph 60).
16. While Mr X may be disappointed with the Council's decision, it is not our role to act as a point of appeal against decisions councils make with which complainants are unhappy. We cannot question council decisions if they have followed the right steps and considered the relevant evidence and information.

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17. The Council visited the site and acknowledged that a breach had occurred but decided it was not expedient to take further enforcement action. This is a decision the Council is entitled to make and there is not enough evidence to suggest fault affected it.

Safeguarding

18. Safeguarding requires the Council to follow a process which will consider and protect at risk individuals against neglect and abuse. Mr X said that his mother had a safeguarding need. When Mr X raised concerns about his mother, he called them safeguarding concerns.
19. With the context of the complaint history, it was reasonable that the Council considered Mr X's safety concerns. The concerns would not fall into the scope for a safeguarding matter. There is not enough evidence of fault in the way the Council responded to Mr X's safety concerns.

Anti-Social Behaviour

20. The Council considered Mr X's report of antisocial behaviour. It wrote to Mr X and said the matter did not meet the threshold for Council involvement, and it could not establish the intent of the fence installation.
21. Mr X contacted the Council and asked it to reconsider its position on anti-social behaviour. The Council then sent his neighbour a letter about the matter. Due to data protection, the Council said it could not tell Mr X if the neighbour had responded.
22. It confirmed that his anti-social behaviour case remained open and told him to provide further evidence to the Council. We will not investigate this part of the complaint as there is not enough evidence of fault in how the Council conducted its investigation into Mr X's anti-social behaviour complaints.
23. Mr X complained about how the Council responded to his complaints. It is not a good use of public money to investigate complaints about complaint procedures where we decide to not investigate the substantive issue.
24. We will not investigate this complaint, in part it is late and there is not enough evidence of fault in the Council's actions to justify investigating.

Final decision

25. We will not investigate Mr X's complaint because there is not enough evidence of fault in how the Council managed his complaint. Part of the complaint is out of time.

Investigator's decision on behalf of the Ombudsman

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REPORT FOR NOTING

Agenda Item	
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DECISION OF:	PLANNING CONTROL COMMITTEE
DATE:	1ST SEPTEMBER 2026
SUBJECT:	NATIONAL SCHEME OF DELEGATION
REPORT FROM:	DEVELOPMENT MANAGER
CONTACT OFFICER:	DAVID MARNO
TYPE OF DECISION:	COUNCIL
FREEDOM OF INFORMATION/STATUS:	This paper is within the public domain
SUMMARY:	Implementation of the National Scheme of Delegation for determination of Planning Applications
OPTIONS & RECOMMENDED OPTION	To note
IMPLICATIONS:	
Corporate Aims/Policy Framework:	Do the proposals accord with the Policy Framework? Yes
Statement by the S151 Officer: Financial Implications and Risk Considerations:	Executive Director of Resources to advise regarding risk management No direct financial implications to the Council arise from this Report as Planning Control Committee is not being requested to make a financial decision.
Statement by Executive Director of Resources:	
Equality/Diversity implications:	No Direct Implications
Considered by Monitoring Officer:	Yes
Wards Affected:	ALL
CLIMATE CHANGE IMPLICATIONS	No Direct Implications

TRACKING/PROCESS**DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

1.0 Background

This report informs Planning Control Committee of significant national changes to the way planning applications must be determined by local planning authorities in England. These changes are due to the Local Planning Authority Functions Statutory Instrument July 2026 that is formally titled The Town and Country Planning (Discharge of Local Planning Authority Functions) (England) Regulations 2026. These Regulations were made on 15th July 2026 and come into force on 31st October 2026.

The Regulations are made under powers inserted into the Town and Country Planning Act 1990 by the Planning and Infrastructure Act 2025. They require relevant local planning authorities to make arrangements for specified planning functions to be discharged either by officers or by committee, depending on the category of application and the statutory tests set out in the Regulations. This is therefore a national legal requirement. It is not a local policy choice and it is not a matter on which Planning Control Committee is being asked to express a preference. The Council must ensure that its decision making arrangements comply with the Regulations from the date they come into force.

The Council has no discretion as to whether or not to implement the National Scheme of Delegation. From 31st October 2026 planning decisions must be made in accordance with the new Regulations. There is a risk that decisions taken on or after that date which do not align with the requirements of the Regulations could be considered unlawful by a Court.

2.0 SUPPORTING INFORMATION

The Regulations introduce a new National Scheme of Delegation for planning functions. Essentially, this means that the government has now set national rules about which planning applications must be decided by officers and which applications may (only in defined circumstances) go to Planning Control Committee.

The principal effect of the Regulations is that some applications which may currently be capable of being referred to Planning Control Committee will, in future, fall to be determined by officers. This includes, for example, householder applications, minor residential development, minor commercial development, non-

material amendments, applications to discharge conditions, prior approvals, certificate of lawful development and biodiversity gain plans.

