

<b>Title</b>	<b>Planning Applications</b>
<b>To:</b>	<b>Planning Control Committee</b>
<b>On:</b>	<b>09 July 2024</b>
<b>By:</b>	<b>Development Manager</b>
<b>Status:</b>	<b>For Publication</b>

### **Executive Summary**

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

### **This report has the following implications**

**Township Forum/ Ward:** Identified in each case.

**Policy:** Identified in each case.

**Resources:** Not generally applicable.

**Equality Act 2010:** All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:  
The elimination of discrimination, harassment and victimisation;  
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;  
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

**Human Rights:** All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

## **Development Manager**

### **Background Documents**

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

<b>01</b>	<b>Township Forum - Ward:</b> Bury East - Redvales	<b>App No.</b> 70015
	<b>Location:</b> Kemp Heaton Avenue, situated between Bury Cemetery to the north and Peachment Place Extra Care apartments to the south.	
	<b>Proposal:</b> Erection of 18 no. supported living apartments (Class C2) and 25 no. dwellings (Class C3), construction of a new vehicle access point and associated parking and landscaping.	
	<b>Recommendation:</b> Minded to Approve	<b>Site Visit:</b> N
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<b>02</b>	<b>Township Forum - Ward:</b> Ramsbottom and Tottington - Ramsbottom	<b>App No.</b> 70222
	<b>Location:</b> Former Mondri/Holcombe Mill, Bridge Street, Ramsbottom, Bury, BL0 0BS	
	<b>Proposal:</b> Erection of 57 no. dwellings, the retention of a chimney and the demolition of 3 existing buildings, together with engineering operations to create a development platform, public car park, substation, public open space, landscaping, drainage, the layout of internal estate roads and footways and other associated works.	
	<b>Recommendation:</b> Minded to Approve	<b>Site Visit:</b> N
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<b>03</b>	<b>Township Forum - Ward:</b> Whitefield + Unsworth - Pilkington Park	<b>App No.</b> 70644
	<b>Location:</b> Land adjacent 4 Holcombe Grove, Radcliffe, Manchester, M26 1SE	
	<b>Proposal:</b> Erection of detached double garage with solar panels	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
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<b>04</b>	<b>Township Forum - Ward:</b> Radcliffe - East	<b>App No.</b> 70578
	<b>Location:</b> Radcliffe Public Library, Stand Lane, Radcliffe, Manchester, M26 1WR	
	<b>Proposal:</b> Change of use of existing library (Use Class F1) to Enterprise Centre (offices/workspace) (Use Class E(g)(i)) by internally remodelling the building	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
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**Ward:** Bury East - Redvales

**Item** 01

**Applicant:** Great Places

**Location:** Kemp Heaton Avenue, situated between Bury Cemetery to the north and Peachment Place Extra Care apartments to the south.

**Proposal:** Erection of 18 no. supported living apartments (Class C2) and 25 no. dwellings (Class C3), construction of a new vehicle access point and associated parking and landscaping.

**Application Ref:** 70015/Full

**Target Date:** 21/11/2023

**Recommendation:** Minded to Approve

**It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for affordable dwellings in accordance with Policy H4/1 of the UDP and SPD5. If the agreement is not signed within a reasonable timeframe, then delegated authority is sought by the Development Manager to determine the application.**

### **Description**

The site is currently vacant, but did contain the William Kemp Heaton community day centre, which was demolished in 2016. The site is accessed from St Peter's Road and contains William Kemp Heaton Avenue, which passes through the site. There are a number of existing trees across the site. There is an informal path along the northern boundary of the site, which connects William Kemp Heaton Avenue to the public right of way, which runs along the River Roch.

Peachment Place extra care apartments are located to the south of the application site and there are residential properties to the west. The cemetery, including some buildings is located to the north. Goshen playing fields is located to the east with the River Roch beyond.

The proposed development involves the erection of 18 supported living apartments and 25 dwellings.

The proposed supported living apartments would be located in a single building and would be located in the north eastern corner of the site. The proposed apartment building would be 3 storeys in height and would be constructed from red and buff brick with a concrete tile roof.

The proposed dwellings would be a mixture of 8 bungalows, 7 dwellings and 10 cottage flats. The proposed bungalows and two storey dwellings would be constructed from red brick with a concrete roof tile. The proposed cottage flats would be adjacent to the main access road and would be constructed from red brick with a concrete roof tile. The proposed flats would be two storey in height, with a 1 bedroom flat on each floor.

The site would be accessed from Kemp Heaton Avenue off St Peter's Road.

### **Relevant Planning History**

59215 - Prior notification for demolition of former day centre and Howarth Close hostel at

William Kemp Heaton Day Centre, St Peters Road, Bury. Prior approval required and granted - 27 October 2015.

59636 - Demolition of existing day care centre and the erection of 60 no. extra care apartments, communal facilities and external works at William Kemp Heaton Centre, 1 Howarth Close, Bury. Approved with conditions - 15 March 2016

61936 - Variation of condition no. 2 of planning permission 59636 to amend the site layout plan and arboricultural report to allow realignment of the access road at William Kemp Heaton Centre, 1 Howarth Close, Bury. Approved with conditions - 14 November 2017

62591 - Single storey GRP electric sub-station on concrete plinth at William Kemp Heaton Centre, 1 Howarth Close, Bury. Approved with conditions - 21 May 2018

### **Publicity**

The neighbouring properties were notified by means of a letter on 24 August 2023 and a press notice was published in the Bury Times on 31 August 2023. Site notices were posted on 30 August 2023.

3 letters have been received, which have raised the following issues:

- I am in favour of the land being utilised for much needed social housing.
- Main area of concern is the proposal is of too high a density for the area.
- The extra traffic and parking it will bring will have implications for highway safety.
- Query where constructors will park - there is no room on the Goshen estate for any more vehicles.
- There are many vehicles needing to be parked on Kemp Heaton Avenue at the moment - care workers visiting the apartments, visitors to the apartments and visitors to the hair salon and a very well-used cafe within Peachment Place. Because of the lack of parking spaces, and narrowness of the road, vehicles park on the pavement, on both sides of the road.
- Many people need to use wheelchairs or mobility scooters. There is often not enough space for them to use the pavement, and drops in the kerb are only situated at the ends of the pavements. Only very recently, I was visiting the cafe and saw an elderly lady trying her best to navigate her wheelchair between the parked cars (on the pavement) and the grassed area.
- The traffic report mentions that St.Peter's Road is a wide road, but it narrows from the cemetery gates.
- Refuse vehicles have been seen reversing into the property as there are often other commercial vehicles parked in front of Peachment Place, which prevent vehicles from turning round.
- Welcome the works to the footpath.
- For the last 30 or more years, there has been access from the Cemetery & from the intersection at Haworth Close, Kemp Heaton Ave. This path of convenience is used by numerous intertidal when gaining access to the river Roche river path & Goshen playing fields & the new football pitches. The blocking of this path will severely hamper access for walkers & make cause a 1/2 km detour. Provision for access to Goshen fields & the river walk must be provided.
- I would urge the recommendations of the latest BNG report March 24 be acted on. To create hibernacula, install hedgehog houses and establish hedgehog highways. Install integrated bat and bird boxes into the proposed housing.
- Unfortunately buildings are not recognised as habitat but some migrant birds including Swifts and House Martins will not nest in trees and need new developments to make provision by incorporating integrated swift bird bricks or fit bird boxes to the builds.

The objector has been notified of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objections in principle. Further comments to be reported in the Supplementary Report.

**Drainage Section** - No response.

**Environmental Health - Contaminated Land** - No objections, subject to the inclusion of conditions relating to contaminated land.

**Environmental Health - Air Quality** - No objections, subject to the inclusion of conditions relating to electric vehicle chargers.

**Public Rights of Way Officer** - No objections, subject to the provision of a 3 metre wide footpath to connect to the Roch Valley Way.

**GM Ecology Unit** - No objections, subject to the inclusion of conditions, relating to badgers, nesting birds, invasive species, construction and environmental management plan and informatives relating to otters.

**Electricity North West Ltd** - No objections, subject to the inclusion of an informative relating to electrical apparatus.

**United Utilities** - No objections, subject to the inclusion of conditions relating to drainage.

**The Coal Authority** - No objections, subject to the inclusion of conditions relating to coal mining.

**Designforsecurity** - No objections, subject to the inclusion of a condition relating to crime impact statement.

**Pre-start Conditions** - Awaiting confirmation from the agent that pre-commencement conditions are acceptable.

### **Unitary Development Plan and Policies**

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
EN1/2	Townscape and Built Design
EN6/3	Features of Ecological Value
EN6/4	Wildlife Links and Corridors
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8/2	Woodland and Tree Planting
RT2/2	Recreation Provision in New Housing Development
RT3/3	Access to the Countryside
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
SPD 9	Conversion and Re-use of Buildings in the Green Belt
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
JP-S2	Carbon and Energy
JP-S5	Clean Air
JP-H2	Affordability of New Housing
JP-H3	Type, Size and Design of New Housing
JP-H4	Density of New Housing
JP-P1	Sustainable Places
JP-G7	Trees and Woodland
JP-C2	Digital Connectivity

JP-C5	Streets For All
JP-C6	Walking and Cycling
NPPF	National Planning Policy Framework

### Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle - Residential** - The National Planning Policy Framework (NPPF) should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. The Framework states that unless they have an adopted plan that is less than five years old that identified a five year supply of specific deliverable sites at the time of conclusion of the examination, then local planning authorities should identify and update annually a supply of specific developable sites to provide either a minimum of five years' worth of housing, or a minimum of four years' worth of housing in certain circumstances set out in NPPF paragraph 226.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up of sites that have an extant planning permission and sites that have potential to obtain planning permission in the future.

This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the deliverable land supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). In addition to the housing land supply in the SHLAA, the joint Places for Everyone Plan was adopted with effect from 21 March 2024 and allocates significant strategic sites for housing within Bury.

The adopted joint Places for Everyone Plan Policy JP-H1 sets a requirement for an average of 452 homes per year over the plan period, with stepped targets starting from a minimum housing target of 246 homes per year from 2022-2025 (increasing in future years of the plan). Following the adoption of PfE the Council is able to demonstrate a 5 year supply with a 20% buffer.

The National Planning Policy Framework also sets out the Housing Delivery Test, which is an assessment of net additional dwellings provided over the previous three years against the homes required. Where the test indicates that the delivery of housing was substantially below (less than 75%) of the housing requirement over the previous years, this needs to be taken into account in the decision-taking process. The latest results published by the Government show that Bury has a housing delivery test result of less than 75%, and therefore, this needs to be treated as a material factor when determining applications for residential development.

Therefore, paragraph 11d) of the National Planning Policy Framework states that where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, planning permission should be granted unless:

- i. The application of policies in the Framework that protect areas, or assets of particular

importance, provides a clear reason for refusing the development proposed; or  
ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework, taken as a whole.

Due to the housing delivery test result, the 'tilted balance' applies and planning permission should be granted unless the above points Para 11(d) i or ii apply. The site is in a sustainable location, in an urban area and sitting out side of the Green Belt.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is located within the urban boundary and there are residential properties to the west and south of the site and a cemetery to the north. As such, the proposed development would not conflict with the surrounding land uses and would be located in a sustainable location with regard to public transport and services. The site contained a day centre until its demolition and as such, would be a brownfield site. Therefore, the proposed development would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

**Design** - The proposed layout has been designed to ensure that the proposed development would be outward facing onto St Peter's Road and Kemp Heaton Avenue. There would be a mix of supported living apartments, terraced dwellings, cottage flats and bungalows. The proposed bungalows would be single storey and the proposed dwellings and cottage flats would be two storeys, which would match the existing housing in the area. The proposed apartment building would be three storeys in height, which would be the same height as Peachment Place and as such, would be appropriate in terms of bulk and massing.

All of the proposed buildings would be constructed from red brick with a concrete tile roof and the proposed apartment building would be constructed from red brick with panels of buff brick with a concrete tile roof. The proposed materials would match the existing buildings in the locality.

The use of a mix of materials, brick banding, headers and cills and pike details across all the buildings would all add visual interest to the elevations.

Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

**Layout** - Policy JP-H3 states that all new dwellings must:

- comply with the nationally prescribed space standards; and
- be built to the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations unless specific site conditions make this impracticable.

The agent has provided a report which confirms that all of the proposed dwellings would comply with the nationally prescribed space standards with regard to the overall floorspace and the size of bedrooms.

Therefore, the proposed development would comply with the national prescribed space standards and would be in accordance with Policy JP-H3 of the Places for Everyone Joint Development Plan.

Policy JP-H4 states that new housing development should be delivered at a density

appropriate to the location, reflecting the relative accessibility of the site by walking, cycling and public transport and the need to achieve efficient use of land and high quality design. Regard should be had to the minimum densities, which would be 35 dwellings per hectare in this case.

The proposed development would have a density of 50.8 dwellings per hectare, which would exceed the minimum density of 35 dwellings per hectare. As such, the proposed development would be in accordance with Policy JP-H4 of the Places for Everyone Joint Development Plan.

**Impact upon surrounding area** - All of the proposed development would have a side or rear garden and the level of private amenity space would be acceptable. There would be space within the gardens for bin storage. The boundary treatment would consist of a brick wall along Kemp Heaton Avenue, timber fencing in the gardens and a 2.1 metre high timber acoustic fence around the side and rear of the proposed apartment block. The proposed boundary treatments would be acceptable.

A 2.1 metre high galvanised and powder coated fence in green would be located on the perimeter of the site between the application site and the playing fields. This would be appropriate in terms of design and appearance.

Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

**Impact upon residential amenity** - SPD 6 provides guidance on aspect standards for residential properties and would be relevant in this case.

There would be between 16.2 metres and 17.2 metres between Peachment Place and the blank gables of plots 18, 19 and 25. This would be in excess of the aspect standard of 16 metres.

The proposed development would comply with the aspect standards within the site.

The proposed development would comply with the aspect standards and would not have a significant adverse impact upon the amenity of the neighbouring properties.

**Ecology** - The ecological issues include bats, badgers, otters, other protected species, nesting birds, invasive species, proximity to the River Roch and natural habitat.

Bats - A bat survey was submitted with the application. The report states that the trees have negligible potential for bat roosting. The report does state that the plantation woodland along the eastern boundary could act as a corridor for bats both foraging and commuting. As only one side of the plantation would be illuminated and the River Roch is adjacent to the plantation, which is a higher value corridor and the layout would indicate that the likelihood of significant illumination is low. GM Ecology Unit have no reason to doubt the findings of the report with regard to bats and are satisfied that the proposed development would not impact in terms of illumination.

Badger - No evidence of badger was recorded on or within 30m of the proposed development. However, areas of dense scrub were present that were difficult to survey but the risk to badgers is low. GM Ecology Unit have no objections, subject to the inclusion of condition relating to a resurvey before any earthworks are commenced.

Otter - Otter are likely present in the River Roch, but the risks of them being present on site

is very low. GM Ecology Unit has no objections, subject to the inclusion of an informative relating to otters.

Other Protected Species - Due to a lack of suitable habitat on or near the site, it is highly unlikely that any other protected species are present.

Nesting Birds - Some trees and scrub would be removed from site. GM Ecology Unit have no objections, subject to the inclusion of a condition relating to nesting birds.

Other Wildlife - The habitats on site are suitable for species such as hedgehog and common toad, both UK Biodiversity Priority Species as well as other wildlife such as fox, and common frog. GM Ecology Unit has no objections, subject to the inclusion of a condition relating to reasonable avoidance measures for amphibians, hedgehog and badgers.

Invasive Species - Giant hogweed was recorded on the site with Himalayan Balsam and Japanese knotweed known to be present along the River Roch and around Goshen. GM Ecology Unit has no objections, subject to the inclusion of a condition relating to invasive species.

Proximity to River Roch - There would be a buffer between the River Roch and the application site, both in terms of distance and intervening habitats. As such, the risk of adverse effects during construction is low. GM Ecology Unit has no objections, subject to the inclusion of a condition relating to a construction and environmental management plan.

#### Contributing to and Enhancing the Natural Environment

Section 180 of the NPPF 2021 states that the planning policies and decisions should contribute to and enhance the natural and local environment. The application was submitted before the requirement to provide 10% biodiversity net gain was introduced.

A biodiversity net gain assessment has been provided that indicates a loss at the site level of 3.29 BU, which would be compensated with 14 heavy standard native trees and hedgerows.

The proposed landscaping plan would provide the 14 heavy standard trees and the hedgerows required to provide a net gain. As such, the proposed development would provide a net gain and would be in accordance with Policy EN6/3 of the Bury Unitary Development Plan and the NPPF.

**Trees** - Policy JP-G7 of the PfE plan states that where development would result in the loss of existing trees, requiring replacement on the basis of two new trees for each tree lost, or other measures that would result in a net enhancement in the character and quality of the treescape and biodiversity in the local area, with a preference for on site provision.

The tree survey indicates that 39 trees would be cleared from the site. 10 would be of good quality and 29 would be poor quality. The proposed landscaping and planting plans indicate that 68 new trees would be planted as part of the proposed development and bat and bird boxes would be incorporated within the proposed buildings. Given the significant number of trees that would be planted, it is considered that the proposed development would not have an adverse impact upon the character of the area. Therefore, the proposed development would be in accordance with Policy EN8/2 of the Bury Unitary Development Plan and Policy JP-G7 of the Places for Everyone Joint Development Plan.

**Flood risk** - The River Roch is located to the east of the site and the whole of the application site is located within flood zone 1. As such, there is a low risk of flooding. There are no surface water bodies on site and flood risk from surface water will be mitigated and

managed on site through levels design. United Utilities has no objections, subject to the inclusion of a condition relating to drainage. Therefore, the proposed development would not increase flood risk on site or increase the flood risk for any properties downstream. Therefore, the proposed development would be in accordance with Policy EN7/5 of the Bury Unitary Development Plan and Policy JP-S4 of the Places for Everyone Joint Development Plan.

**Noise** - A noise survey was submitted with the application and states that there would be no discernible noise from the electricity substations to the west and north of the site. There is an all weather pitch, which is located to the south east of the site. The noise survey states that there would be an exceedance of the adopted noise criteria level in the garden to the proposed apartment block but this would be mitigated by the inclusion of an acoustic fence, which would be 2.1 metres in height.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties in terms of noise and would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

**Public rights of way** - Along the northern boundary of the site is a footpath, which is well used, although it is not a definitive right of way. The proposed site plan indicates that this footpath would be retained and would be widened to 3 metres in width to connect to the PROW 68BUR, which is going to be a bridleway.

The Public Rights of Way officer has no objections to the proposed development.

Therefore, the proposed development would be in accordance with Policy RT3/4 of the Bury Unitary Development Plan.

**Highway issues** - The proposed development would be accessed from Haworth Close and Kemp Heaton Avenue, which were constructed to serve Peachment Place at the end of Haworth Close. Kemp Heaton Avenue connects to St Peter's Road and there would be adequate levels of visibility at the junction of St Peter's Road and Manchester Road. Turning facilities would be provided and parking would be available on site.