There is also a national limit on the size of committees or sub-committees determining applications under the Regulations. An upper limit of 13 members is placed on such committees or sub-committees.

The Council is therefore required to review and update its Constitution, including the Planning Scheme of Delegation and associated Planning Control Committee Procedures to ensure compliance with the National Scheme of Delegation by 31st October 2026.

Planning Control Committee is not being asked to decide whether these national changes should be implemented as there is a requirement for the Council to implement them. The intention of this report is to explain the upcoming changes, set out their effects and inform Members that a further constitutional update will need to be progressed through the Council's governance arrangements with the formal decision to amend the Constitution being made by Full Council.

3.0 POLICY AND FINANCIAL IMPLICATIONS

The stated aim of the national scheme of delegation is that, having identified variation between Councils, committees should focus on the proposals that genuinely matter to an area, and that the more minor and technical decisions should sit with officers.

The national scheme replaces those local schemes with a single set of rules for the whole of England. Section 54 of the Planning and Infrastructure Act 2025 inserted sections 319ZZC to 319ZZF into the Town and Country Planning Act 1990, giving the Secretary of State power to say which functions must be delegated to officers and which may go to a committee. That power has been exercised through the Town and Country Planning (Discharge of Local Planning Authority Functions) (England) Regulations 2026.

There will, however, be significant officer time spent on reviewing the Constitution, updating the Planning Scheme of Delegation, preparing associated procedures, briefing Members and updating public-facing guidance. Due to the timescales involved it is recommended that Officers should undertake work on this as soon as possible.

Following implementation, the National Scheme of Delegation is likely to reduce the number of applications that are reported to committee, but it will necessitate a robust triage, recording and transparency process to reduce the grounds of a potential legal challenge over such matters. Guidance issued by the government recognises that local planning authorities may wish to put in place a triage system so that the nominated officer and nominated member do not become inundated and to prevent unnecessary delays in the planning decision making process.

4.0 Key Messages for Planning Control Committee

The key messages for Members are:

The National Scheme of Delegation is a national legal requirement, not a local policy choice;

- It comes into force on 31 October 2026;
- Some applications that may currently be capable of being referred to committee will, in future, have to be decided by officers;
- Schedule 1 applications must be delegated to officers;
- Schedule 2 applications are presumed to be delegated to officers unless the statutory gateway test is met and the nominated officer and nominated member agree to committee referral.
- Ward Member call-in arrangements and objection number triggers will not be able to override the National Scheme of Delegation.
- Planning Control Committee will remain important, but its role will be more focussed on significant applications that meet the statutory tests.
- The Council's Constitution and associated procedures will need to be reviewed and updated before 31 October 2026.
- The formal decision to amend the Constitution will need to be taken through the Council's constitutional governance arrangements, expected to include Full Council.
- Members, Parish Councils and residents will need clear communication and guidance so that they understand how to engage effectively under the new arrangements.

The Appendix to this Report is a report that has been prepared for consideration by Council and details the effects and implications of the Regulations.

5.0 RECOMMENDED: That Planning Control Committee:

- **Notes the introduction of the Town and Country Planning (Discharge of Local Planning Authority Functions) (England) Regulations 2026 which come into force on 31st October 2026; and**
- **Notes that the Regulations introduce a National Scheme of Delegation which all relevant local planning authorities in England must follow, by law; and**
- **Notes that the Council will need to update its Constitution, Planning Scheme of Delegation and associated Planning Control Committee procedures to ensure compliance with the Regulations; and**
- **Notes that the formal decision to amend the Constitution will need to be made via Full Council and that the matter is referred to Full Council for consideration at their meeting on 16th September 2026.**
- **Conclusion**

List of Background Papers:-

[Consultation outcome - Reform of planning committees: technical consultation](#)
[Planning Committees and the National Scheme of Delegation of Planning Functions: Draft guidance for local planning authorities in England](#)
[Planning Committees and the National Scheme of Delegation of Planning Functions: Guidance for local planning authorities in England](#)

**The Town and Country Planning (Discharge of Local Planning Authority Functions)
(England) Regulations 2026**

Contact Details:-

David Marno
Head of Development Management
Planning Services
Place Directorate
3 Knowsley Place
Duke Street
Bury
BL9 0EJ
Tel: 0161 253 5291
Email: d.marno@bury.gov.uk

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Classification	Item No. 7
Open / Closed	Appendix 1

APPENDIX 1 – DRAFT COUNCIL REPORT

Meeting:	Council/Planning Control Committee/Employment Panel/etc
Meeting date:	16 th September 2026
Title of report:	The National Scheme of Delegation – for Planning Decision Making
Report by:	
Decision Type:	Council
Ward(s) to which report relates	All

Executive Summary: This report sets out the introduction and required adoption of a National scheme of Delegation in relation to Planning Decisions made through the Town and Country Planning Acts.