Some of the proposed dwellings would be located more than 250 metres from a single access point. An emergency access is located between Nos 69 and 71 Bronte Avenue, which is bollarded to prevent rat running.

The Traffic Section has no objections in principle and further comments will be reported in the Supplementary Report.

Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan and Policies JP-C5 and JP-C6 of the Places for Everyone Joint Development Plan.

**Parking** - SPD 11 states that the maximum parking standards for the proposed development is as follows:

- 1 spaces per 1 bedroom units;
- 1.5 spaces per 2 bedroom units;

This equates to 52 spaces.

The proposed development would provide 48 spaces, including 2 disabled parking bays. The proposed development is located in a highly sustainable location with good access to public transport. As such, the level of parking provision is considered to be acceptable in this case and would be in accordance with Policy HT2/4 of the Bury Unitary Development

Plan and SPD11.

**Planning obligations** - The scheme as proposed would normally include a commuted sum contribution of £82,197.30 for recreation as required by SPD1 and 11 affordable units as required by paragraph 64 of the NPPF.

The proposed development would provide 43 affordable units, which is in excess of the 11 required. The proposed development would be part funded by Homes England.

The applicant has submitted a viability appraisal where a case has been presented that any commuted sum would render the development unviable. The Council has assessed the viability assessment and agrees with its findings.

However, the scheme will deliver 100% much needed affordable housing in the Borough which is a clear benefit of the proposal. The affordable housing provision would be secured through a Section 106 legal agreement.

### **Response to objectors**

- The issue relating to density, biodiversity net gain, public right of way, highway safety, parking has been addressed in the report above.
- Condition 16 requires a Construction Traffic Management Plan to be provided, which would identify parking for constructors.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during pre-application discussions to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Minded to Approve

### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 12551-AEW-XX-XX-DR-A-0501 P02, 12551-AEW-S1-XX-DR-A-0502 P02, 12551-AEW-XX-XX-DR-A-6002 P02, 12551-AEW-B1-XX-DR-A-0550 P02, 12551-AEW-XX-XX-DR-A-6001 P03, 12551-AEW-AB-XX-DR-A-0520 P02, 12551-AEW-CF-XX-DR-A-0540 P02, 12551-AEW-AB-XX-DR-A-0521 P02, 12551-AEW-AB-XX-DR-A-0523 P02, 12551-AEW-AB-XX-DR-A-0522 P02, 12551-AEW-S1-XX-DR-A-0504 P02, 12551-AEW-S1-XX-DR-A-0503 P22, 12551-AEW-S1-XX-DR-A-0505 P02, 12551-AEW-H1-XX-DR-A-0530 P02, 12551-AEW-S1-XX-DR-A-0513 P01, 5000 P6, 387 03 P, 387 04 J, 387 05 E, 387 06 E, KHAB/MS/01, Existing topographical and utility Survey (Dwg No. S23-0219) and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design.

4. No development shall commence unless and until:-
- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
  - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
  - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

6. Prior to occupation, electric vehicle charging points shall be installed and made available for use. EV chargepoints shall be 7kW\* as a minimum.

\*Mode 3, 7kW (32A) single phase, or 22kW (32A) three phase, and for 50kW Mode 4 rapid charging may be required. British Standard BS EN 61851-1:2019 to be used. Further information regarding minimum standards can be found at <https://www.gov.uk/transport/low-emission-and-electric-vehicles>.

Reason. In accordance with the NPPF, to encourage the uptake of ultra-low emission vehicles and ensure the development is sustainable. To safeguard residential amenity, public health and quality of life.

7. No development shall commence until;
1. scheme of intrusive investigations has been carried out on site to establish the risks posed to the development by past shallow coal mining activity; and

2. any remediation works and/or mitigation measures to address land instability arising from coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is made safe and stable for the development proposed.

The intrusive site investigations and remedial works shall be carried out in accordance with authoritative UK guidance.

Reason. The scheme does not provide full details of the actual risk from coal mining and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

8. Prior to the occupation of the development, or it being taken into beneficial use, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.  
Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
9. Prior to commencement of earthworks, a survey of the site and the surrounding 30 metres for badger setts shall be submitted to and approved in writing by the Local Planning Authority. Any mitigation measures identified shall be implemented in full during the course of the development.  
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
10. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance.  
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
11. The development hereby approved shall only be carried out in accordance with the measures in Section 4.4.2 to 4.4.4 of the Preliminary Ecological Appraisal relating to amphibians, hedgehogs and badgers.  
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
12. No development shall commence until a survey for invasive plant species including Giant Hogweed, Japanese Knotweed and Himalayan Balsam has been submitted to and approved in writing by the Local Planning Authority. If any invasive species are present, a method statement detailing avoidance, control and eradication measures must be provided and approved in writing before any development can commence. The development hereby approved shall only be carried out in

accordance with the approved details.

Reason. The scheme does not provide full details of the actual extent of invasive species and mitigation pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

13. No development shall commence unless or until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The development shall only be carried out in accordance with the approved details.

Reason.

14. The landscaping scheme (plan references 387 03 P, 387 05 E, 387 06 E) hereby approved shall be implemented not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

15. The drainage for the development hereby approved, shall be carried out in accordance with principles set out in the submitted Foul & Surface Water Drainage Design Drawing 13753-5050, Rev P1 - Dated 09/08/2023 which was prepared by Campdell Reith. For the avoidance of doubt surface water must drain at the restricted rate of 6.17l/s.

Prior to occupation of the proposed development, the drainage schemes shall be completed in accordance with the approved details and retained thereafter for the lifetime of the development.

Reason: To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding.

Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

16. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved by the Local Planning Authority and shall confirm/provide the following:

- Hours of operation and number of vehicle movements;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site;
- Parking on site of operatives' and demolition/construction vehicles together with storage on site of demolition/construction materials;
- Measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations

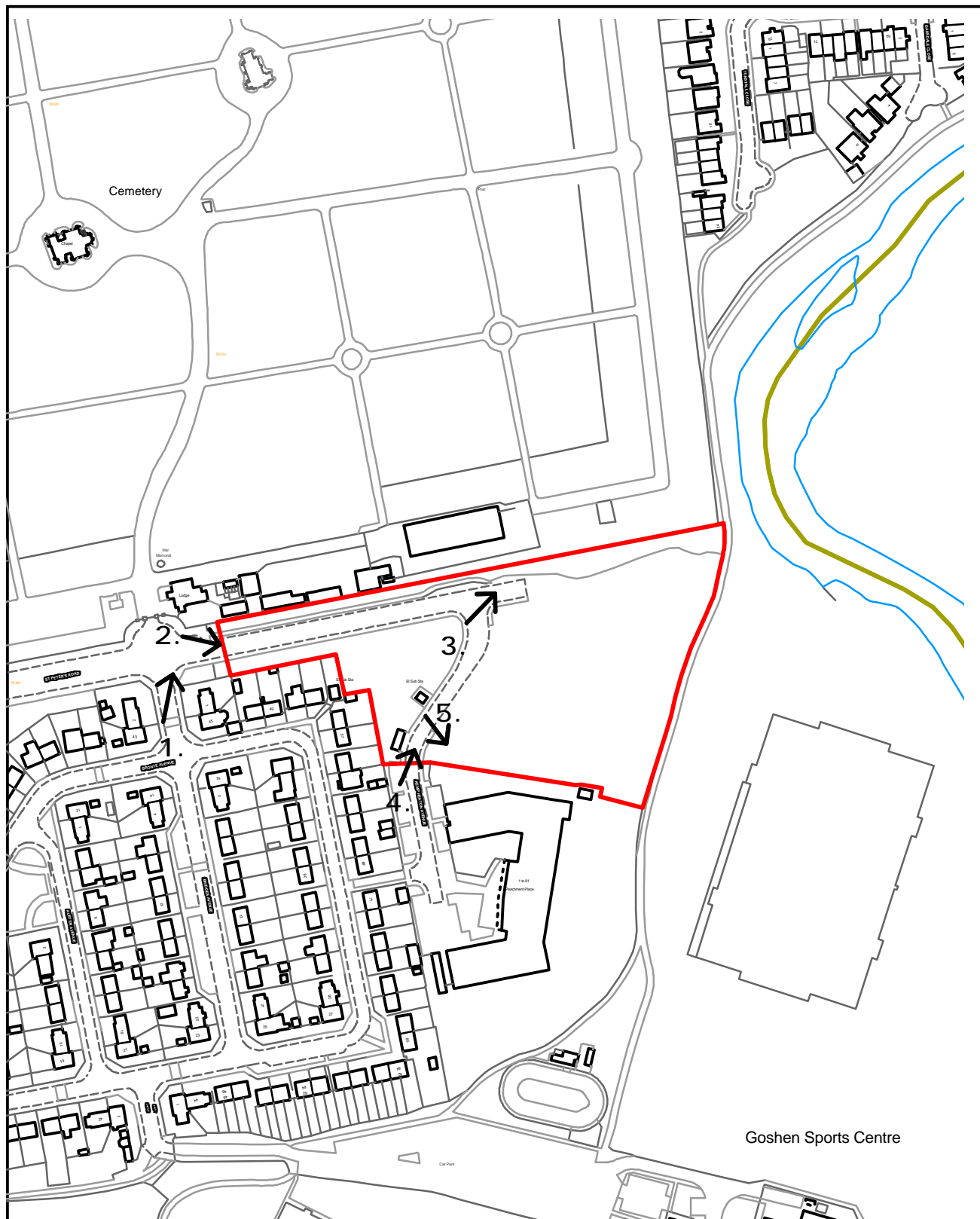
The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of

vehicles and storage of demolition/construction materials.

Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

For further information on the application please contact **Helen Leach** on **0161 253 5322**

# 70015 - Viewpoints



## PLANNING APPLICATION LOCATION PLAN

APP. NO 70015

ADDRESS: Kemp Heaton Avenue, situated between Bury Cemetery to the north and Peachment Place Extra Care apartments to the south.

Planning, Environmental and Regulatory Services

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**Bury**  
Council

**70015**

Photo 1



Photo 2



**70015**

Photo 3



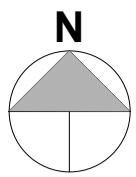
Photo 4



**70015**

Photo 5





Scale Bars		TO BE USED ONLY AS GUIDANCE			
1:100	mm	0	1000	2000	3000
1:200	mm	0	2000	4000	6000
1:500	M	0	5	10	25
1:1250	M	0	10	30	50

#### NOTES

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- All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations

This drawing contains the following model files: -

12551-AEW-SI-XX-M3-A-0010  
12551-AEW-AB-XX-M3-A-0001\_SL Apartment Block  
12551-AEW-H1-XX-M3-A-0002\_H Block 01 / [H2]\_0003\_H Block 02  
12551-AEW-CF-XX-M3-A-0004\_C Block.rvt  
12551-AEW-B1-XX-M3-A-0005\_B Block 01 / [H2]\_0006\_B Block 02  
LUM 2015

Client notified of duties: 30/07/2021

Principal Designer: Anderton Gables (CDM PD)

Unless noted below, all known hazards have been highlighted on the drawing.

#### Schedule of Accommodation

8 x	2B3P Bungalows
7 x	2B4P Homes
18 x	Apartments (15 x 1B1P & 3 x 2B2P)
10 x	1B2P Cottage Flats

Total number of dwellings: = 43

Total number of parking spaces: 48

of which 11no. Supported Living Parking Spaces (Including 2no. Accessible Bays)  
9no. Visitor Allocated Spaces

#### Site Plan Key

	Combined Culvert Sewer Line
	Easement
	Gas main
	Electric main
	(Existing) Lamp Post

Plan to be read in conjunction with landscape architects drawings for detailed landscaping and boundary details.

This plan has been updated in line with, and is to be read in conjunction with, the latest Highways information from Eddisons drawing 4058-P01 (Rev E)

P22	26/06/24	Fenceline update	MRH	MRH
P21	25/06/24	Northern footpath widened to 3m along full length	MRH	MRH
P20	13/06/24	Minor Amendments to fencelines	MRH	DS
P19	04/06/24	Updated in line with current site plan	MRH	DS
P18	22/05/24	Updated footpaths and site plan overall in line with Eddisons comments	MRH	DS
P17	02/05/24	Footpath added to end of spur per request from Highways, parking run & bungalow garden amended to suit. Line of central culvert amended in line with drainage survey information. Parking space added	MRH	DS
P16	26/03/24	Updated Footpath	JS	DS
P15	07/03/24	Updated SL Block Area	JS	DS
P14	01/02/24	Updated SL Block Location	JS	DS
P13	12/01/24	Updated Parking	JS	DS
P12	06/12/23	Updated Acoustic Fencing	JS	DS
P11	14/08/23	Issued for Planning	JS	DS
P10	11/08/23	Issued for Planning	JS	DS
P09	07/08/23	Revised Layout	JS	DS
P08	27/07/23	Revised Layout	JS	DS
P07	18/07/23	Revised Parking	JS	DS
P06	01/06/23	Revised site layout	JS	DS
P05	23/05/23	Revised site layout following design team feedback	JS	DS
P04	28/11/22	Revised following planners' feedback	DB	DS
P03	07/11/22	Updated Layout Plan	DB	DS
P02	27/07/22	Layout revised following planners feedback	DS	BR
P01	05/04/22	Initial Issue	JFS	DS
Rev	Date	Description	Drawn by	Checked By
S2		Planning		

drawing stage **Stage 3**

client  
**Great Places Housing Group**

project  
**Kemp Heaton Ave. Bury**

drawing title  
**Proposed Site Plan**

date 10/08/23 drawn JS  
scale @ A1 As indicated checked DS



Proposed Site Plan  
Scale @ 1 : 500

Rev  
**P22**

Dwg No  
**12551-AEW-SI-XX-DR-A-0503**

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00 Ground Floor  
Scale @ 1 : 100



01 First Floor  
Scale @ 1 : 100

Scale Bars		TO BE USED ONLY AS GUIDANCE	
1:100	mm	1000	2000
1:200	mm	2000	4000
1:500	M	5	10
1:1250	M	10	20

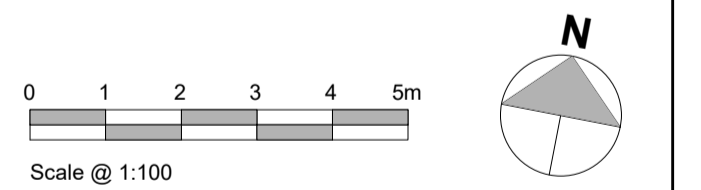
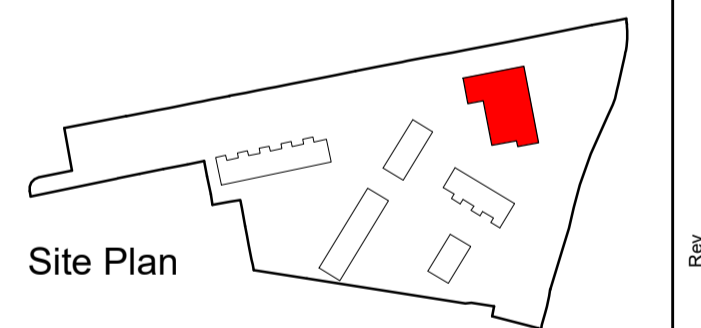
- NOTES
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  - All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations.
- This drawing contains the following model files: -  
12551-AEW-AB-XX-M3-A-0001

CDM 2015

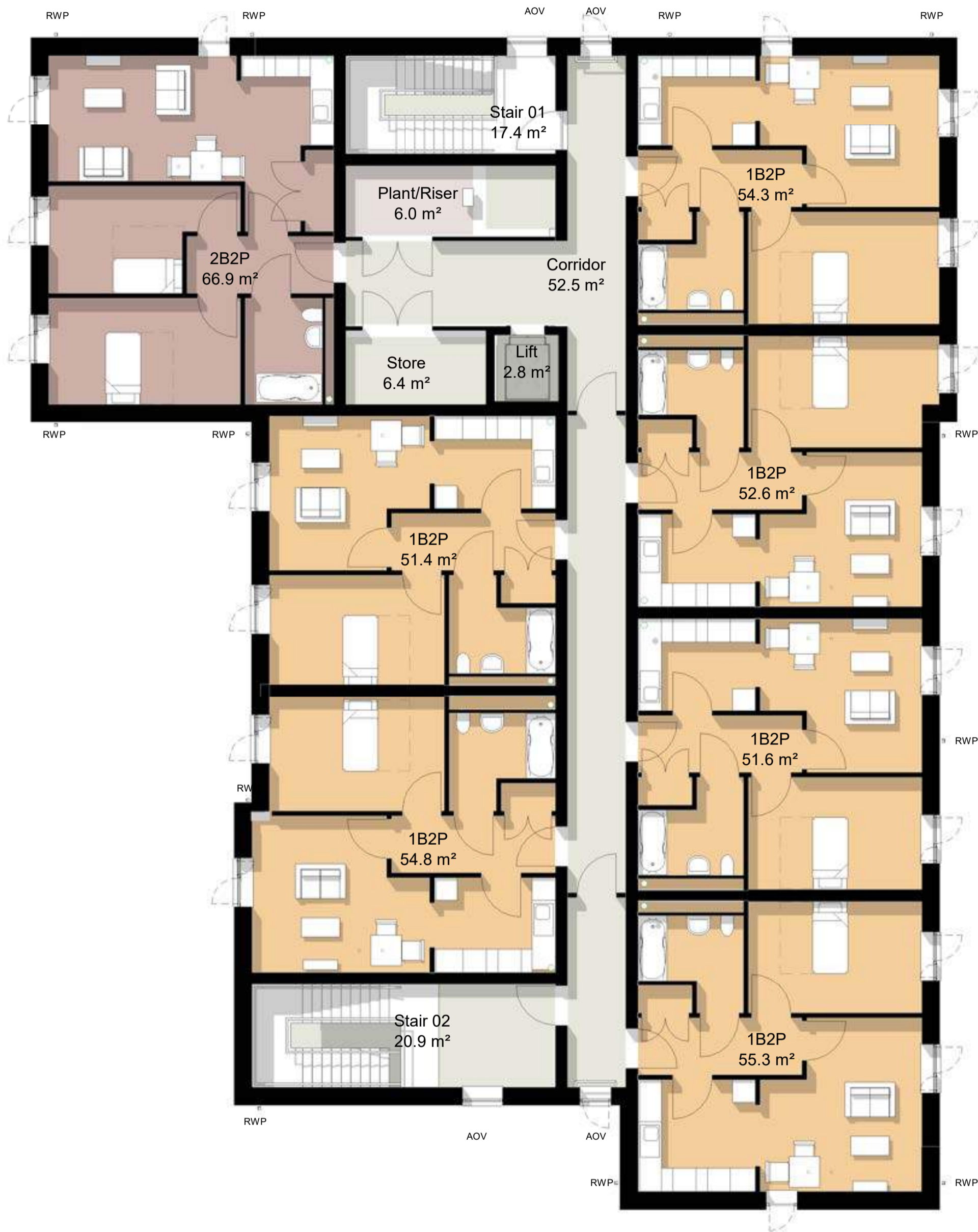
Client notified of duties: 30/07/2021  
Principal Designer: Anderton Gables (CDM PD)

Unless noted below, all known hazards have been highlighted on the drawing.

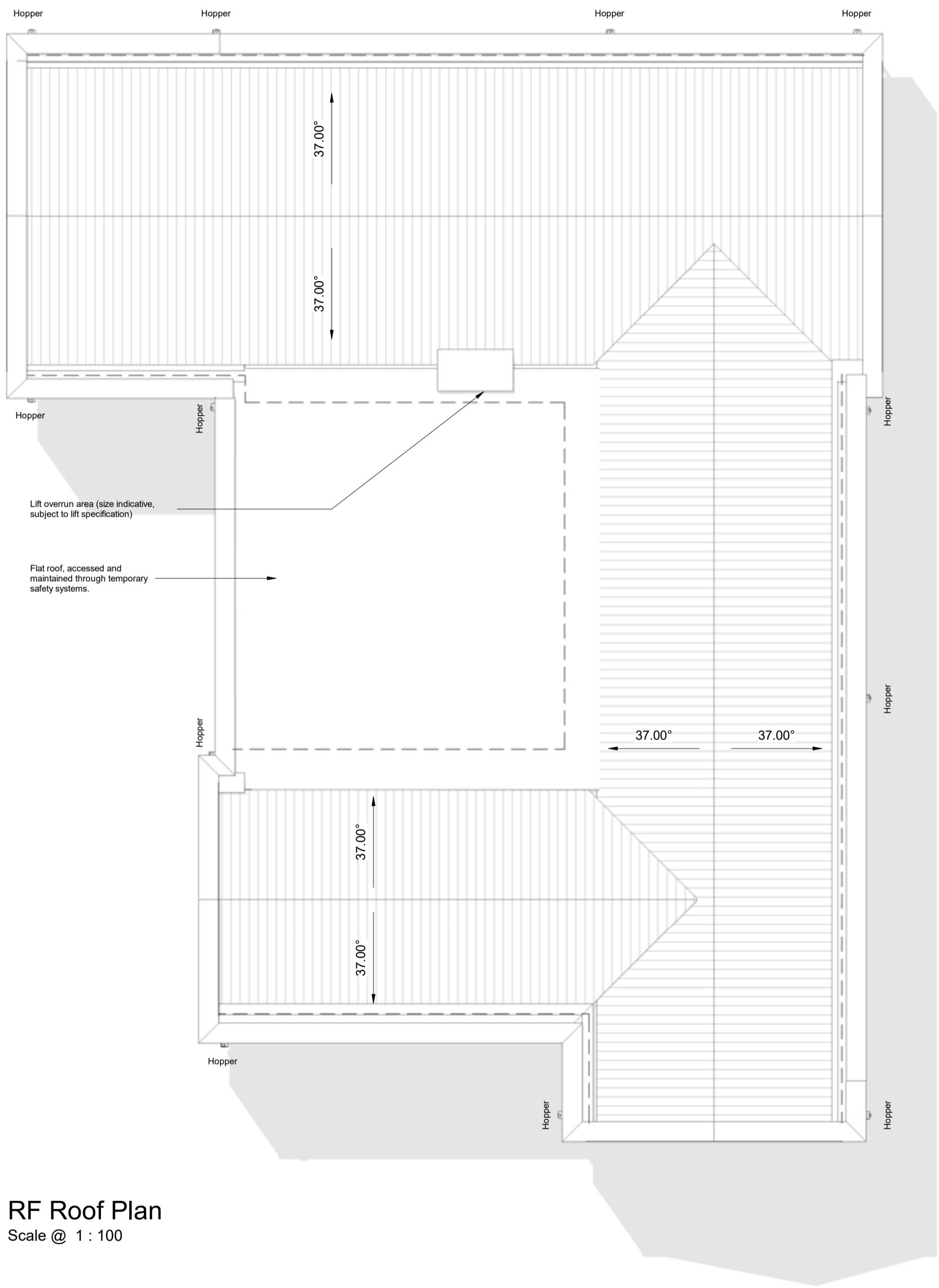
- Floor Plan Key
- 1 Bed Apartment
  - 2 Bed Apartment
  - Ancillary
  - Office/Meeting Space
  - WC



P02	12/06/24	Issued for Planning	MRH	DS
P01	22/05/24	Updated issue for Planning	MRH	DS
Rev	Date	Description	Drawn by	Checked By
Status	Purpose of Issue			
S2	Planning			
drawing stage	Stage 4			
client	Great Places Housing Group			
project	Kemp Heaton Ave. Bury			
drawing title	Apartment Block Ground & First Floor Plan			
date	22/05/24	drawn	JS/MRH	
scale @ A1	As indicated	checked	DS	



02 Second Floor  
Scale @ 1 : 100



RF Roof Plan  
Scale @ 1 : 100

Scale Bars

TO BE USED ONLY AS GUIDANCE

1:100	mm	1000	2000	3000	4000	5000
1:200	mm	500	1000	1500	2000	2500
1:500	M	5	10	15	20	25
1:1250	M	10	20	30	40	50

NOTES

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12551-AEW-AB-XX-M3-A-0001

CDM 2015

Client notified of duties: 30/07/2021

Principal Designer: Anderton Gables (CDM PD)

Unless noted below, all known hazards have been highlighted on the drawing.

Floor Plan Key

1 Bed Apartment

2 Bed Apartment

Ancillary

Office/Meeting Space

WC

Site Plan

0 1 2 3 4 5m

Scale @ 1:100

N

P02	12/06/24	Issued for Planning	MRH	DS
P01	22/05/24	Updated issue for Planning	MRH	DS
Rev	Date	Description	Drawn by	Checked By
Status		Purpose of Issue		
S2		Planning		

drawing stage

Stage 4

client

Great Places Housing Group

project

Kemp Heaton Ave. Bury

drawing title

Apartment Block Second Floor & Roof Plan

date

22/05/24

drawn

JS/MRH

scale @ A1

As indicated

checked

DS

Rev

P02

Dwg No

12551-AEW-AB-XX-DR-A-0521

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East Elevation  
Scale @ 1 : 100



West Elevation  
Scale @ 1 : 100



North Elevation  
Scale @ 1 : 100



South Elevation  
Scale @ 1 : 100

Scale Bars		TO BE USED ONLY AS GUIDANCE	
1:100	mm	1000	2000 3000 4000 5000
1:200	mm	1000	2000 3000 4000 5000
1:500	M	5	10 15 20 25
1:1250	M	10	30 50 70

## NOTES

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- 12551-AEW-AB-XX-M3-A-0001

## CDM 2015

Client notified of duties: 30/07/2021  
Principal Designer: Anderton Gables (CDM PD)

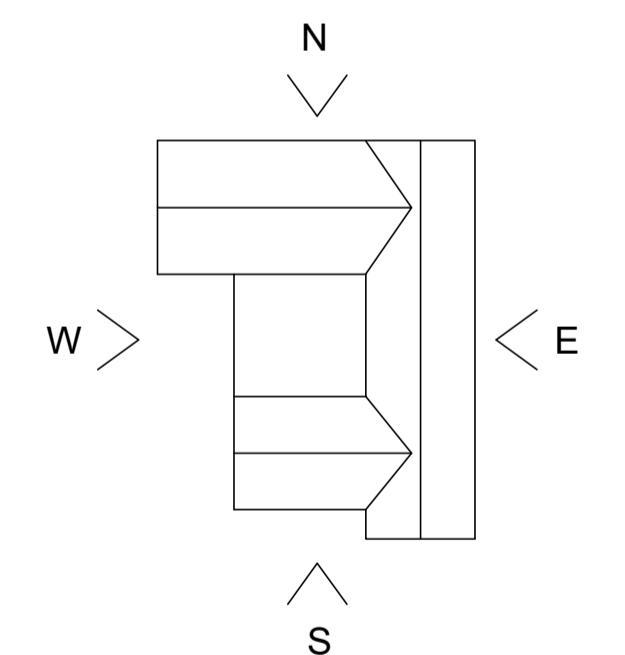
Unless noted below, all known hazards have been highlighted on the drawing.

## Material List

- Facing Brick 01 – Red/orange 65mm brick with natural mortar with bucket handle joints.
- Facing Brick 02 – Grey/buff 65mm brick with natural mortar with bucket handle joints.
- Brick Detail 01 - 235 mm high flush single soldier course in Red/orange brick with natural mortar with bucket handle joints.
- Brick Detail 02 - 235 mm high flush single soldier course in Grey with natural mortar with bucket handle joints.
- Brick Detail 05 – Red/orange feature brick panel with 15mm deep recessed strips, with natural mortar & bucket handle joints
- Brick Detail 06 – Grey feature brick panel with 15mm deep recessed strips, with natural mortar & bucket handle joints.
- Window 1 - UPVC double-width window unit incorporating internally opening air vent with fixed louvred screen (colour to match frame) - Black
- Window 2 - UPVC single-width window unit - Black
- Door 1 - UPVC glass panel single entrance door to be coloured in Black.
- Door 2 - UPVC glass panel double entrance door to be coloured in Black.
- Door 3 - Metal secure access/maintenance single door to be coloured in Black.
- Door 4 - Metal secure access/maintenance double door to be coloured in Black.
- Grey Marley Edgemere or other equal and approved concrete interlocking roof tile
- Minimal UPVC parapet verge cover flashing and parapet roof flashing in Black.
- RWPs & hoppers UPVC in Black, locations to be advised by specialist.
- Potential location of dry riser fire inlet

## NOTE:

- Locations of RWPs are provisional and subject to specialist advice
- External air vents (mechanical extract) and SVP vents are not shown, locations will be subject to MEP detailed design, pipe and faceplate colours to be black



## Elevations Key

P02	12/06/24	Issued for Planning	MRH	DS
P01	22/05/24	Updated issue for Planning	MRH	DS
Rev	Date	Description	Drawn by	Checked By

Status Purpose of Issue  
S2 Planning

drawing stage **Stage 4**

client

**Great Places Housing Group**

project

**Kemp Heaton Ave. Bury**

drawing title

**Apartment Block Elevations**

date 22/05/24 drawn JS/MRH  
scale @ A1 As indicated checked DS

Rev  
P02

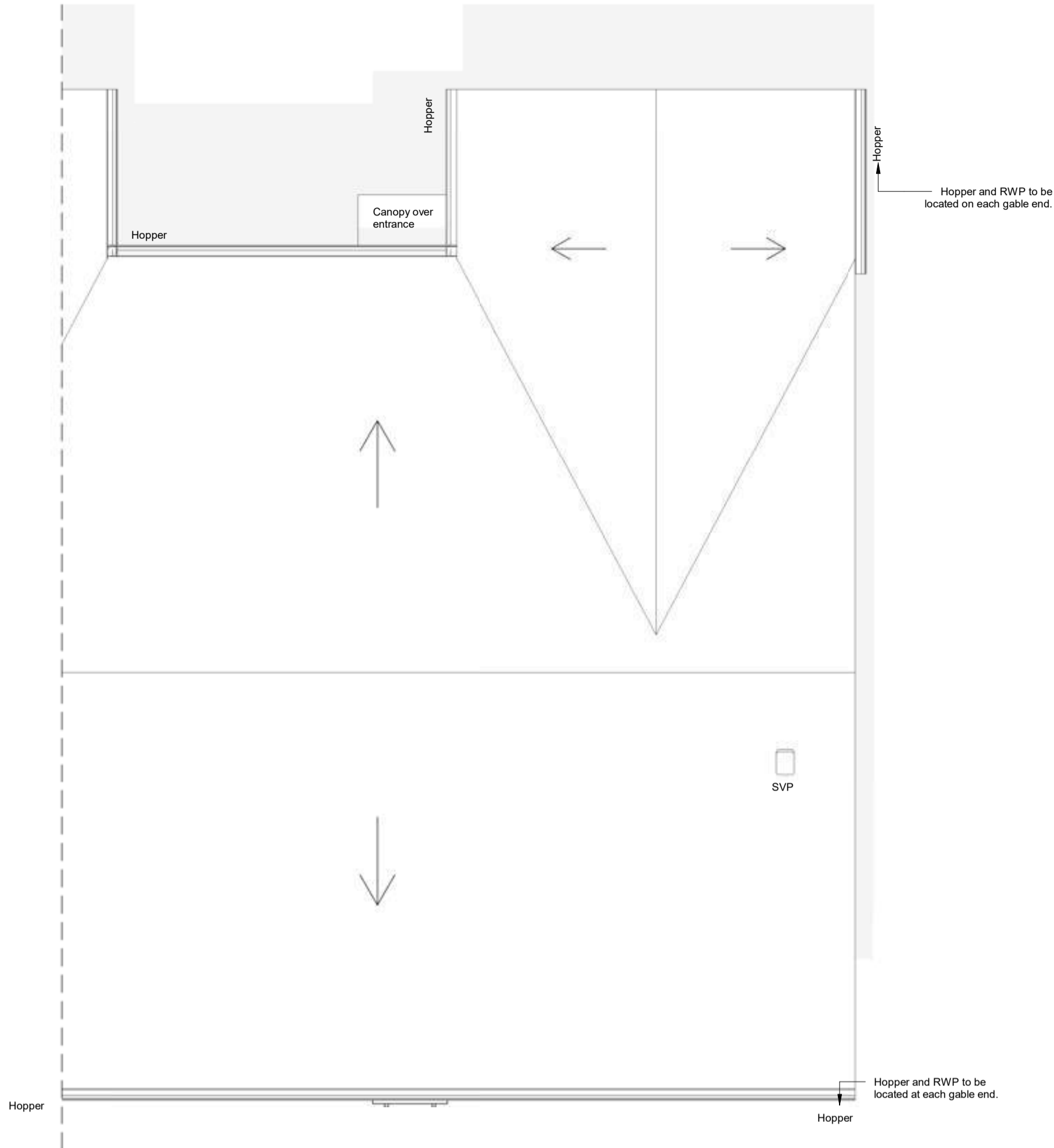
Dwg No  
12551-AEW-AB-XX-DR-A-0522

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Ground Floor (Planning)  
Scale @ 1 : 50



Roof Plan (Planning)  
Scale @ 1 : 50



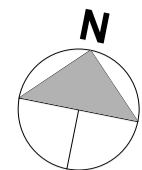
Front Elevation (Planning)  
Scale @ 1 : 50



Rear Elevation (Planning)  
Scale @ 1 : 50



Isometric (Block 1 End bungalow)



Scale Bars	TO BE USED ONLY AS GUIDANCE
1:100	mm
1:200	mm
1:500	M
1:1250	M

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- 12551-AEW-B1-XX-M3-A-0005

#### CDM 2015

Client notified of duties: 30/07/2021  
Principal Designer: Anderton Gables (CDM PD)

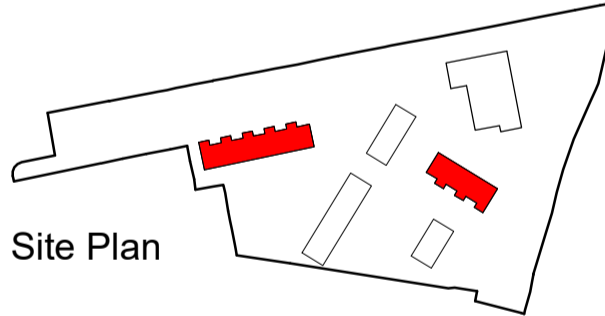
Unless noted below, all known hazards have been highlighted on the drawing.

2B3P Bungalow - GIA	
Level	Area
GF_Ground Floor	74.3 m²

Designed in line with National Described Space Standards requirements and part M category 3 regulations.

#### KEY

- RWP Rain water downpipe  
RWO Rain water outlet  
SVP Soil Vent pipe  
AAV Air Admittance Valve  
WFB Wall mounted bathroom extract fan (min extract rate of 15 ltr/sec) - location shown indicatively, colour to be black  
CFB Cavity Fire Barrier  
WFK Wall mounted Kitchen extract fan (min extract rate of 60 ltr/sec) - location shown indicatively, colour to be black  
BF Boiler flue  
EXL Low Energy External light fitting with PIR sensor (min efficacy of 40 lumens per circuit watt) to comply with S80  
L Glazing with laminated glass outer leaf  
T Glazing with toughened inner leaf  
E Egress windows to comply with building Regulations requirements  
OB Glazing with Obscure glass  
G Gas Meter  
E Electricity Meter  
RL Roof Light  
AH Access Hatch



Site Plan

P02	25/06/24	Revised areas alongside layout updates	MRH	DS
P01	12/06/24	Updated drawing, issue for planning	MRH	DS
Rev	Date	Description	Drawn by	Checked By
Status	Purpose of Issue			
S2	For Planning			
drawing stage	Stage 4			
client				

Great Places Housing Group

project

Kemp Heaton Avenue, Bury

drawing title

House Type 3 (Bungalow - Accessible)  
2B3P

date	11.08.23	drawn	JS
scale @ A1	As indicated	checked	DS

Rev  
P02

12551-AEW-B1-XX-DR-A-0550

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- This drawing contains the following model files: -
- 12551-AEW-H1-XX-M3-A-0002

CDM 2015

Client notified of duties: 30/07/2021  
Principal Designer: Anderson Gables (CDM PD)  
Unless noted below, all known hazards have been highlighted on the drawing.