The Government is reforming how Planning Committees operate through changes to the Planning and Infrastructure Act 2025. A national scheme of delegation is being introduced to ensure that planning committees can work as effectively as possible and focus on those applications for complex or contentious development where local democratic oversight is required.

The reforms comprise regulations and guidance governing:

- what matters will be determined by officers and which would be determined by Planning Committee, and
- the size of Planning Committees.

The government is committed to these reforms being introduced on 31st October 2026 and has asked Councils to amend their constitutions over the summer to allow these changes to come into effect on that date.

These changes require amendment of Bury Council's constitution.

This report therefore sets out how decisions for planning application and related decisions shall be made from 31st October 2026 and the processes that shall be adopted to accord with the new regulations.

To summarise the changes include:

- **Delegation to Officers:** Schedule 1 of the Regulations lists planning functions that **must always be delegated** to officers. These typically include minor applications, householder applications, and other routine consents
- **Referral to Committees:** Schedule 2 identifies functions that **may be referred to planning committees** under specific criteria, allowing committees to focus on major or contentious proposals
- **Committee Size:** The Regulations set a **maximum number of members of 13** - for planning committees to improve efficiency and decision-making quality .
- **Exclusions:** Certain authorities, such as National Park Authorities and development corporations, are not subject to these Regulations
- **Local Constitution Changes:** LPAs must amend their constitutions to align with the national scheme, removing previous powers for individual councillors to call in applications for committee consideration

Implications for Local Planning Authorities

- **Consistency:** All LPAs in England will follow the same rules for delegating planning decisions, reducing variability and potential confusion
- **Efficiency:** Planning officers will handle routine and technical applications, freeing committees to focus on strategic or high-impact developments
- **Clarity of Roles:** The Regulations clarify which decisions are officer-led and which require committee oversight, enhancing transparency in planning governance

Recommendation(s) That: amend Bury Council's constitution in relation to decision making on planning applications and related planning decisions

Key considerations

Background

The Government is introducing a National Scheme of Delegation (NSD) via the Town and Country Planning (Discharge of Local Planning Authority Functions) (England) Regulations 2026.

Local Planning Authorities (LPAs) are expected to have the new arrangements in place for 31 October 2026. Decisions taken on or after that date must be taken in line with the Regulations and if not, could be considered by the Courts to have been unlawfully taken. LPAs need to commence the work of changing their constitutions as soon as possible.

The proposal

1 Planning Scheme of Delegation

The Scheme is in two parts: the elements that need to be within a Council's Constitution and those that should be outside it. Those elements that are outside the Constitution are administrative in nature rather than constitutional and are generally called a Scheme of Management.

Reference to Regulations in this document is a reference to the Town and Country Planning (Discharge of Local Planning Authority Functions) (England) Regulations 2026.

2 Delegation Of Planning Functions

- 2.1** All planning matters and functions that the Council as Local Planning Authority are responsible for are delegated to the Chief Planning Officer ¹ except where the decision on a matter or function is reserved to the following bodies:

Full Council

- 2.2** The following must be determined by Full Council:

- To submit a Development Plan Document for examination
- To adopt a Development Plan Document

¹ In the case of Bury Council this is the Assistant Director for Strategy, Planning and Transport

- To submit a draft Charging Schedule for examination
- To approve or withdraw a Charging Schedule

Executive

2.3 The following must be determined by the Executive:

- To consult on a Local Development Framework Document
- To adopt a Supplementary Plans, the Local Development Scheme or the Statement of Community Involvement
- To approve the Authority Monitoring Report
- To authorise a Neighbourhood Plan to be put to referendum
- To agree that a Neighbourhood Plan be Made
- To designate a Conservation Area

Planning Committee

2.4 The following planning applications must be determined by Planning Control Committee:

- Those applications listed in Schedule 2 that the Nominated Member and the Nominated Officer agree that referral to and determination by Planning Control Committee is necessary.
- An Own-Interest Application, as defined in the Regulations, that the Nominated Member and the Nominated Officer agree that referral to and determination by Planning Control Committee is necessary.
- Any other planning matter that an officer of the authority with delegated powers considers that referral to and determination by Planning Control Committee is necessary

Triage System

2.5 As recommended in the MHCLG Guidance that accompanied the Regulations, where local planning authorities anticipate that there may be a significant number of cases which meet the criteria in regulation 5(3) (Gateway Test) or which may fall under regulation 6 (Own-Interest Application) and which could therefore be considered for referral to committee, they may wish to put in place a triage system to ensure that the nominated officer and nominated member of the committee are not overwhelmed and to avoid any unnecessary delays in planning decision making.