House Type 1 - 2B4P - GIFA	
Level	Area
01 First Floor	35.0 m²
00 Ground Floor	35.1 m²
	70.1 m²

KEY

- RWP Rain water downpipe  
RWO Rain water outlet  
SVP Soil Vent pipe  
AAV Air Admittance Valve  
WFB Wall mounted bathroom extract fan (min extract rate of 15 l/s/hr) - location shown indicatively, colour to be black  
CFB Curly Fire Barrier  
WFK Wall mounted Kitchen extract fan (min extract rate of 60 l/s/hr) - location shown indicatively, colour to be black  
BF Boiler flue  
EXL Low Energy External light fitting with PIR sensor (min efficacy of 40 lumens per circuit watt) to comply with SED  
L Glazing with laminated glass outer leaf  
T Glazing with toughened inner leaf  
E Egress windows to comply with Building Regulations requirements  
OB Glazing with Obscure glass  
G Gas Meter  
E Electricity Meter  
RL Roof Light  
AH Access Hatch

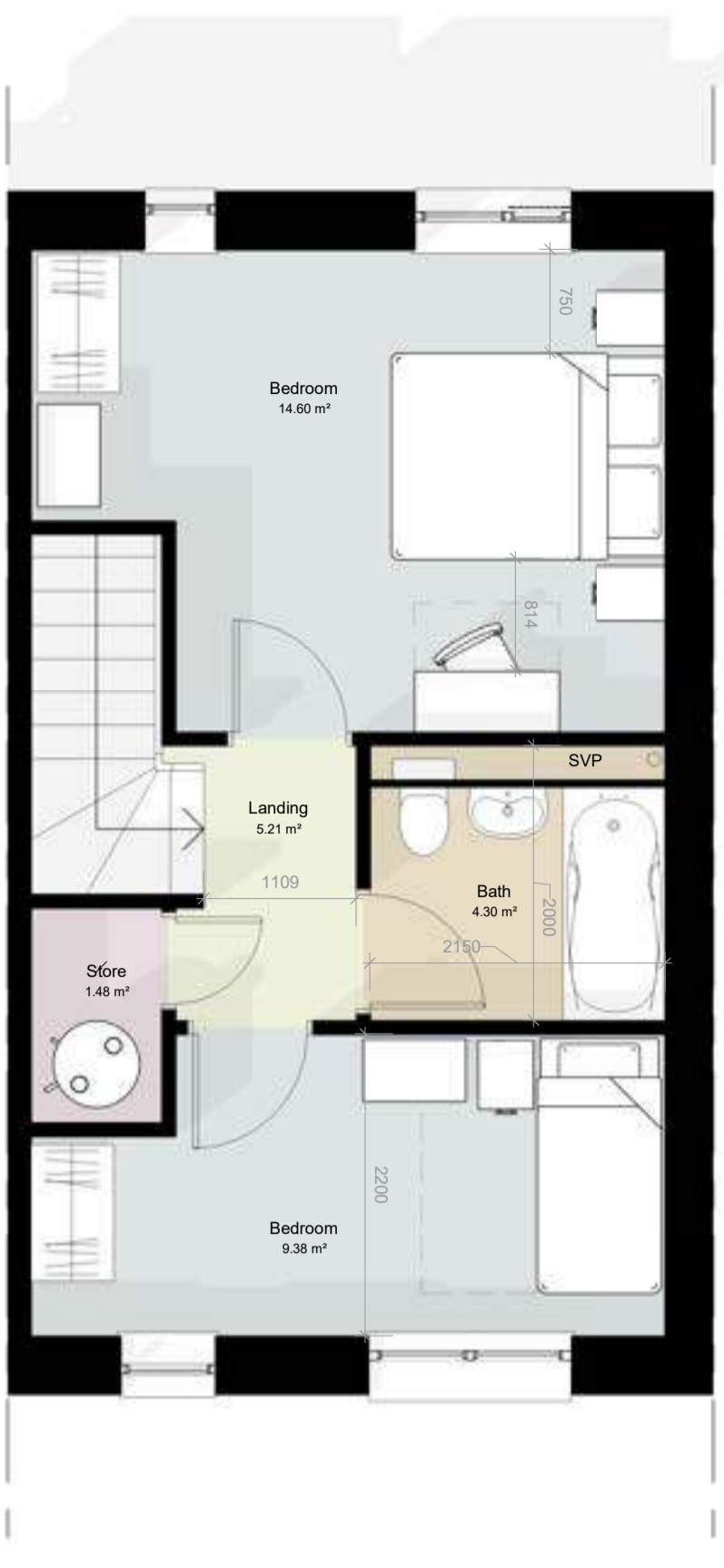
Site Plan

Floor Plan Key

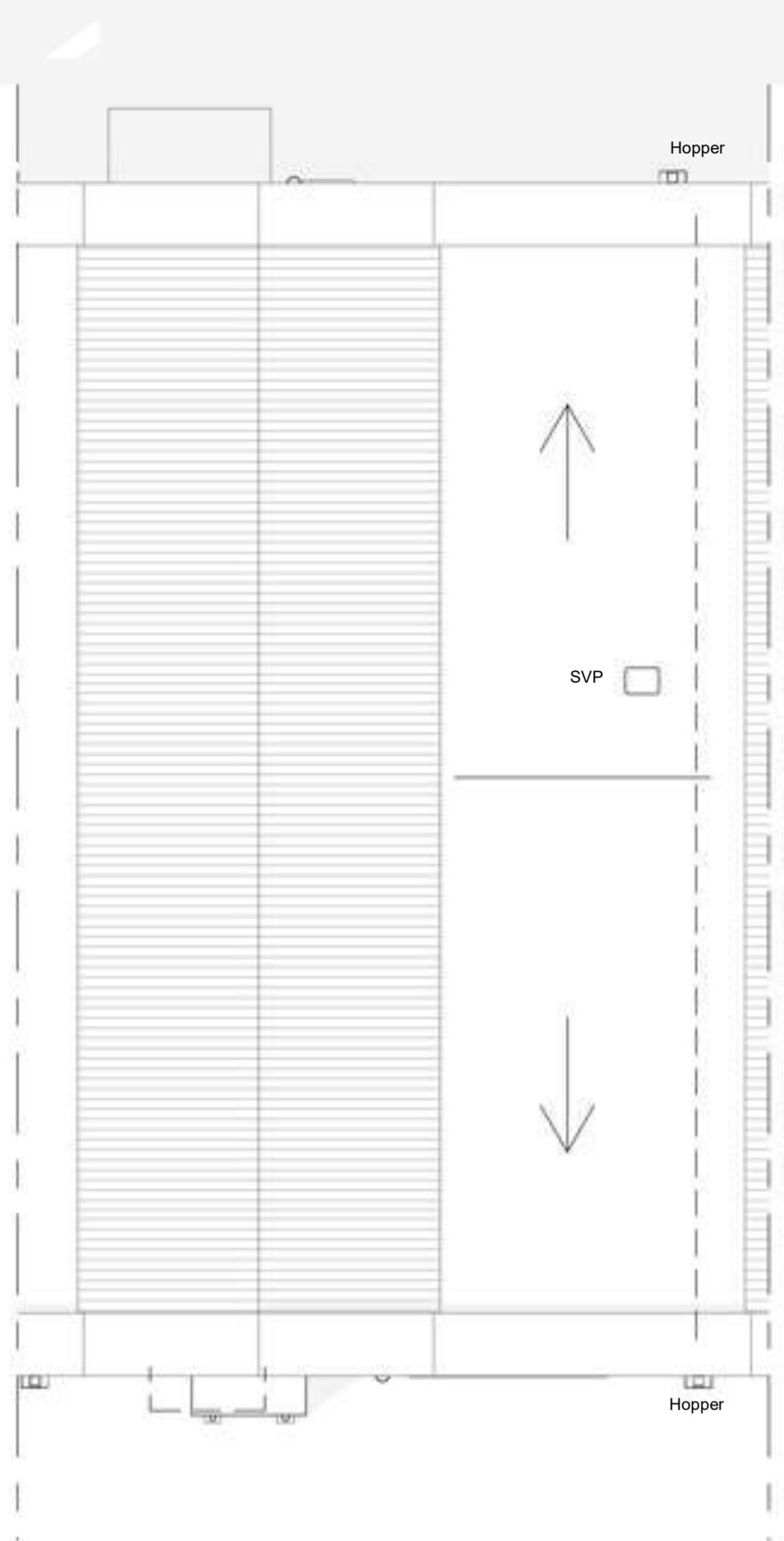
- Ancillary  
Bedroom  
Living  
Store  
WC



Scale @ 1:50  
Ground Floor



Scale @ 1:50  
First Floor



Scale @ 1:50  
Roof Plan



Front Elevation  
Scale @ 1:50



Rear Elevation  
Scale @ 1:50



Side Elevation 1  
Scale @ 1:50

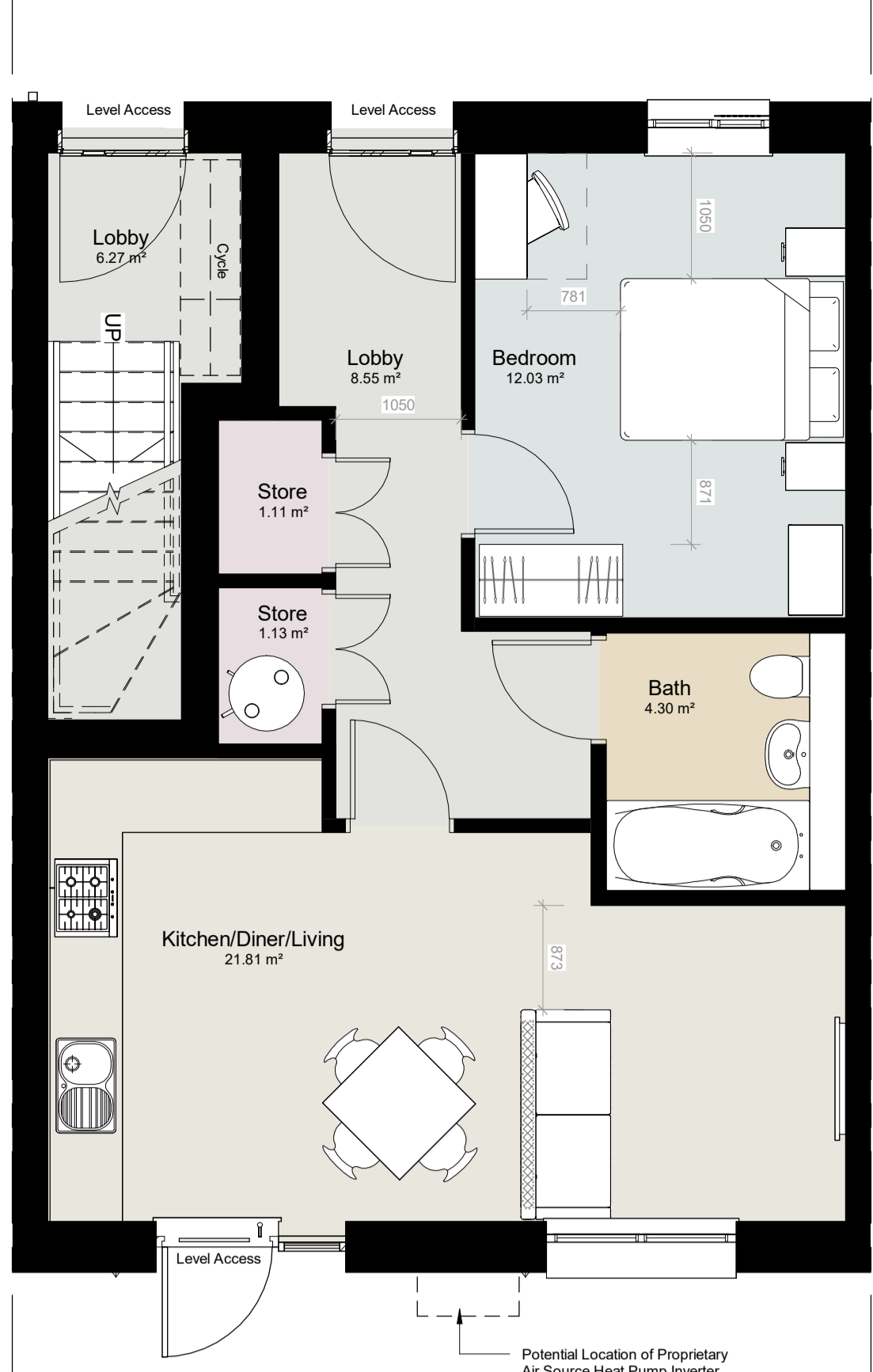
Side Elevation 2  
Scale @ 1:50



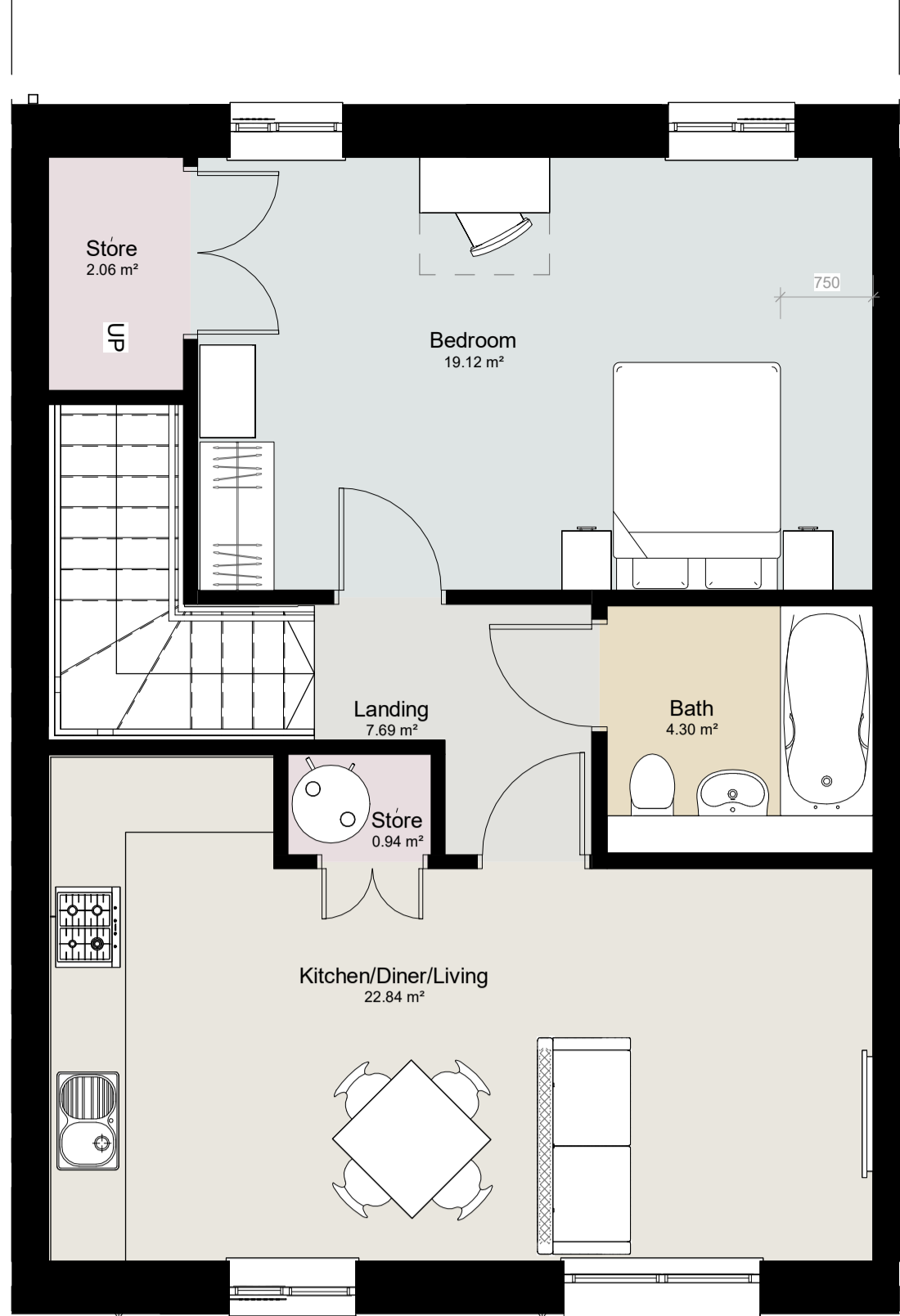
Isometric

Rev	22/05/24	Issued for Planning	MRB	DS
Rev	22/05/24	Updated drawings, issue for planning	JS/MRH	DS
Status	S2	Planning	Drawn by	Checked by
drawing stage	Stage 4			
client	Great Places			
project	Kemp Heaton Avenue, Bury			
drawing title	House Type 1 - 2B3P			
date	22/05/24	drawn	JS/MRH	
scale @ A0	As indicated	checked	DS	

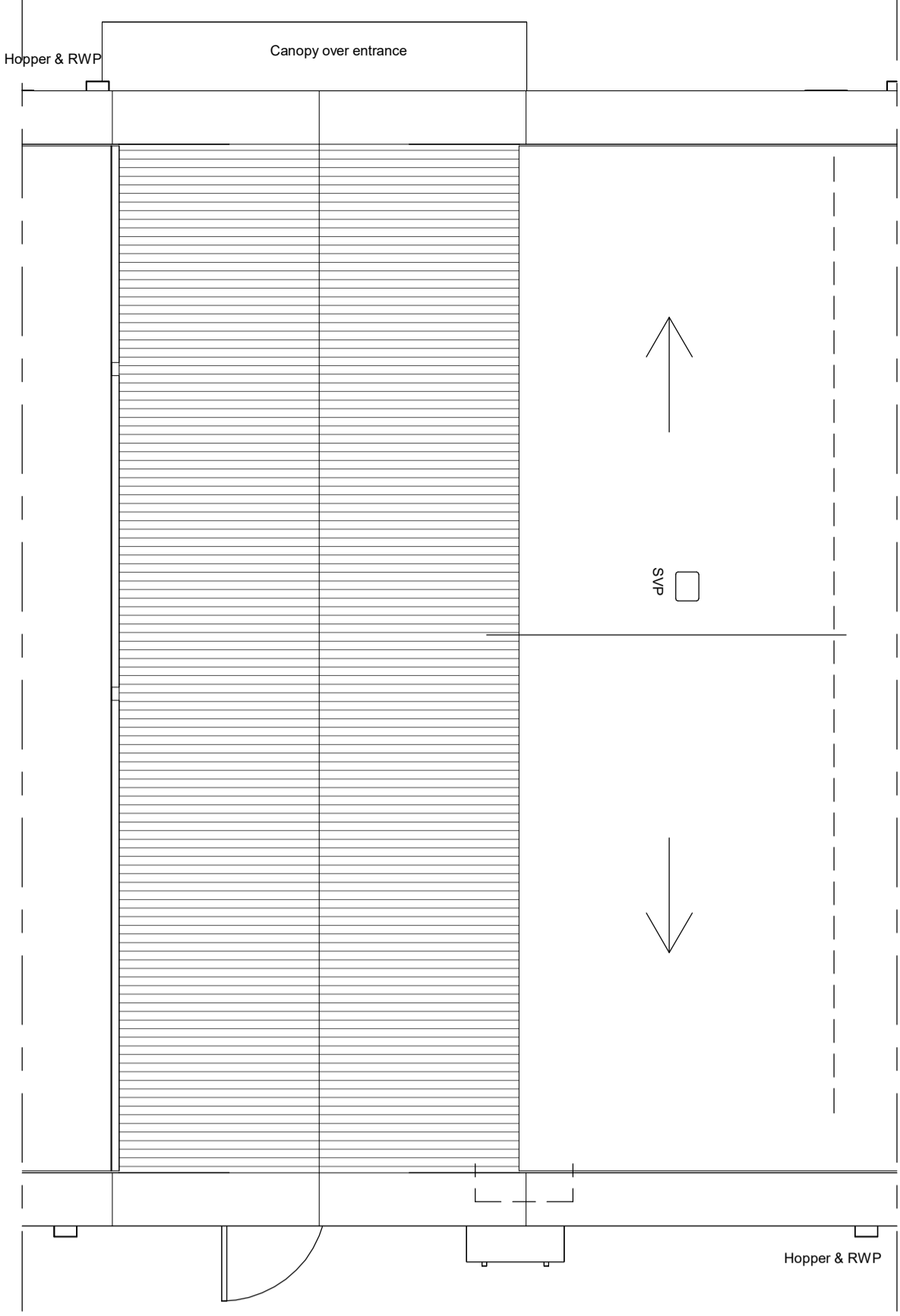
Scale @ 1 : 50  
Ground Floor



Scale @ 1 : 50  
First Floor



Scale @ 1 : 50  
Roof Plan



Scale Bars		TO BE USED ONLY AS GUIDANCE	
1:5	mm	1:10	mm
1:10	mm	1:20	mm
1:20	mm	1:50	mm
1:50	mm	1:100	mm

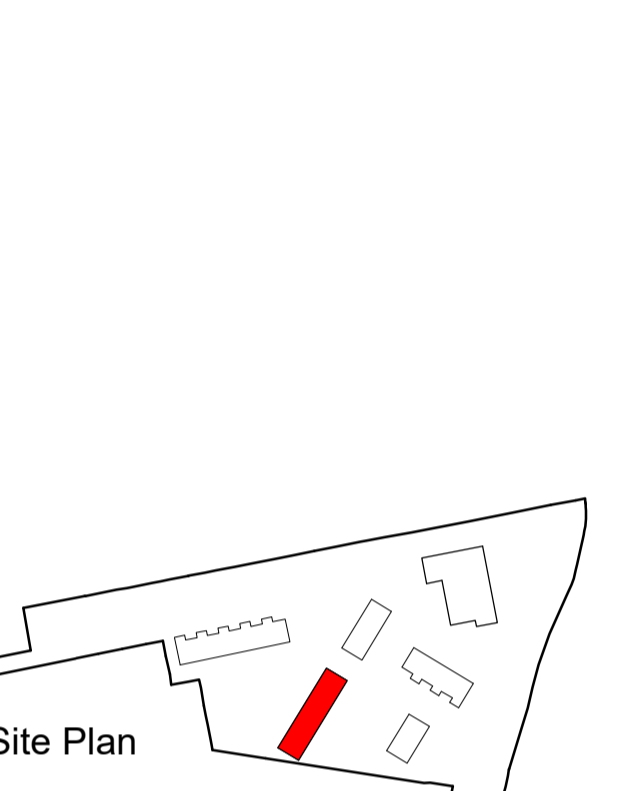
NOTES

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- This drawing contains the following model files: -  
12551-AEW-CF-XX-M3-A-0004

CDM 2015

Client notified of duties: 30/07/2021  
Principal Designer: Anderton Gables (CDM PD)  
Unless noted below, all known hazards have been highlighted on the drawing.

House Type 2 - 1B2P - GIFA		
Name	Level	Area
Flat 1	00_Ground Floor	51.2 m²
Flat 2	00_Ground Floor	51.2 m²
Flat 2	01_First Floor	59.5 m²
Flat 3	00_Ground Floor	51.2 m²
Flat 4	00_Ground Floor	51.2 m²
Flat 4	01_First Floor	59.5 m²
Flat 5	00_Ground Floor	51.2 m²
Flat 6	00_Ground Floor	51.2 m²
Flat 6	01_First Floor	59.5 m²
Flat 7	00_Ground Floor	51.2 m²
Flat 8	00_Ground Floor	51.2 m²
Flat 8	01_First Floor	59.5 m²
Flat 9	00_Ground Floor	51.2 m²
Flat 10	00_Ground Floor	51.2 m²
Flat 10	01_First Floor	59.5 m²
Grand total		584.9 m²



Floor Plan Key

- Ancillary
- Bedroom
- Living
- Store
- WC

Key

- RWP Rain water downpipe
- RWD Rain water outlet
- SVP Soil Vent pipe
- AAV Air Admission Valve
- WFB Wall mounted bathroom extract fan (min extract rate of 15 litres/sec) - location shown indicatively, colour to be black.
- CFB Cavity Fire Barrier
- WFK Wall mounted kitchen extract fan (min extract rate of 60 litres/sec) - location shown indicatively, colour to be black.
- BF Boiler flue
- EXL Low Energy External light fitting with PIR sensor (not efficacy of 40 lumens per strand watt) to comply with SED.
- L Glazing with laminated glass outer leaf
- T Cladding with negligible thermal mass
- E Egress windows to comply with building Regulations requirements
- OB Cladding with Obscure glass
- G Gas Meter
- E Electricity Meter
- RL Roof Light
- AH Access Hatch

Front Elevation  
Scale @ 1 : 100



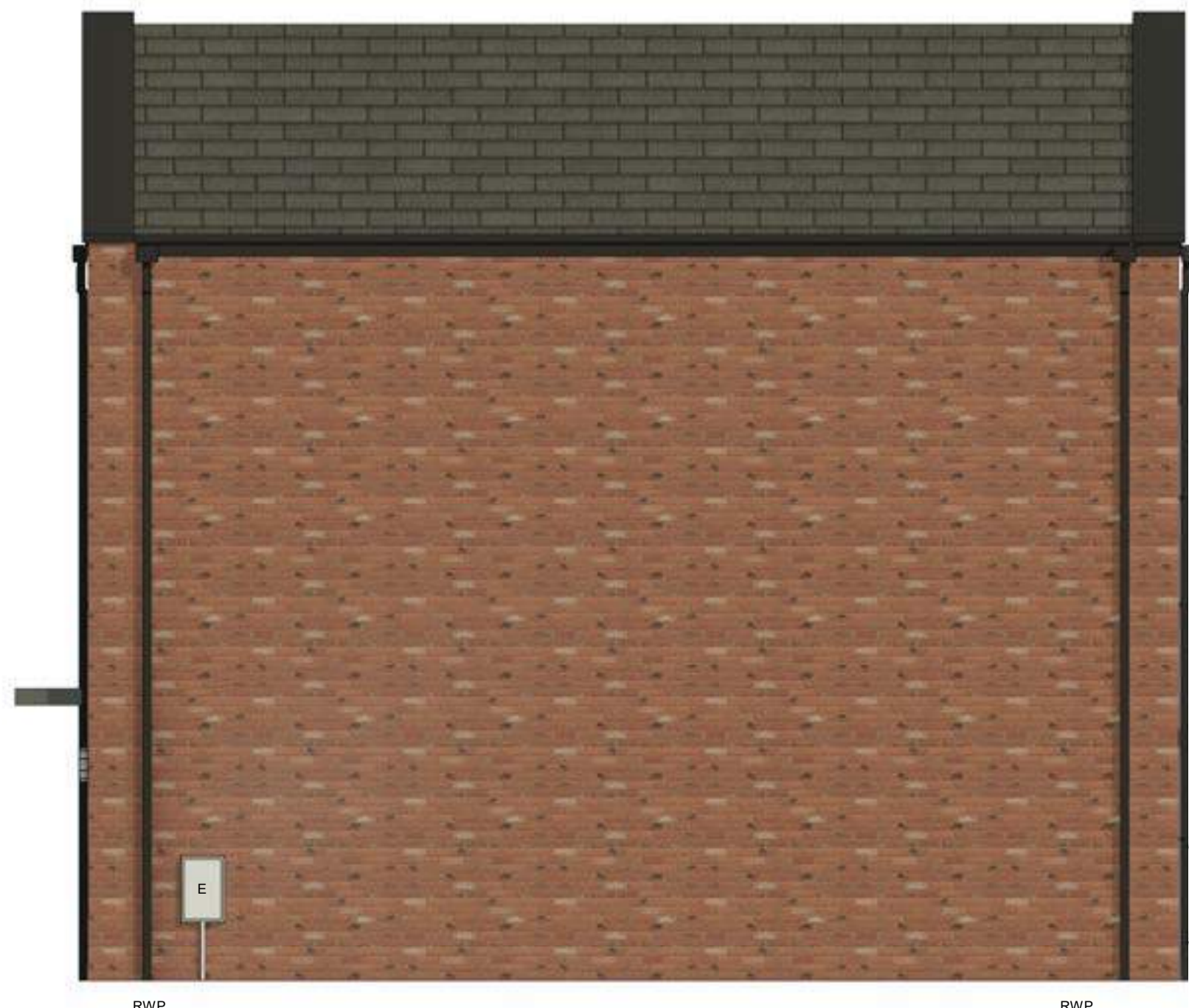
Rear Elevation  
Scale @ 1 : 100



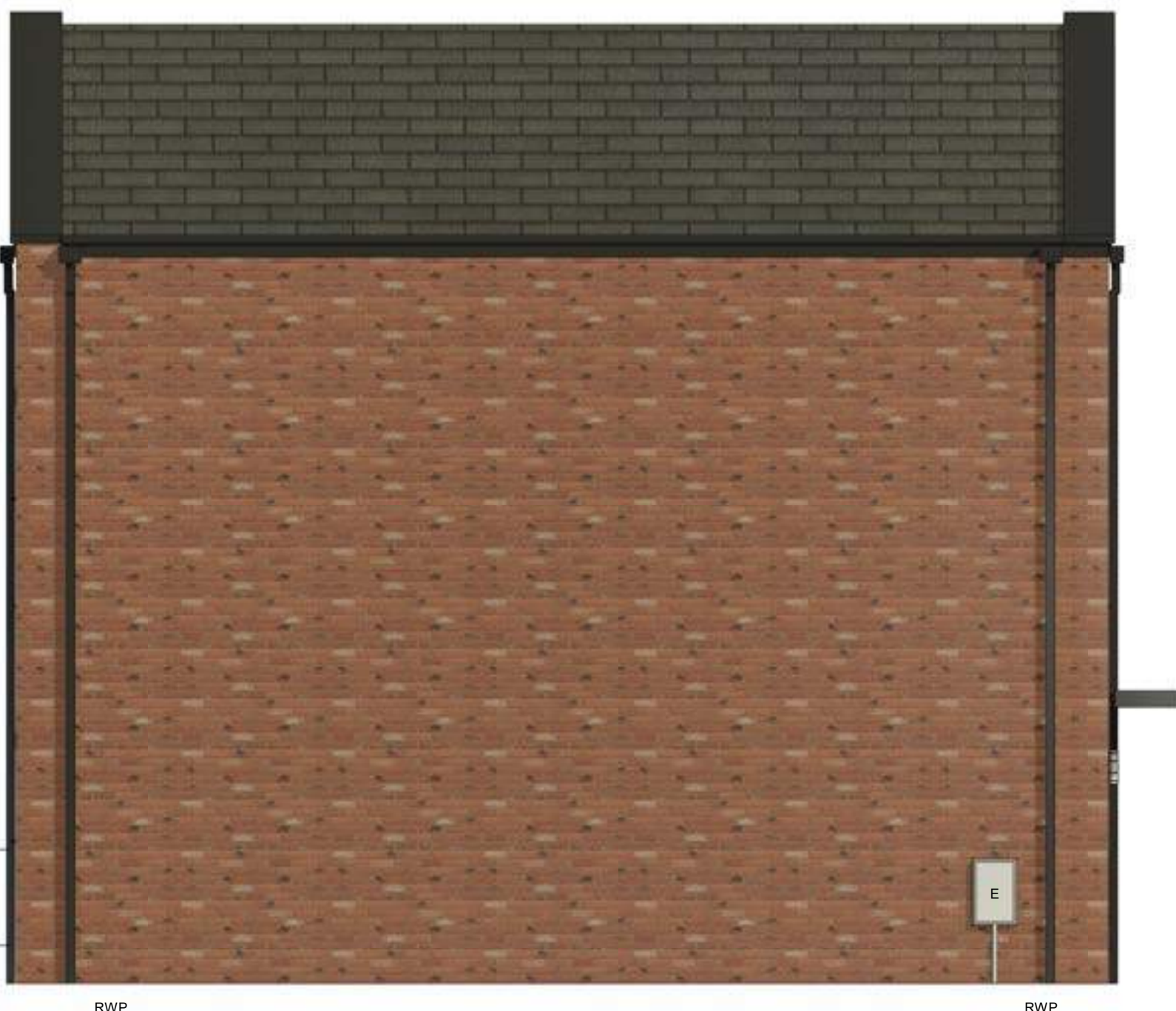
Isometric



Side Elevation 1  
Scale @ 1 : 50



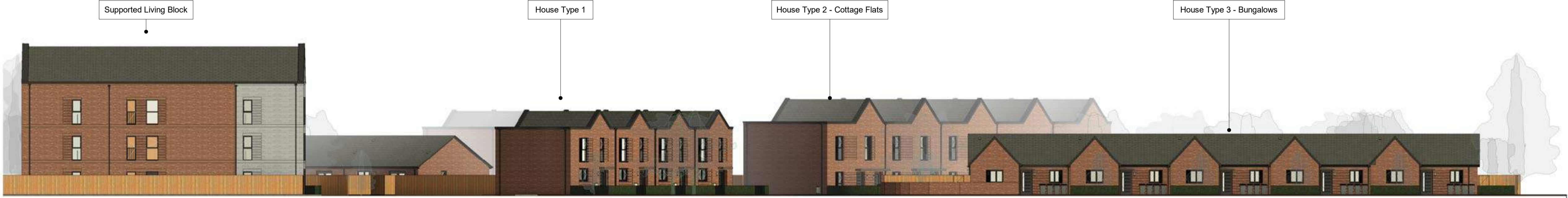
Side Elevation 2  
Scale @ 1 : 50



Rev	Date	Description	Drawn By	Checked By
P02	12/08/24	Issued for Planning	MRH	DS
P01	22/05/24	Updated drawings, issue for planning	MRH	DS
Rev	Date	Description	Drawn By	Checked By
Status	Purpose of Issue	Planning	Planning	Planning
drawing stage	Stage 4			
client				
project				
drawing title				
date	22/05/24	drawn	JS/MRH	DS
scale @ A0	As indicated	checked	DS	



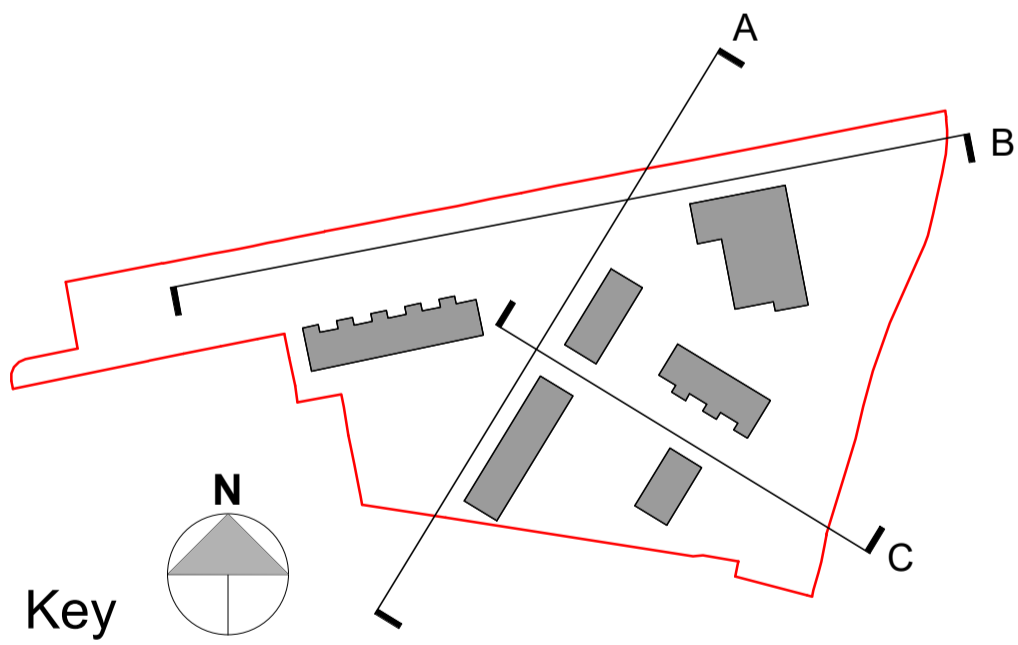
Street Sections A  
Scale @ 1 : 200



Street Sections B  
Scale @ 1 : 200



Street Sections C  
Scale @ 1 : 200



Scale Bars		TO BE USED ONLY AS GUIDANCE			
1:100	mm	0	1000	2000	3000
1:200	mm	0	1000	2000	3000
1:500	M	0	5	10	25
1:1250	M	0	10	30	50

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This drawing contains the following model files: -

12551-AEW-SI-XX-M3-A-0010  
12551-AEW-AB-XX-M3-A-0001\_SL Apartment Block  
12551-AEW-H1-XX-M3-A-0002\_H Block 01 / [H2]\_0003\_H Block 02  
12551-AEW-CF-XX-M3-A-0004\_C Block.rvt  
12551-AEW-B1-XX-M3-A-0005\_B Block 01 / [H2]\_0006\_B Block 02  
CLM 2015

Client notified of duties: 30/07/2021  
Principal Designer: Anderton Gables (CDM PD)

Unless noted below, all known hazards have been highlighted on the drawing.

Refer to Landscape Drawings:

387-03D Landscape GA-A1  
387-04 B Boundary Treatment-A1

P02	04/06/24	Updated in line with current site plan	MRH	DS
P01	11/08/23	Issued for Planning	JS	DS
Rev	Date	Description	Drawn by	Checked By

Status	Purpose of Issue
S2	Planning

drawing stage **Stage 3**

client

**Great Places Housing Group**

project

**Kemp Heaton Ave. Bury**

drawing title

**Proposed Street Elevations**

date	15/06/23	drawn	JS
scale @ A1	As indicated	checked	DS

Rev  
P02

Dwg No  
12551-AEW-SI-XX-DR-A-0504

aew architects  
0161 214 4370  
www.aewarchitects.com





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3. Read this drawing with all Architect's, Service Engineer's and CampbellReith's relevant details, specifications and drawings.
4. All work is to be done in accordance with the relevant specifications issued by CampbellReith, British Standard Codes of Practice, Statutory Requirements and the Contract Documents.
5. Drawing revision:  
**P: Preliminary** Evolving drawings for approvals, tenders, billings etc.  
**C: Contractual** Drawings authorized and approved for stage completion i.e. Stage-Tender or Stage 5-Construction .
6. Drawing status:  
**Work in progress**  
**S0** - Initial status  
**Shared (Non-contractual)**  
**S1** - Suitable for construction, **S2** - Suitable for information, **S3** - Suitable for review and comment, **S4** - Suitable for stage approval.  
**Published (For contractors purposes)**  
**A1, A2** etc - Authorised and accepted ('Y' relates to work stages)  
**B1, B2** etc - Partial sign-off (with comments)  
**CR** - As constructed record document (Final Construction ONLY). Any deviations to that which is on site is not the liability of CampbellReith)
7. Work Stages:  
**2** - Concept, **3** - Definition, **4** - Design, **5** - Build & commission, **6** - Handover
8. Only drawings with **revision Cn** and **status A5** to be used for **Construction**
9. Utilities:  
The positions of Statutory Undertakers mains & services shown on this drawing have been based on information extracted from records obtained from various Utilities Companies. These must be regarded as approximate only. The accuracy or completeness of the information or the location of such apparatus as shown on this drawing is not guaranteed and no warranty is given or implied regarding the position, depth, size, gradient thereof. The Contractor must make his own enquiries of the Utilities Companies and Public Authorities and satisfy himself as to the exact position of services and depth, sizes, gradient thereof. In the interests of safety, the approximate position of underground cables should be obtained by use of electronic cable locators and this position confirmed by careful trial-holing using hand-dug methods.
10. Proposed Masterplan based on drawing no. 387-03J Landscape GA (Received from Saville Landscape Design 22/02/24). No guarantee as to the accuracy of the layout is given or implied. Masterplan shown for information only.
11. All existing survey information shown or referred to is based upon a topographical survey prepared by DYWIDAG Ltd, dated September 2021 as supplied to Campbell Reith - no warranty to the accuracy of the information is given or implied.
12. Refer to Civil Engineering Design Risks table for reference.
13. Root Protection Zone Extents based on Arb Method Statement drawing no. KHABMS01 (Received from Mulberry TMC on 30/11/23). No guarantee as to the accuracy of the layout is given or implied. RPZ shown for information only.