2.6 The Council's Triage System has two stages:

- Stage 1: a category or part of a category of an application of a kind specified by Schedule 2 which should be treated as such.
- Stage 2: a specific application of a kind specified by Schedule 2 where an officer with delegated powers considers it should be treated as such because the criteria in Regulation 5(3) are clearly not engaged.

2.7 Those application types that fall into stage 1 are listed in the Schedule 2 appendix.

Delegation And Sub-Delegation

2.8 The Chief Planning Officer should produce a document (called the Planning Scheme of Management) for the purposes of Regulation 3 that clearly sets out:

- A. the member of the authority who acts as the Nominated Member;
- B. one or more members of the authority who act as a substitute for the Nominated Member;
- C. the officer of the authority who acts as the Nominated Officer; and
- D. one or more officers of the authority who act as a substitute for the Nominated Officer.

2.9 With respect to A and B different members can be nominated for different purposes. With respect to C and D different officers can be nominated for different purposes. These should also be set out in the document.

2.10 The document should also set out:

- the officer(s) of the authority who have delegated powers to determine a Schedule 1 planning application (Regulation 4);
- the officer(s) of the authority who have delegated powers to determine a Schedule 2 planning application (Regulation 5);
- the officer(s) of the authority who have delegated powers to determine an Own-Interest Application (Regulation 6); and
- the officer(s) of the authority who have delegated powers under the Constitution to determine any other planning matter.

2.11 The document should be published on the Council's website.

Lobbying

2.12 The Nominated Member or the Nominated Officer or any other officer of the authority, when exercising their powers under Regulations 4, 5 or 6 and this Scheme of Delegation, shall not be lobbied or otherwise contacted by any person or organisation, including by members or officers of the relevant authority, to use their power in a particular way.

2.13 Any such lobbying that is received should be reported to the Monitoring Officer, who will deal with it as appropriate. The Monitoring Officer shall develop and publish procedures to deal with these issues and other vexatious planning complaints.

3 Planning Control Committee - Terms Of Reference

Membership

- 3.1 By virtue of Regulation 7, it cannot exceed 13 elected members (to be politically balanced).

Purpose

- 3.2 To exercise, in line with the Council's Planning Control Committee Procedures, the functions, powers and duties of the Council in relation to the determination of planning applications and any other planning matter referred to it by the Chief Planning Officer.

Powers

- 3.3 The Planning Control Committee has the following powers:
- a. To hear pre-application or pre-determination presentations of developments by developers and for individual members of the Committee to ask questions and highlight issues that may require further consideration by the developer.
 - b. To determine the planning applications referred to it pursuant to the Regulations and the Constitution, as set out above.
 - c. To consider, and where necessary determine, any other planning matter referred to it by the Chief Planning Officer.

APPENDIX – Schedule 1

1. An application made under section 17(1) of the Land Compensation Act 1961 (certificates of appropriate alternative development) (a).
2. An application made under section 26H(1) of the Listed Buildings Act (certificate of lawfulness of proposed works) (b)
3. A householder application.
4. A minor commercial application.
5. A minor residential application.
6. An application for permission in principle (c).
- 7.—(1) An application made under section 73(1) of TCPA 1990 (application to develop land without compliance with conditions previously attached) in respect of which the original planning permission was a Schedule 1 planning permission.

(2) In this paragraph—

“original planning permission” means a planning permission which is the first in a sequence of two or more planning permissions, where the second and any subsequent planning permissions were granted under section 73(1) of TCPA 1990;

“Schedule 1 planning permission” means a planning permission granted pursuant to an application which is of a kind specified in this Schedule.

8. An application made under section 96A(4) of TCPA 1990 (non-material changes to planning permission or permission in principle) (d).

9.—(1) In respect of a planning obligation that the authority concerned considers is connected with a Schedule 1 approval—

(a) a request to agree to modify or discharge that obligation under section 106A(1)(a) of TCPA 1990 (modification and discharge of planning obligations) (e);

(b) an application to modify or discharge that obligation under section 106A(3) of TCPA 1990 (modification and discharge of planning obligations) (f).

(2) In this paragraph, ‘Schedule 1 approval’ means any permission, agreement, consent or approval (other than a planning obligation) pursuant to an application which is of a kind specified in this Schedule.

10. An application made under section 191(1) of TCPA 1990 (certificate of lawfulness of existing use or development) (g).

11. An application made under section 192(1) of TCPA 1990 (certificate of lawfulness of proposed use or development) (h).

12. The submission of a biodiversity gain plan under paragraph 13(2)(a) of Schedule 7A to TCPA 1990 (i).

13. A reserved matters approval application in respect of an outline planning permission other than a large outline permission.

14. An application made under article 27(1) of DMPO (applications made under a planning condition).

15. An application pursuant to provision in Schedule 2 to the Town and Country Planning (General Permitted Development) (England) Order 2015 (j) for—

(a) prior approval, or

(b) determination as to whether prior approval is required

APPENDIX – Schedule 2

As provided for by the Regulations, this Schedule contains those application types that should be determined by officers, pursuant to Regulation 5, unless the nominated member and officer agree to refer it to committee.