**Key**

- Site Boundary
- Major Contours
- Minor Contours
- Proposed Retaining Structure (Height/Wall Type subject to detailed design [300mm plus])
- Proposed Retaining Feature (0 - 300mm approx)
- Proposed Finished Floor Level
- Existing Finished Floor Level
- Slope Arrow
- Proposed Spot Level
- Existing Spot Level (that boundary tie in is based on)
- RPZ (Root Protection Zone)

**Civil Engineering Design Risks:** **1**

Reference	Risk to Design
1	Absence of and Contradictory Topographical Survey information across the site. Assumed Existing levels shown on plan where relevant. Retaining structures boarding areas where existing levels are to be maintained may have varied heights.
2	Due to steepness of current ground conditions along eastern border particularly within RPZ (Root Protection Zone) ground conditions very considerably and further information is required to confirm what levels the proposed externals need to tie into to avoid damage to tree roots (Landscape Architect to confirm). Lack of accuracy in this area may affect heights of retaining structures.

P6	Levels Design Updated	27/02/24	ZA
P5	Levels Design Updated	23/01/24	IC
P4	Levels Design Updated based on Constraints Plan	19/12/23	IC
P3	RPZ Added and Levels Updated	04/10/23	IC
P2	Levels Updated as per Architects Comments	15/09/23	IC
P1	Issued for Information	04/09/23	IC

Rev	Description	Date	By

# CampbellReith

consulting engineers

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01675 467 484

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Job Title

Kemp Heaton Avenue, Bury

Client

Great Places Housing Group

Proposed Levels and Contour Plan

Drawn by	Date made	Scale @ A0	Checked by	Suitability	CR Project
IC	31/08/23	1:200	LM	S2	13753

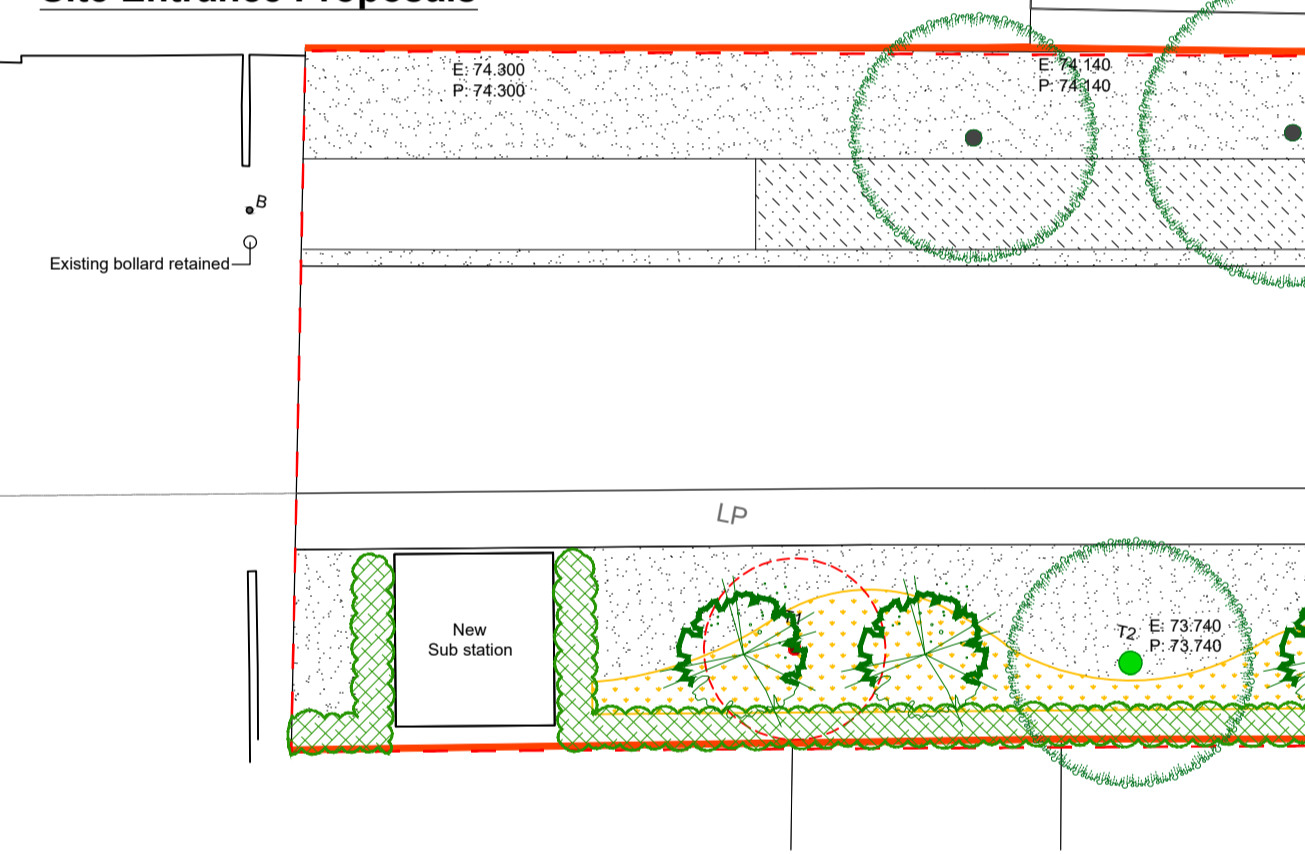
Project No	Originator	Volume	Lvl/Loc	Type	Role	Number	Rev
13753	CRH	ZZ	XX	DR	C	5000	P6

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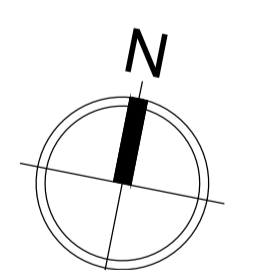


### Site Entrance Proposals



### KEY

- Existing tree or vegetation to be retained & protected in line with Arboriculturalist proposals
- Existing tree or vegetation to be removed in line with Arboriculturalist proposals
- Tree  
Selected Standard Tree, 10-12cm girth, 300-350cm high, set in soft landscaping with timber stake support/ underground anchor system
- Tree  
Extra Heavy Standard Tree, 14-16cm girth, 425-600cm high, set in soft landscaping with timber stake support/ underground anchor system
- Evergreen / conifer  
Extra Heavy Standard Tree, set in soft landscaping with timber stake support/ underground/ overground anchor system
- Small tree / large shrub  
200-250cm high
- Native hedge mix  
Whips/ transplants/ container grown plants planted in double staggered rows (rows 500mm apart), 7 per lin. m with suitable spiral guards species. Post & wire fence to be installed with hedge within homezone
- Large ornamental hedge  
0.6-1.2m high hedge planted @ 2-4 per lin.m with 50mm ornamental bark mulch dressing
- Ornamental shrub planting  
Plants supplied in 3-5L pots planted @ 3-6/m2 in 450mm imported topsoil with 50mm ornamental bark mulch dressing
- Native Understorey Mix  
Planted as whips, 2 per m2 with suitable shelter guards & mulch mats
- Wildflower/ bulb planting
- Grass  
Grass Seed OR Turf (to be hard wearing amenity quality) eg AllTurf Festival or similar approved laid on minimum 150mm imported topsoil
- Concrete flag paving  
600x600mm
- Pedestrian Block Paving A - PRIVATE
- Pedestrian Block Paving B - PUBLIC
- Permeable paving  
eg Trailflex flexible porous paving  
Area to be hand dig construction only
- Vehicular Carriageway Block paving A - HOMEZONE
- Vehicular Carriageway Block paving B - SUPPORTED LIVING
- Vehicular parking Permeable Block Paving C - PRIVATE
- Vehicular parking Block Paving D - SUPPORTED LIVING
- Vehicular parking Block Paving E - RUMBLE STRIP
- Existing boundary fence/ wall retained
- 2.1m high timber fence  
comprising 1.8m close boarded panels, 0.3m concrete gravel board & concrete support posts
- 1.8m high timber fence  
comprising 1.2m close boarded panels, 0.3m trellis, 0.3m concrete gravel board & concrete support posts
- 1.2m high timber fence  
comprising 0.9m close boarded panels, 0.3m concrete gravel board & concrete support posts
- 2.0m high Acoustic fence
- Welded mesh security fence
- 0.9m high metal railings
- 1.1m high metal railings (fixed to retaining wall)
- 1.0m high pre-planted green screen fence
- 0.6m high timber knee rail
- 0.9m high brick wall
- 1.8-2.1m high brick wall
- Gabion wall
- Seat
- Bollard
- Bat box  
Subject to ecologists recommendations
- Bird Box  
Subject to ecologists recommendations
- Hedgehog gap  
Subject to ecologists recommendations
- Log pile constructed from felled timbers
- Existing level
- Proposed level



P	Boundary treatments amended to arc comments	KAS	Jun24
N	Boundary treatments amended, public footpath	KAS	Jun24
M	Public footpath amended @ junction to rear of site	KAS	Jun24
L	Amended to architects latest site plan & LPA comments	KAS	Jun24
K	Amended further to engineers plans	KAS	Feb24
J	North boundary path updated to arc prps, bollards added gas main indicated, tree planting amended accordingly	KAS	Feb24
H	Apartment amenity area amended, building location amended due to easement, landscaping updated following engineers proposals	KAS	Feb24
G	Amended to arc comments	KAS	Aug23
F	Amended to arc comments	KAS	Aug23
E	Amended to arc comments	KAS	Aug23
D	Amended to arc comments & latest layout	KAS	Aug23
C	Planting beds added to periphery	KAS	Aug23
B	Amended to arc comments & latest layout	KAS	Aug23
A	Amended to arc comments & latest layout	KAS	Aug23

Rev	Description	Initial	Date
1	Issue for planning	KAS	Jun24

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**CLIENT**  
Great Places Housing Group

**PROJECT TITLE**  
Kemp Heaton Ave, Bury

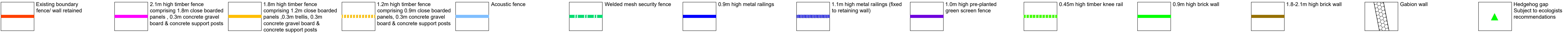
**DRAWING TITLE**  
Landscape General Arrangements