Triaged Applications

The following categories of application should be determined by officers:

- [These are those Schedule 2 Applications that are moved here so that they are always considered to be delegated – this should be those application types that are already delegated under a Council’s current constitution]
- Advertisements
- Tree works applications
- Variation of conditions

A Triaged Application can also be identified, from the list of Residual Schedule 2 applications below, by an officer with delegated powers in the context of a particular application.

Residual Schedule 2 Applications

The Gateway-Test must be applied to a Schedule 2 application, which is not a Triaged Application, to decide whether it needs to be reported to Planning Control Committee, these include:

1. An application for listed building consent made under section 10(1) of the Listed Buildings Act (making of applications for listed building consent).
2. An application made under section 19(1) of the Listed Buildings Act (variation or discharge of conditions of listed building consent).
3. An application for planning permission that the authority concerned considers is connected with an application of a kind specified in paragraph 1 or 2.
4. An application for planning permission that is not—
 - (a) a householder application,
 - (b) a minor commercial application, or
 - (c) a minor residential application.
- 5.—(1) An application made under section 73(1) of TCPA 1990 (application to develop land without compliance with conditions previously attached) in respect of which the original planning permission was a Schedule 2 planning permission.
 - (2) In this paragraph—

“original planning permission” means a planning permission which is the first in a sequence of two or more planning permissions, where the second and any subsequent planning permissions were granted under section 73(1) of TCPA 1990;

“Schedule 2 planning permission” means a planning permission granted pursuant to an application which is of a kind specified in this Schedule.

6. An application made under section 73A(1) of TCPA 1990 (planning permission for development already carried out) (a).

7.—(1) In respect of a planning obligation that the authority concerned considers is connected with a Schedule 2 approval—

(a) a request to agree to modify or discharge that obligation under section 106A(1)(a) of TCPA 1990 (modification and discharge of planning obligations);

(b) an application to modify or discharge that obligation under section 106A(3) of TCPA 1990 (modification and discharge of planning obligations).

(2) In this paragraph, ‘Schedule 2 approval’ means any permission, agreement, consent or approval (other than a planning obligation) pursuant to an application which is of a kind specified in this Schedule.

8. A reserved matters approval application in respect of a large outline permission.

9. An application made under regulation 9(1) of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 (application for express consent to display advertisement) (b).

10. An application made under regulation 16(1) of the Town and Country Planning (Tree Preservation) (England) Regulations 2012 (application for consent under tree preservation order) (c).

ADMINISTRATIVE ELEMENTS

Planning Scheme Of Management

1 Introduction

1.1 Reference to Regulations in this document is a reference to the Town and Country Planning (Discharge of Local Planning Authority Functions) (England) Regulations 2026.

1.2 This Planning Scheme of Management allows the Chief Planning Officer to discharge their responsibilities under the Planning Scheme of Delegation in the Constitution, and for the purposes of Regulation 3 to produce a document that clearly sets out:

A. the member of the authority who acts as the Nominated Member;

B. one or more members of the authority who act as a substitute for the Nominated Member;

C. the officer of the authority who acts as the Nominated Officer;

D. one or more officers of the authority who act as a substitute for the Nominated Officer.

1.3 The document must also set out:

- the officer(s) of the authority who have delegated powers to determine a Schedule 1 planning application (Regulation 4);
- the officer(s) of the authority who have delegated powers to determine a Schedule 2 planning application (Regulation 5);
- the officer(s) of the authority who have delegated powers to determine a Own-Interest Application (Regulation 6); and
- the officer(s) of the authority who have delegated powers under the Constitution to determine any other planning matter.

1.4 This document sets out the rules within the Regulations and provides additional advice on the use of delegated powers; both those powers derived from the Regulations and the powers delegated to the Chief Planning Officer in the Council's Constitution.

2 Nominated Members

2.1 Pursuant to Regulation 3(1)(a) and 3(2)(a):

- The Nominated Member for the purposes of Regulations 5 and 6 is the Chair of Planning Control Committee.

Substitutes

2.2 Pursuant to Regulation 3(2)(b), where the Nominated Member is unavailable for whatever reason, the substitute Nominated Member is the Vice Chair of Planning Committee².

3 Nominated Officers

3.1 Pursuant to Regulation 3(1)(b) and 3(2)(a):

- The Nominated Officer for the purposes of Regulations 5 and 6 is the Chief Planning Officer.

Substitutes

3.2 Pursuant to Regulation 3(2)(b), where the Nominated Officer is unavailable for whatever reason, the substitute Nominated Officer is the Head of Development

² To be designated

Management or Team Leader Development Management or in the absence of the Head of Service and Team Leader.

4 Sub-Delegation

- 4.1 The Regulations and the Constitution provide that different officers can be nominated for different purposes with respect to the determination of planning applications and other planning matters.

Schedule 1 And Schedule 2 Triaged Applications

- 4.2 The Chief Planning Officer has sub-delegated the task of determining the following planning application categories to the following officers of the LPA.

Schedule 1 Applications (Regulation 4)

- 4.3 Applications that must be determined by officers.

Application category	Service Head	Section Head	Other Named Posts
<i>All Schedule 1 Items 1-15 inclusive</i>	State job title(s) Head of Development Management	State job title(s) Team Leader Development Management	State job title(s) Designated Senior Planning Officers
...etc			

Schedule 2 Triaged Applications (Regulation 5)

- 4.4 Triaged Applications identified in the Scheme of Delegation.

Application category	Service Head	Section Head	Other Named Posts
<i>All Schedule 2 items</i>	State job title(s) Head of Development Management	State job title(s) Team Leader Development Management	State job title(s) Designated Senior Planning Officers
...etc			

Schedule 2 Residual Applications (Regulation 5)

4.5 Triaged Applications capable of being identified and determined by officers.

Application category	Service Head	Section Head	Other Named Posts
<i>State the category from the respective schedule</i>	State job title(s) Head of Development Management	State job title(s) Team Leader Development Management	State job title(s) Designated Senior Planning Officers

Residual Schedule 2 And Own-Interest Application

4.6 The role of Nominated Member and Nominated Officer is to decide whether a non-triaged Schedule 2 application or a Own-Interest Application is determined by committee. Where it is not to be determined by committee, the Chief Planning Officer has sub-delegated the task of determining the following planning application categories to the following officers of the LPA.

Schedule 2 Non-Gateway-Test Applications (Regulation 5)

Application category	Service Head	Section Head	Other Named Posts
<i>State the category from the respective schedule</i> <i>Items 1-10 inc.</i>	State job title(s) Head of Development Management	State job title(s) Team Leader Development Management	State job title(s) Designated Senior Planning Officers

Own-Interest Applications (Regulation 6)

Application category	Service Head	Section Head	Other Named Posts

<i>State the category from the respective schedule</i>	State job title(s) Head of Development Management	State job title(s) Team Leader Development Management	State job title(s) Designated Senior Planning Officers
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Other Planning Matters

- 4.7 The Constitution delegates all planning matters to the Chief Planning Officer, save for those matters that must be determined by Full Council, the Executive or Planning Control Committee. The Chief Planning Officer has sub-delegated the task of determining the following planning matters to the following officers of the LPA.

Planning Matter	Service Head	Section Head	Other Named Posts
<i>State the planning matter</i>	State job title(s) Head of Development Management	State job title(s) Team Leader Development Management	State job title(s) Designated Senior Planning Officers

- 4.8 With respect to a planning matter that is delegated to the Chief Planning Officer but is not listed above, the Chief Planning Officer can, at their discretion, sub-delegate the task of determining the matter to another officer.

5 Use Of Delegated Powers

- 5.1 When using delegated powers or referring a matter to committee for a determination, the Nominated Officer and the Nominated Member, when involved, and an officer of the LPA must make sure that they take such decisions in the appropriate way and that they are recorded. This should be captured in the associated delegated or committee report with respective sections titled:

- Reason for determining under delegated powers
- Reason for referral to Committee

- 5.2 These reasons should be succinct but clear.

Schedule 1

- 5.3 These applications must always be determined under delegated powers and cannot be referred to committee for determination. The associated delegated report should therefore state:

This is a Schedule 1 Application. By virtue of Regulation 4, it must be dealt with under delegated powers.

Schedule 2

Triaged Applications

- 5.4 Some categories of application in Schedule 2 have been identified in the Scheme of Delegation as Triage Applications and should be determined under delegated powers. The other categories of application in Schedule 2 can be treated as a Triaged Application by officers if they consider that, in the context of a particular application, the criteria in the Gateway Test (see below) are clearly not engaged. In both cases, the associated delegated report should state:

This is a Schedule 2 Application. By virtue of Regulation 5, it should be dealt with under delegated powers because the Gateway Test is not engaged.

Gateway Test Applications

- 5.5 The Regulations make provision, in Regulation 5(3), for the matters that must be considered by the Nominated Member and Nominated Officer when they agree whether or not to refer a proposal to determine a Schedule 2 Application to committee. They are known as the Gateway Test and are that the proposal raises:

- a) one or more issues of economic, social or environmental significance to the local area; or
- b) one or more significant planning matters having regard to the development plan and any other material considerations.