**STATUS**  
**PLANNING**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:250	A1	KAS	-	June 24

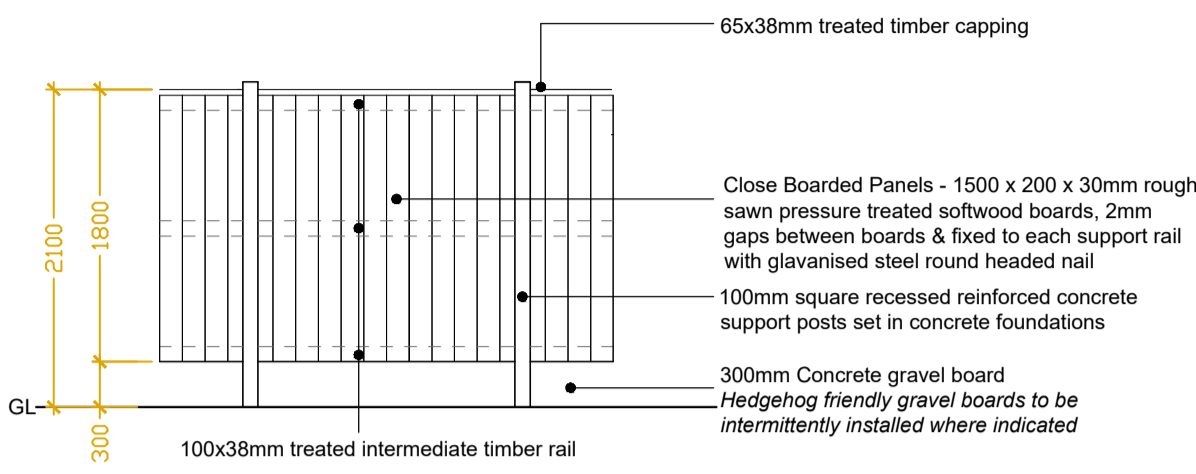
PROJECT NO.	DRAWING NO.	REV.
387	03	P

KEY

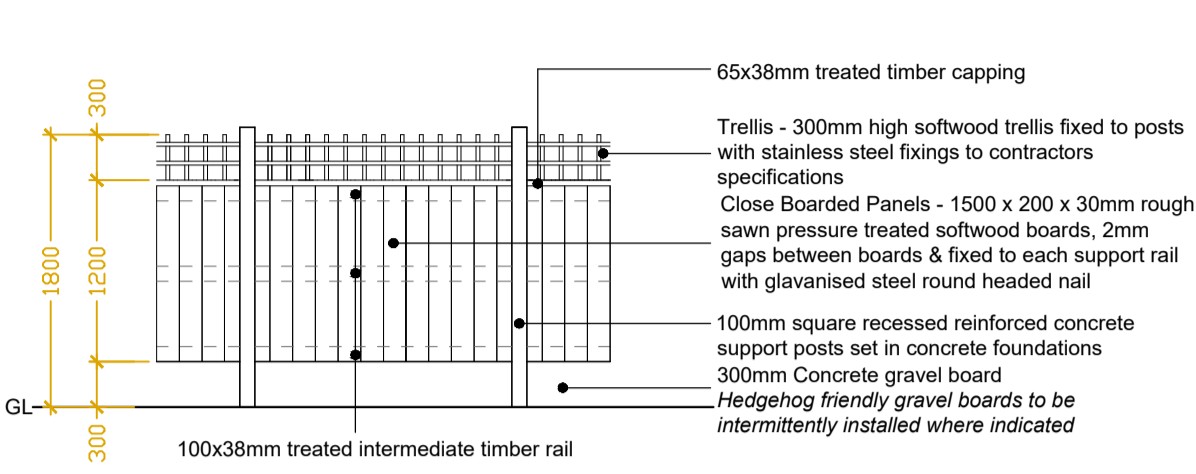


TYPICAL BOUNDARY DETAIL ELEVATIONS Scale 1:50

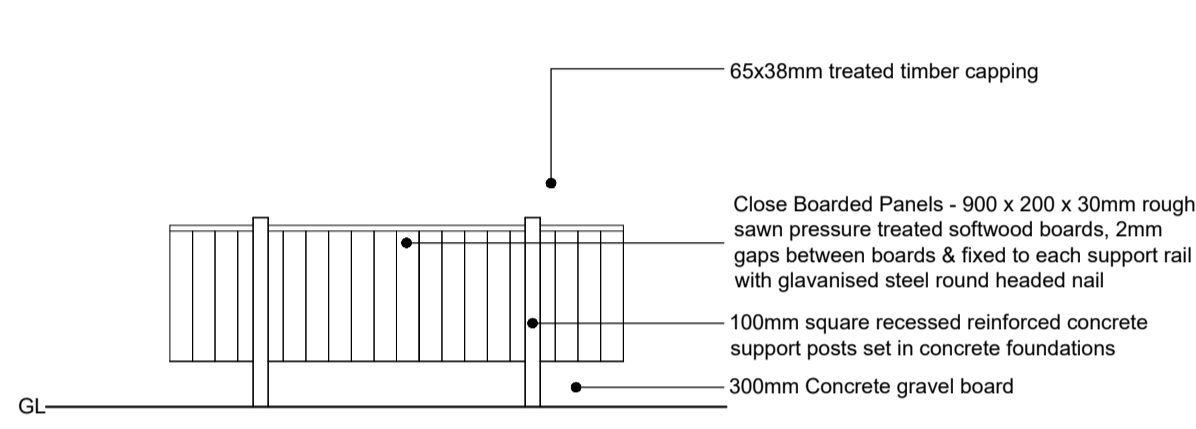
2.1m high timber fence



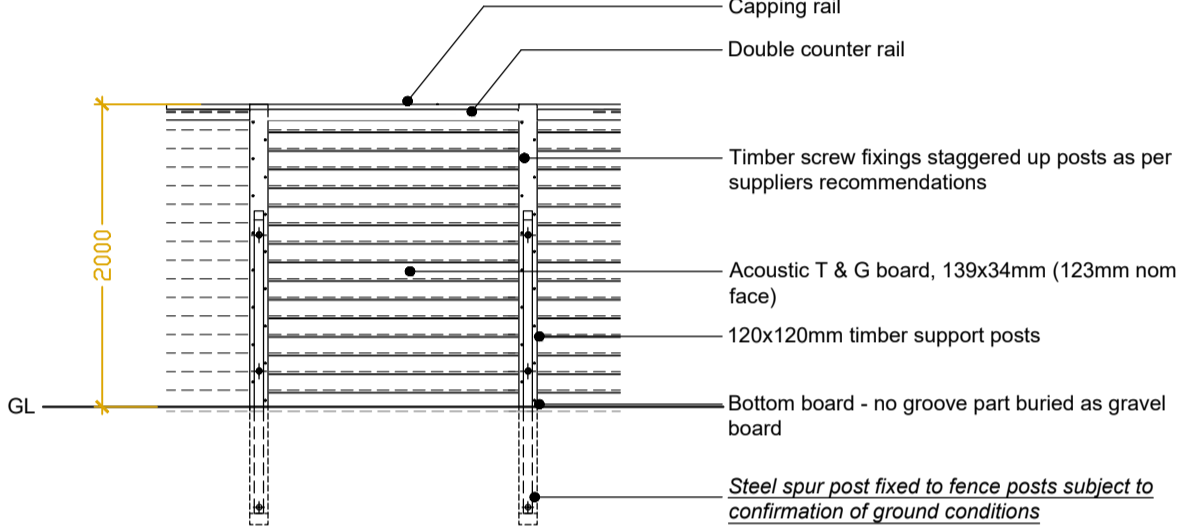
1.8m high timber fence



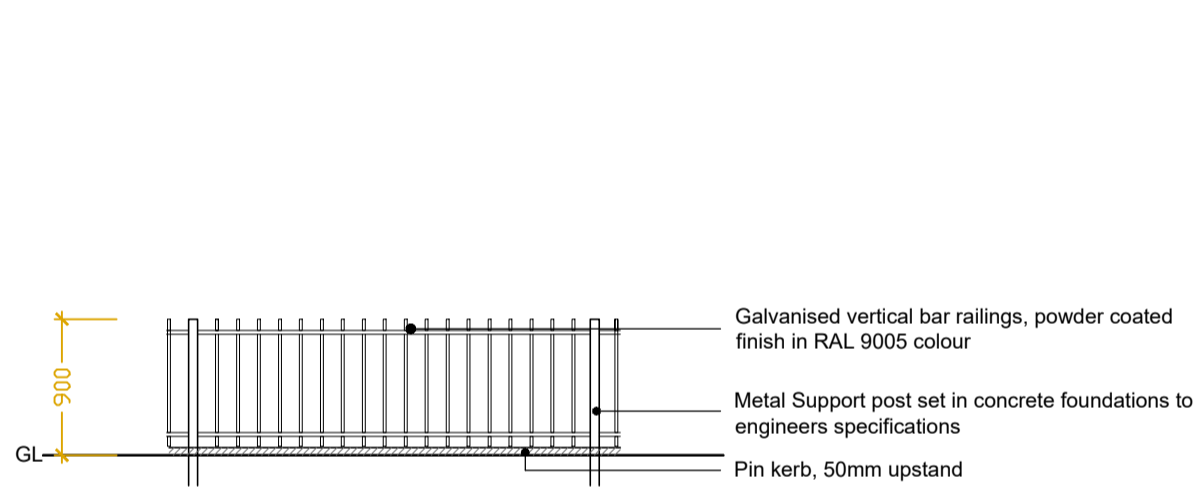
1.2m high timber fence



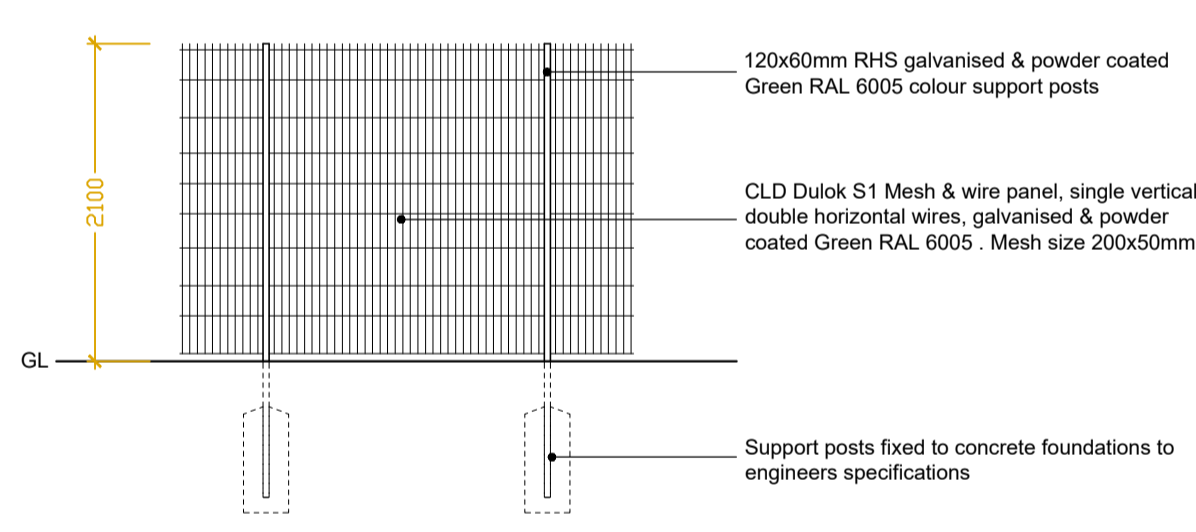
2.0m high acoustic fence



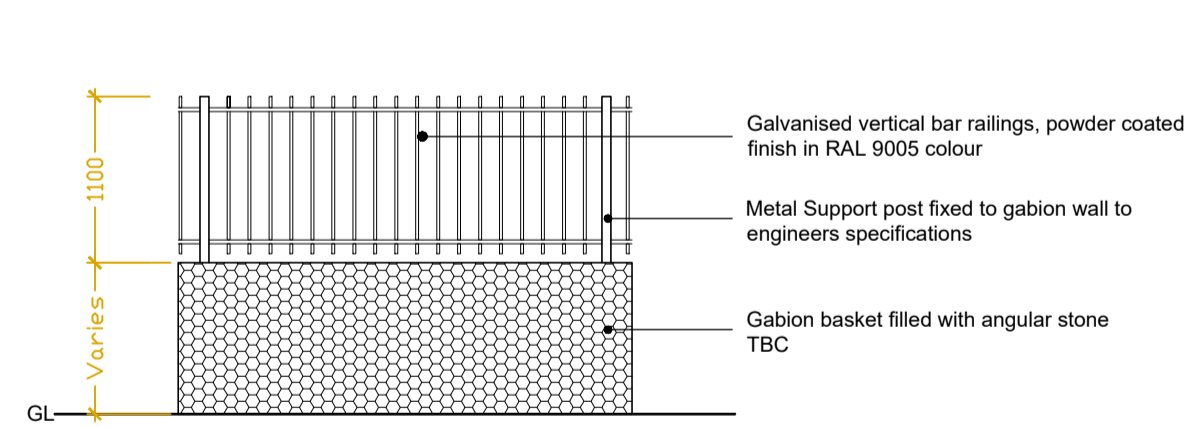
0.9m high metal railings



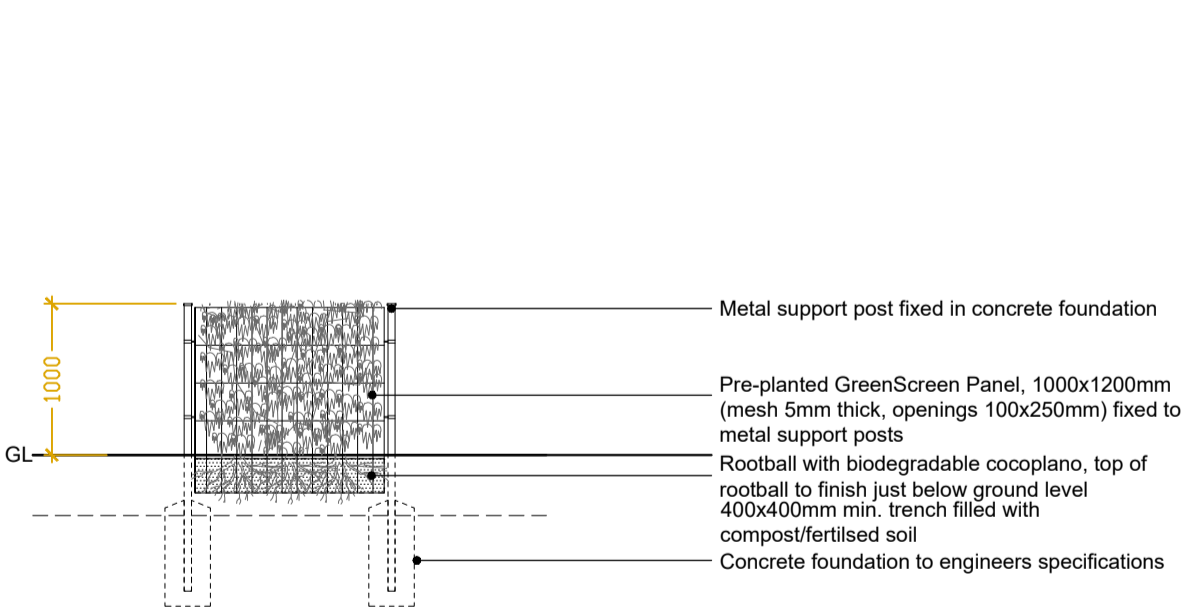
2.1m high security fence



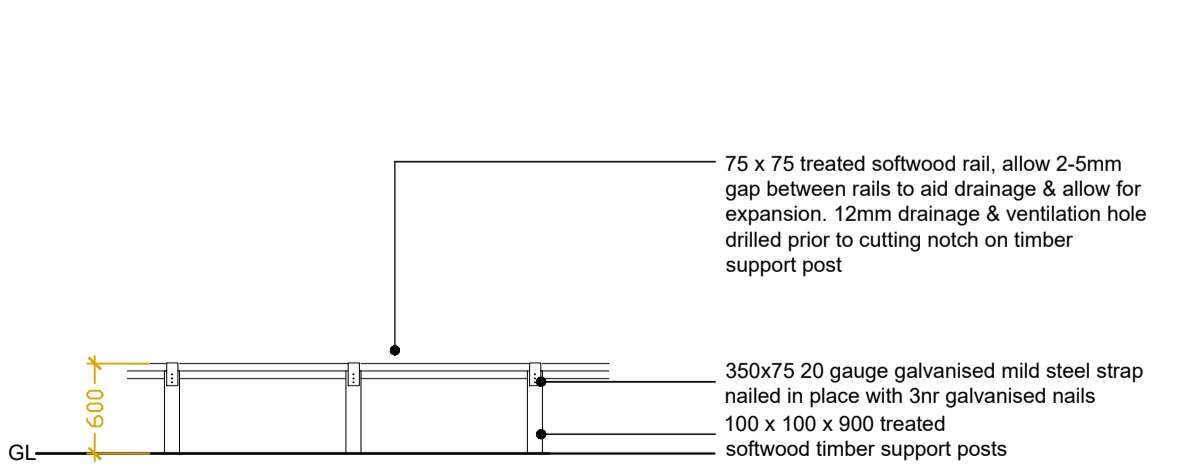
1.1m high metal railings (set on gabion wall)



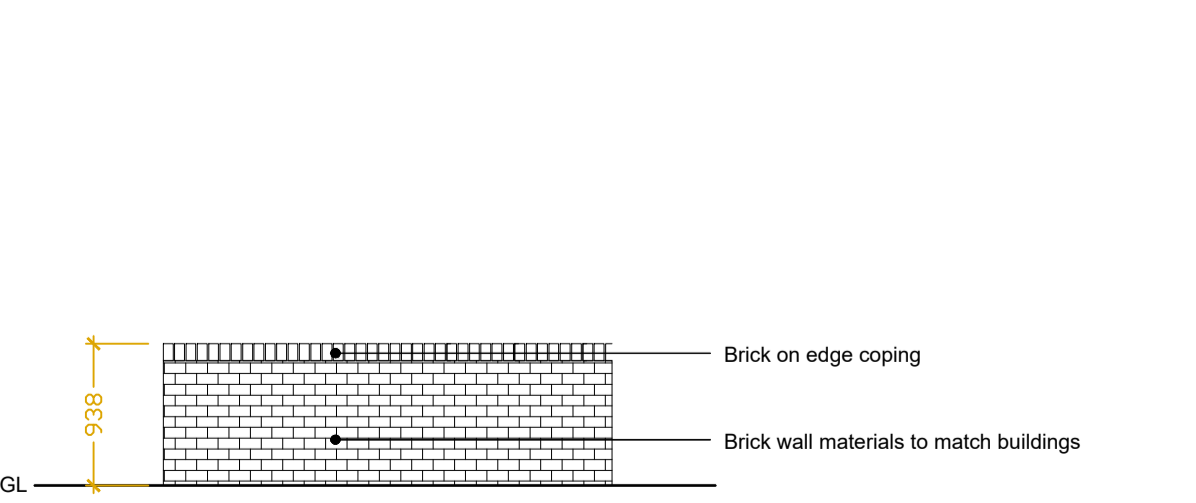
1.0m Green Screen Fence



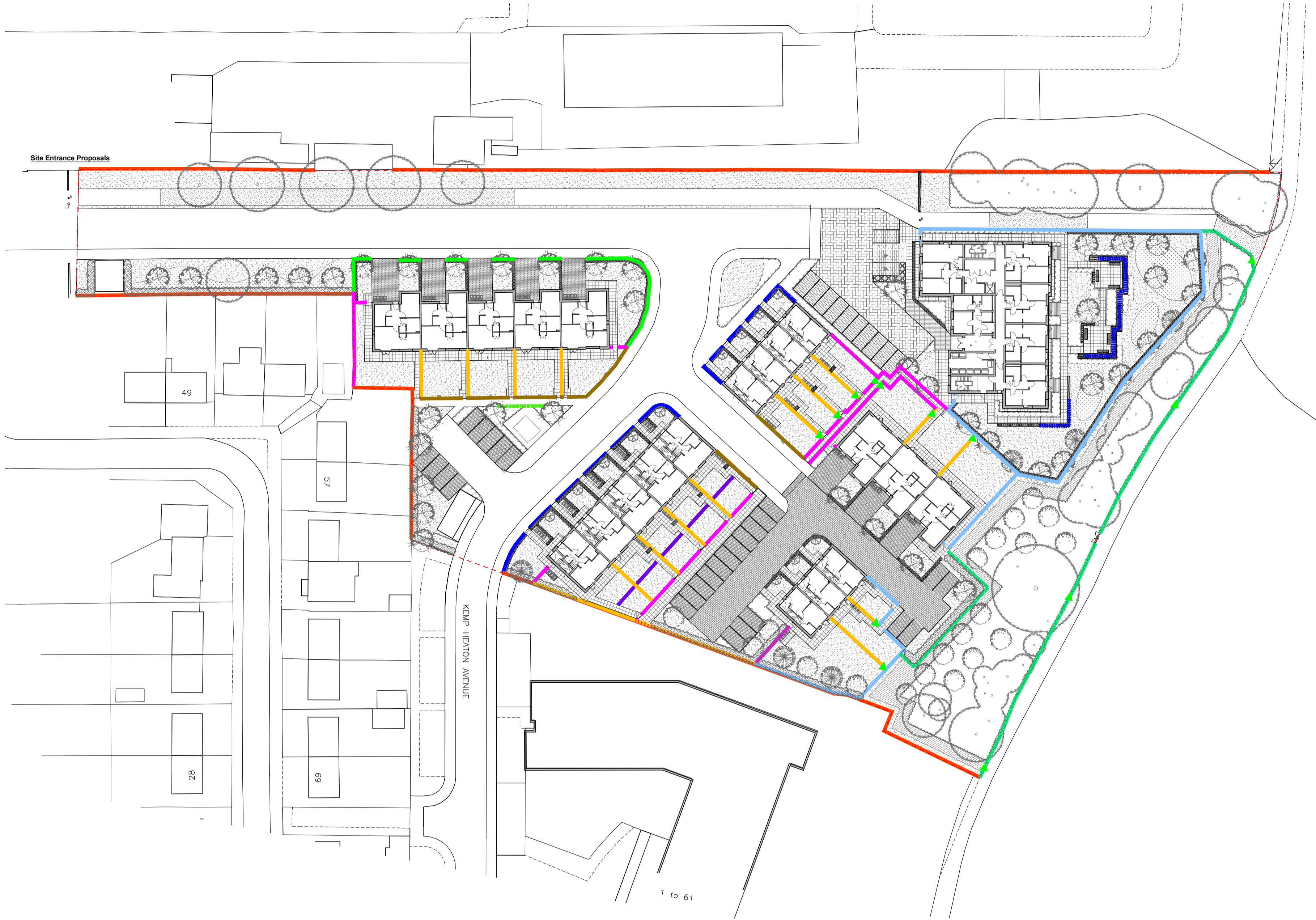
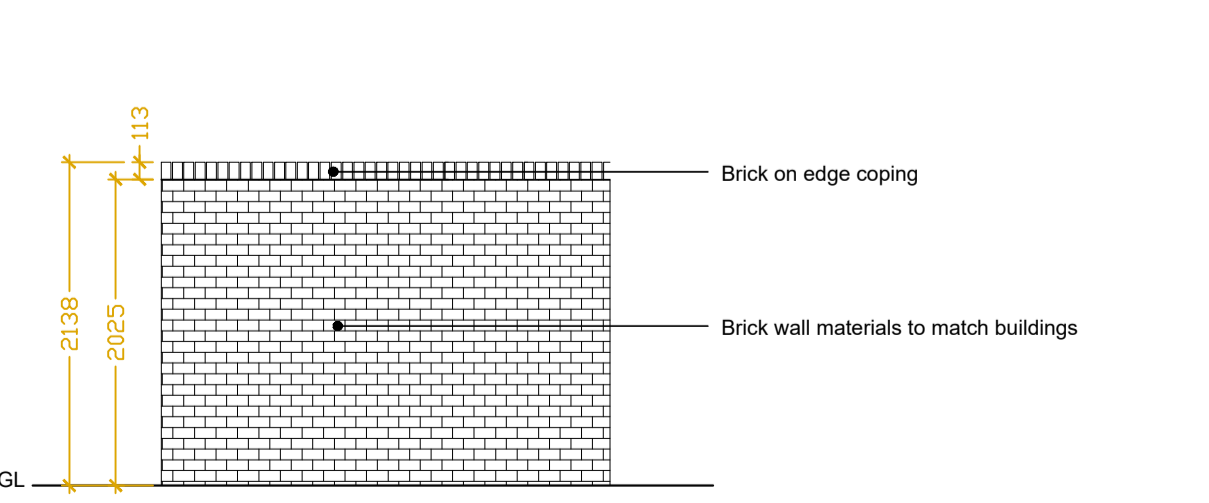
0.6m high knee rail



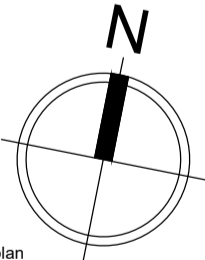
0.9m high brick wall



2.1m high brick wall



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Rev	Description	Initial	Date
J	Amended to latest site plan	KAS	Jun24
H	Amended to latest site plan	KAS	Jun24
G	Amended to latest site plan	KAS	Jun24
F	Amended to latest site plan & levels information	KAS	Feb24
E	Amended to latest site plan	KAS	Aug23
D	Amended to latest site plan	KAS	Aug23
C	Amended to latest site plan	KAS	Aug23
B	Amended to latest site plan	KAS	Aug23
A	Amended to latest site plan	KAS	Aug23

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<b>CLIENT</b> Great Places Housing Group			
<b>PROJECT TITLE</b> Kemp Heaton Ave, Bury			
<b>DRAWING TITLE</b> Boundary Treatments			
<b>STATUS</b> PLANNING			
SCALE 1:250	SHEET SIZE A1	DRAWN KAS	CHECKED -
PROJECT NO. 387		DRAWING NO. 04	REV. J
DATE June 24			

**Ward:** Ramsbottom and Tottington -  
Ramsbottom

**Item** 02

**Applicant:** Eccleston Homes Ltd

**Location:** Former Mondi/Holcombe Mill, Bridge Street, Ramsbottom, Bury, BL0 0BS

**Proposal:** Erection of 57 no. dwellings, the retention of a chimney and the demolition of 3 existing buildings, together with engineering operations to create a development platform, public car park, substation, public open space, landscaping, drainage, the layout of internal estate roads and footways and other associated works.