- 5.6 If it is agreed to refer an application to committee, that decision and the reasons for it should be set out succinctly and clearly in the associated committee report as follows:

This is a Schedule 2 Application. By virtue of Regulation 5, it is being reported to Committee because the Nominated Member and Nominated

Officers agree that it is necessary because [it raises one or more issues of economic, social or environmental significance to the local area] [and] [it raises one or more significant planning matters having regard to the development plan and any other material considerations].

- 5.7 If it remains a delegated decision, the associated delegated report should state:

This is a Schedule 2 application. By virtue of Regulation 5, it is being dealt with under delegated powers because the Nominated Member and Nominated Officer do not agree that the Gateway Test is engaged because it does not raise any issues of economic, social or environmental significance to the local area and nor does it raise any significant planning matters having regard to the development plan and any other material considerations.

Triage Process For Own-Interest Applications

5.8 These are applications made by or on behalf of:

- a) the Council;
- b) a member of the Council;
- c) an officer of the Council; or
- d) the Council or any of its members or officers otherwise has an interest in the application.

5.9 The decision-making process for these applications should be one of ensuring openness and transparency. In deciding whether to refer to committee, the Nominated Member and Officer should ensure that, because of the nature of the applicant, there is not a real (or reasonably perceived) risk of bias by determining the application under delegated powers and secondly that, because of the nature of the development, there is a good reason to refer it to Committee.

Own-Interest Applications: Applicant Considerations

5.10 In this context, category (c) Linked Persons should normally be narrowed to only apply to:

- a Senior Officer of the Council; or
- an 'officer of the Local Planning Authority'.

5.11 The first would be defined as Service Head level and above.

5.12 The second, would be defined as an officer within the Council who, in the opinion of the Chief Planning Officer, is closely involved in the day-to-day work of the Council's planning function.

5.13 It is reasonable to conclude that other officers of the Council would probably not be known to the planning service and therefore the risk of bias is not engaged. Such applications should be determined in the same way that any other application in that Schedule would be determined. The details of the Own-Interest applicant status should be recorded in the respective committee or delegated report with the following introduction:

This is an Own-Interest Application because the applicant is an officer of the Council, but as they are not a senior officer nor closely involved in the day-to-day work of the Council's planning function it has not been reported to committee for that reason. [This is a Schedule 1 Application.

By virtue of Regulation 4, it must be dealt with under delegated powers.] [This is a Schedule 2 Application. By virtue of Regulation 5, it should be dealt with under delegated powers because the Gateway Test is not engaged.]

Own-Interest Applications: Development Considerations

5.14 For any application:

- caught by the above category (c) 'Own-Interest applicant status' criteria; or
- an Own-Interest Application in categories (a), (b) and (d);

with respect to whether there is a good reason to refer that application to committee because of the nature of the development, the following criteria should be used:

Such an Own-Interest Application should only be considered by the Nominated Member and Nominated Officer for referral to and determination by committee if one of the following criteria applies:

- the proposal has been advertised under Article 15 of the DMPO because it does not accord with the provisions of the development plan; or
- one or more material planning considerations are raised that have the potential to have a significant impact.

5.15 This allows the circumstances of each application to be assessed and if it is for a development that complies with policy and there is not considered to be a material planning objection, it can be dealt with under delegated powers, with the reason recorded in the delegated report as follows:

This is an Own-Interest Application. By virtue of Regulation 5, it is not being reported to committee because it has not been advertised under Article 15 of the GMPO as a departure and nor is there considered to be a material planning objection.

5.16 Where either of these criteria applies, the Nominated Member and Nominated Officer must agree that it is necessary for the planning application to be referred to and determined by committee and this should be recorded in the normal way in the associated committee report as follows:

This is an Own-Interest Application. By virtue of Regulation 5, it is being reported to Committee because the Nominated Member and Nominated Officer agree that it is necessary because [it has been advertised under Article 15 of the GMPO as a departure] [and] [there is considered to be a material planning objection].

- 5.17 Limitations should be set on the receipt of material planning considerations by the Planning Service to ensure that these matters can be safely administered, and the risk of fraudulent objections is minimised:

A material planning consideration must have been made in writing in response to the publicity/advertisement/notification of the application, be from a person with an address within the LPA area and be received within the specified deadline.

- 5.18 With these safeguards in place, such applications will be put to committee where that serves a legitimate purpose but can be dealt with under delegated powers where committee involvement is not necessary.
- 5.19 Under Regulation 10 of the Town and Country Planning General Regulations 1992, where a local planning authority is determining its own application for planning permission, it must not be determined by a committee, sub-committee or officer responsible for the management of the building or land to which the application relates. In addition to this restriction, where a planning application is made by or on behalf of a nominated officer or member or an entity owned or controlled (whether wholly or partly) by a member or officer (including jointly with another person), in the interests of propriety, they should not be involved in the decision on whether to refer it to committee or not.

Officer's Discretion To Use Delegated Powers

- 5.20 With respect to planning applications covered by the Regulations, officers do not have discretion to decide to report a matter to committee. Only the nominated member and officer can jointly take that decision.
- 5.21 With respect to any other planning matter that is capable of being dealt with under delegated powers, an officer does have the ability, in their absolute discretion, to decide that it is not appropriate in the circumstances of a particular case to exercise those powers with respect to that planning matter and therefore report it to members (Full Council, the Executive or [Planning Control Committee] as appropriate) for determination. Again, it is not possible to advise further on this because these are essentially exceptional circumstances.
- 5.22 In both cases, that decision and the reasons for it should be set out succinctly and clearly in the associated committee report, as follows:

This is [describe the planning matter]. It is being reported to [Council] [Cabinet] [Committee] because the Chief Planning Officer considers that it is necessary because [...].

Lobbying

- 5.23 The Council's Scheme of Delegation prohibits the Nominated Member or the Nominated Officer or any other officer of the authority, when exercising their powers under Regulations 4, 5 or 6 and the Scheme of Delegation, being lobbied

or otherwise contacted by any person or organisation, including by members or officers of the relevant authority, to use their power in a particular way.

- 5.24 The Constitution requires that any such lobbying that is received should be reported to the Monitoring Officer, who must develop and publish procedures to deal with these issues and other vexatious planning complaints.

Other alternative options considered

The above reflects the statute requirements and therefore there are no other options to present.

The triaged applications, gateway tests engage discretion based upon the nature of the schemes involved. These cannot be predicted but as the legislation and report sets out, there are checks and balances in place to ensure that appropriate matters receive appropriate consideration, with the outcomes properly recorded.

Community impact/links with Community Strategy

Equality Impact and considerations:

Under section 149 of the Equality Act 2010, the 'general duty' on public authorities is set out as follows:

A public authority must, in the exercise of its functions, have due regard to the need to -

- (a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;*
- (b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;*
- (c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.*

The public sector equality duty (specific duty) requires us to consider how we can positively contribute to the advancement of equality and good relations, and demonstrate that we are paying 'due regard' in our decision making in the design of policies and in the delivery of services.

Equality Analysis	<i>Please provide a written explanation of the outcome(s) of either conducting an initial or full EA.</i>
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There is a statutory requirement to consult on both draft regulations and guidance under section 319ZZE(6) of the Town and Country Planning Act 1990. This statutory consultation seeks views on the technical detail and drafting of the regulations and guidance which reflect these principles and supports LPAs in delivering planning decisions that are transparent, accountable and community focused. This consultation was undertaken by the Government on 26 March 2026. The Impact Assessment can be found [here](#).

Locally, the default position is that planning applications should be determined by officers, with referral to committee only in exceptional circumstances. For a referral to be considered, at least one of the following criteria should normally apply:

- The application raises a **significant planning matter** in relation to the development plan or other material considerations; or
- The application raises a **significant economic, social, or environmental issue** for the local area.

Applications are unlikely to raise a significant planning matter where they broadly comply with an allocated site and relevant planning policies, or where concerns raised by statutory consultees have been resolved through amendments that satisfy those consultees.

Where no significant planning matter exists, referral under the second criterion should be limited to cases involving issues of notable local importance, such as major residential developments, the loss of key community facilities, or changes to significant listed buildings.

Applications submitted by the authority itself, its members, officers, or entities they control may be referred to committee in the interests of transparency and accountability, even where the above criteria are not met. If not referred, they should be determined by an officer.

To avoid conflicts of interest, members, officers, and those connected to an application should not be involved in deciding whether it is referred to committee.

The above gateway test and triage system would ensure that there is appropriate consideration to equality implications in the determination of matters will be decided.

Assessment of Risk:

The following risks apply to the decision:

Risk / opportunity	Mitigation
Not applicable	.

Consultation:

Item referred to Bury Council's Planning Control Committee for noting date 1st September 2026

Legal Implications:

The Council is required to adopt the National Scheme of Delegation from 31st October 2026 and determine planning applications in accordance with that scheme of delegation from that date. Failure to determine applications in accordance with the National Scheme of Delegation would potentially render such decisions unlawful and liable to legal challenge which the Council would be extremely difficult for the Council to resist and with adverse financial and reputational consequences

Financial Implications:

None

Report Author and Contact Details:

David Marno

Head of Development Management

Background papers:

[Consultation outcome - Reform of planning committees: technical consultation](#)

[Planning Committees and the National Scheme of Delegation of Planning Functions: Draft guidance for local planning authorities in England](#)

[Planning Committees and the National Scheme of Delegation of Planning Functions: Guidance for local planning authorities in England](#)

[The Town and Country Planning \(Discharge of Local Planning Authority Functions\) \(England\) Regulations 2026](#)

Please include a glossary of terms, abbreviations and acronyms used in this report.

Term	Meaning

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