**Application Ref:** 70222/Full

**Target Date:** 09/02/2024

**Recommendation:** Minded to Approve

**It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement to secure the recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1 and to ensure the car park is available for public use. If the agreement is not signed within a reasonable timeframe, then delegated authority is sought by the Development Manager to determine the application.**

#### **Description**

The site comprises a former paper mill close to the town centre of Ramsbottom, which was cleared of all but 3 buildings and the chimney in 2012. Within the site, the chimney and 3 buildings retained are located in the Ramsbottom Conservation Area, with the remainder of site being outside the Conservation Area.

Existing buildings within the site are two storeys in height and constructed from stone with slate roof and the chimney is constructed from red brick. Due to health and safety concerns, the upper 15 metres of the chimney was removed in 2015 to make it safe.

The site contains a large concrete hardstanding and there is a culvert that runs north to south through the site. The land to the south is grassed with two large bunds.

There are two vehicular accesses onto Bridge Street from the main part of the site. There is an access road, which leads to a car park associated with the site and continues to the football and cricket clubs, the second is gated and unused.

Peel Brow/Bridge Street forms the boundary to the north with public open space and the River Irwell beyond. The ELR is located to the west with a car park and supermarkets and the town centre beyond. The Cricket club and football club are located to the south of the site. To the east is the River Irwell, a wooded area and residential properties beyond. The land to the east slopes steeply and is much higher than the application site.

#### Proposed development

The proposed development involves the:

- erection of 57 dwellings;
- the retention of the chimney;
- the demolition of 3 existing/derelict buildings;

- engineering operations to create a development platform;
- provision of a public car park with 47 spaces;
- associated works including parking, landscaping, drainage

The proposed development would provide a mix of terraced, semi-detached and detached dwellings, which would be two and two storeys in height with rooms in the roofspace. The proposed dwellings would be constructed from reconstituted stone and render with a tile roof.

Public open space would be provided on site in 2 areas - next to the River Irwell and adjacent to the main access road and existing buildings.

The proposed public car park would be located in the north western corner of the site and would be accessed from the existing road (labelled road 1 on the proposed site plan) adjacent to the East Lancashire Railway (ELR).

The proposed development would be accessed from the existing road (road 1) adjacent to the ELR with a secondary emergency access from Bridge Street/Peel Brow.

### **Relevant Planning History**

#### Pre-application enquiries

02214/E - Redevelopment of site to include 2322 m2 (approx) A1 food store, 64 no. residential units ranging from 3/4 bed terrace and detached houses to 2 bed cottages and 58 no. retirement units/apartments at Mondri Mill, Ramsbottom. Response issued - 28 November 2018.

Redevelopment of the site for 83 dwellings at Mondri Mill, Ramsbottom. Response issued - 28 January 2020.

#### Planning applications

43908 - Temporary siting of 2 cabins for use as offices at Mondri Paper Mill, Holcombe Mill, Peel Bridge, Ramsbottom. Approved with conditions - 2 March 2005

44183 - Single storey extension adjoining existing offices opposite car park. New reception, kitchen and toilets at Mondri Paper Mill, Holcombe Mill, Peel Bridge, Ramsbottom. Approved with conditions - 13 April 2005

54265 - Demolition of buildings Nos 2 - 11, 13 & 14 at Holcombe Mill, Peel Bridge, Ramsbottom. Approved with conditions - 16 January 2012.

54266 - Conservation area consent for demolition of all buildings at Holcombe Mill, Peel Bridge, Ramsbottom. Withdrawn - 9 December 2011.

58287 - Demolition of the top 15 metres of the former Mondri Mill chimney at former Mondri Mill site, Bridge Street, Ramsbottom. Approved with conditions - 17 March 2015.

65217 - Erection of 83 no. dwellings, retention of chimney & 2 no. existing buildings (designated for commercial use) and demolition of derelict building at Former Mondri Mill/Holcombe Mill, Bridge Street, Ramsbottom. Withdrawn - 6 May 2020.

65844 - Erection of 73 no. dwellings including the retention and conversion of 2 existing buildings to residential use (5 no. units), the retention of a chimney and the demolition of a derelict building, together with engineering operations to create a development platform and associated parking, landscaping, drainage, the layout of internal estate roads and footways and other associated works at former Mondri/Holcombe Mill, Bridge Street, Ramsbottom.

Refused - 7 June 2022. Appeal dismissed - 14 February 2023.

The application was refused by the Planning Control Committee for reasons relating to intensification of the use of the site, which would be detrimental to highway safety and flood risk.

The appeal was dismissed as the proposed converted dwellings would be at risk from flooding with no safe egress.

### **Publicity**

199 neighbouring properties were notified by means of a letter on 10 November 2023 and a press notice was published in the Bury Times on 23 November 2023. Site notices were posted on 22 November 2023.

7 letters of support have been received, which have raised the following issues:

- Fantastic - the site is a blot on the Ramsbottom landscape.
- Rammy residents don't like change - they all probably have at least 2 cars per household but complain these new houses will cause traffic problems.
- We don't need units as businesses are closing because of lack of spending locally - these properties are all in walking distance of everything Ramsbottom offers.
- The sooner the better building starts.
- The proposal would allow businesses access to another 140+ consumers, which would help dwindling businesses.
- The extra parking would be a massive help to support the businesses.
- The town centre is struggling - the new housing will increase the vitality and viability of the town centre.
- The redevelopment of the site would improve the gateway entrance to the town.
- The additional parking would make it easier for people to visit Ramsbottom and contribute to the economy.
- Development of brownfield sites for housing will boost supply and take pressure off unallocated greenfield sites.
- It will increase mobility within the housing market which should free up smaller properties for those looking to get on the housing ladder.
- The developer has reduced the number of houses and provided additional parking.
- The development should go ahead to Ramsbottom can progress with further regeneration in its centre.
- Like that the application pays tribute to the area's local heritage by keeping the chimney.
- The drainage/flood risk issues appeared to have been addressed.
- In this day and age many people don't need to leave home /use a car to work and so complaints about cars defunct in my opinion. More of an issue with terrace houses having residents with 6 cars on side roads than on a new development like this.

17 letters have been received, which have raised the following issues:

- Please ensure the reinstatement of the public footpath alongside the river Irwell and it would be desirable to construct new footbridge over the river into Nuttall Park.
- The traffic in Ramsbottom centre is already extremely heavy , causing regular delays and air pollution.
- The addition of 57 houses to a small town centre will only cause further problems.
- Parking is a huge issue in Ramsbottom - I can't see any details on how many spaces are going to be made available to the public.
- The whole site would be better utilised as a public space and a car park rather than further housing.
- This is an established floodplain - nothing has changed this fact unless a dam is built

upstream and/or a proper and fit system is built to deal with sewage and ground water. It will accelerate with climate change.

- Air pollution is regularly poor in this valley town with heavy traffic and wood burners and will increase with over 100 residents/ trade/visitors vehicles a day in an already densely packed town.
- The location of the development between 2 active, noisy and polluting industrial developments some operating 24/7 on its boundaries raises public health and nuisance concerns.
- The local GP practice cannot absorb more residents and emergency services are already stretched.
- The buildings are not in line with conservation or heritage policies.
- These are not starter or down size homes which are in short supply and what are in fact needed.
- Protected and active wild life bats, deer and badgers are on the site.
- It is fanciful to argue that 50 homes can save the economy.
- There are too many larger houses and not enough smaller and affordable houses.
- The proposed car park is too small.
- The site is not suitable for housing developments of this nature due to increased traffic in the town centre, plus the proximity to the river which is prone to flooding.
- The site is next to Ramsbottom United Football club and Ramsbottom Cricket Club, both of which attract numerous crowds to home games. This brings a wealth of visitors who due to the proposed plans, will find impeded access and with no doubt draw complaints from new residents about parking infringements on the new housing development
- A better use of the space would be restoring natural vegetation and habitats, and creating a large car park to accommodate tourist and visitor parking
- This would be an ideal area for a new interchange, Ramsbottom could be linked with the 'Greater Manchester Transport Strategy 2040'. It would be great for match games for both cricket and football and we are seeing events returning to Ramsbottom, which would also benefit from additional parking
- Construction will take years.
- There are a number of animal species that dwell on the site including deer, bats and kestrels - these would be displaced and their well-established nests destroyed.
- Building process would cause widespread disruption with increase in traffic and noise.
- Concerned that there is a distinct lack of affordable housing.
- I am involved with the adjacent cricket Club (Ramsbottom Cricket Club) for over 50 years and during that time, I have never known the Mondri Mill site to flood. On Boxing Day 2015 the river reached its highest recorded level and the mill site did not flood.
- There is a culvert which runs the full length of the site and the EA is against culverting as they can become blocked and are difficult to maintain and repair. Will people in the new development be protected from the dangers posed by the culvert?
- Any alteration of an existing culvert requires land drainage consent.
- Approximately 50% of the site comprises of unscreened back filled materials within decommissioned reservoirs/ponds. Is this really a safe site for residential homes and public spaces?
- Contaminants on site, such as lead, asbestos and arsenic, which are dangerous to human health. Contaminants would be transported with a sheet above. Is this safe for residents who live nearby?
- Request that a riverside walk is provided.
- Request that as many trees as possible are retained.
- The artificial stone wall on the boundary of the site with Bridge Street should be rebuilt in natural stone.
- Request that all the dwellings on the periphery of the site are constructed in natural stone.

- The air quality report was carried out at one point in the year and may not provide the worst case scenario.
- The typography and lay out of the town have not been taken into account by the developer. This is a river valley where the pollution becomes trapped more so in winter and takes time to clear. This development will add to such.
- The report confirms that the site is heavily contaminated and there are culverts and evidence of a coal mine on site. There are unforeseen contaminated hot spots that have not been fully explored. The report confirms why this heavily contaminated site in a town centre is not suitable for new homes.
- The Transport has failed to flag the dangerous and fatal road accidents in the area of the proposed development. As such, the transport report should hold no weight.
- The developer has not satisfied the exceptions test in relation to flood risk.
- There is an oversupply of 3/4 bed houses in this area, so the development is not required. The developer has failed to demonstrate a need for these houses.
- The site is not immediately available due to the active bat population in residence.
- Creating a development platform will displace the flood water for the existing community to deal with and likely leave the new residents stranded by encircling flood water
- There is no "affordable housing" in the development which has the effect of socially and economically excluding a large part of the population from accessing the property ladder.
- There appears to be a conflict of interest here with the developer "gifting" a car park to the local council for £1. There is little evidence of where the car park will be, how large it will be and who can use it and at what cost if any.
- The development with this type of housing will have a negative impact on the Railway, the Railway Station and the town.
- It will not preserve important view and vistas the development will be lit up like Blackpool illuminations at night and will destroy the night sky.
- The plan to turn the north west corner of the site in to a car park is not appropriate given that this will have a negative impact on the Conservation Area and its setting.
- Infrastructure and services for residents: Doctors, Dentists and schools at a premium.
- Peak times Bury New Road becomes gridlocked with traffic. Whilst these cars are sat there idling it is polluting the air and environment.
- Also over the summer the tower was home to a nest of kestrels who used it to breed their 3 young.
- After studying the plans, I couldn't see any public car spaces on the plans.
- FedEx is concerned that the proposed development at the Former Mondi / Holcombe Mill site is one of many examples of residential development being approved on sites next to existing businesses which would give rise to future complaints and the potential for established businesses to have their operations unreasonably affected.
- FedEx operates 24 hours a day on the site throughout every day of the year with its linehaul of articulated trailers arriving from and travelling to its hub network at various points during the day and night time to service the facility with parcels for sortation and delivery to customers. As well as the arrival and departures there are also frequent movements within the yard area as there are a number of loading doors that can accommodate articulated trailers. The operations of the business are understandably noisy including noise generated when the trailers are connected and disconnected from the tractor units. The site has a fleet of around 70 vans that depart the site around 7:30 am and return between circa 15:30 – 17:30 after delivering parcels within its subregional catchment area.
- The Planning Inspector's report recognised that the previous application did not adequately assess the potential effects of nearby employment premises on the proposed development, including the FedEx Facility. It is considered that the current application should fully consider this as a material consideration in relation to noise impacts.

- The Noise Impact Assessment (NIA) identified that the proposed dwellings sited adjacent to FedEx will be worst affected by existing noise sources. The NIA states that the noise would have a 'significant adverse impact' on the proposed residential properties at the southern end of the site. Mitigation is proposed in the form of glazing with enhanced sound insulation and ventilator units. However, this does not address or account for potential impacts when future residents open their windows and would be susceptible to adverse noise, leading to a high likelihood of noise complaints from the residents. Other mitigation needs to be explored, such as acoustic fencing to reduce the noise impact.
- It is concerning Environmental Health have not mentioned any noise related matters in their assessment of the application and not recommend any planning conditions
- FedEx ultimately requests the development be amended as necessary and technically assessed in respect of noise to avoid and appropriately mitigate impacts on FedEx's operation

The neighbouring properties were notified of the revised plans by means of a letter on 10 June 2024.

2 letters of support have been received, which have raised the following issues:

- I am the chairman of Ramsbottom Civic Pride. Responsible for maintaining the gardens and supporting the council with green spaces in the Ramsbottom area.
- Ecclestone have owned this site for a number of years, and they have submitted plans previously which did not incorporate the wish list for development of this brownfield site. Hence why the site has been derelict for so long.
- Subsequently they have revised and worked with local groups and the council to re-tweak their development so that it can incorporate the requirements set out.
- The current plans meet all of these requirements including: Retaining the mill stack as part of the history. Providing additional parking, reduction of the number of houses. Satisfying the flood risk protection with the new provision's in place.
- They have made compromises that are perfectly acceptable. The site now needs developing, providing new homes. It is a brown field site which had an impact with lorries and business traffic not to mention tonnes of water and resources in its process of being a paper mill, so whatever happens on site, it will always cause disruption when it becomes active. However it is needed!. It is Ecclestone's property and has been for considerable time. In light of that, and greenfield sites being under threat in the area. This Brownfield site should be used, and as soon as possible.
- Also on another note, for visitors on their approach into Ramsbottom. The first impression is of dereliction from this site. Which has an impact on tourism and their impressions of Ramsbottom and footfall into the town, with a negative impact on economy. Also new residents to this location will mean spend in local shops and businesses, which can only be beneficial to Ramsbottom and keep it thriving.
- As for aesthetics my only question will be once the houses are built and the area around them is landscaped who will be responsible for the maintenance of this once Ecclestone have left the site. Apart from that best of luck to them and hopefully the plan will be successful this time.

4 letters have been received, which have raised the following issues:

- Not suitable.
- This remains a Zone 3 floodplain.
- Dangerous levels of raw sewage in the River Irwell which runs the full length of the site as well as rampant Japanese Knotweed and Himalayan Balsam running the full length on both sides.
- The Exception Test as outlined in the failed appeal remains unmet.
- No real world affordable housing based on average wage levels of those providing

essential services to the existing community.

- Real potential conflict of interest with vague offer of carparking to the Council.
- It is a brownfield working industrial site with heavy polluting industries to north and south.
- Failure to provide credible reports on level of traffic accidents and air pollution.
- Large noisy HGV's from south side industries operating 6am to midnight during the week running along 2 sides of the site.
- Heavily polluted brownfield site with many dangerous substances present as recorded in the relevant reports which will be disturbed, become airborne with plans to variously build over or remove.
- The East Lancashire Railway has no objection in principle to the proposal, but would prefer to see the main access as the access labelled as "emergency access route" on the proposed site plan. The proposed access is too close to the level crossing.
- The ELR also wishes to see a clear statement that drainage at the south end of the site will be away from the Railway.
- The ELR is pleased to see that there are no plans to plant trees next to the Railway.
- There is a public sewer across the site, which must not be built over or close to. No evidence that Part H of the Building Regulations has been complied with.
- No plan to stop surface water draining into and flooding the public sewer has been submitted directly to United Utilities. Surface water is the major capacity user of sewers.
- The developer is silent on who will manage and maintain suDs
- No sustainable drainage management and maintenance written plan has been submitted or agreed such is required to manage flood risk/sewage pollution and allow wild life to flourish
- No evidence that the developer has located and investigated the exact location and existence of any underground pipelines across or impacted by the development
- No evidence that the developer has complied with Standard Conditions for Works Adjacent to Pipelines
- No evidence that UU's Development Service has been contacted for advice.
- At peak times, Bury New Road becomes grid locked with traffic especially in winter. Any idling cars are polluting the air and environment. An extra 57 - 114 cars will reduce the air quality and health of all around.
- With the additional homes, will the developer fund additional infrastructure e.g. doctors, to cater for these new residents.

Any further comments received will be reported in the Supplementary Agenda.

The supporters and objectors have been notified of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objections, subject to the inclusion of conditions relating to highway alterations, a construction traffic management plan, a travel plan, a scheme for the management and maintenance of the estate roads, visibility splays, turning facilities, car parking, driveways and cycle storage.

**Drainage Section** - No objections, subject to the inclusion of a condition and informative relating to drainage.

**Environmental Health - Contaminated Land** - No objections, subject to the inclusion of conditions relating to contaminated land.

**Environmental Health - Air Quality** - No objections, subject to the inclusion of condition relating to electric vehicle charging and dust and odour.

**Environmental Health - Pollution Control** - No objections.

**Conservation Officer** - No objections.

**Waste Management** - No response.

**Transport for GM** - Require a pedestrian crossing to be provided on Bridge Street.

**Environment Agency** - No objections, subject to the inclusion of conditions relating to flood risk and contaminated land.

**Designforsecurity** - No response.

**United Utilities** - No objections, subject to the inclusion of conditions relating to surface water drainage.

**GM Ecology Unit** - No objections, subject to the inclusion of conditions relating to bats, external lighting, badgers, nesting birds, invasive species, otters and construction environmental management plan and informatives relating to water vole, kingfishers.

**GM Archaeological Advisory Service** - No objections, subject to the inclusion of a condition relating to archaeology.

**Historic England** - No comments.

**GM Fire Service** - No objections.

**Pre-start Conditions** - Awaiting confirmation from the applicant that pre-commencement conditions are acceptable.

### **Unitary Development Plan and Policies**

EC1/1	Land for Business (B1) (B2) (B8)
EC2/1	Employment Generating Areas
EC6/1	New Business, Industrial and Commercial
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
H4/2	Special Needs Housing
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN1/7	Throughroutes and Gateways
EN1/8	Shop Fronts
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN3/1	Impact of Development on Archaeological Sites
EN3/2	Development Affecting Archaeological Sites
EN6/3	Features of Ecological Value
EN6/4	Wildlife Links and Corridors
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8/2	Woodland and Tree Planting
OL5/2	Development in River Valleys
RT1/1	Protection of Recreation Provision in the Urban Area
RT2/2	Recreation Provision in New Housing Development
RT3/2	Additional Provision for Recreation in the Countryside
RT4/6	East Lancashire Railway
HT2/4	Car Parking and New Development
HT2/5	Public Car Parks
HT5/1	Access For Those with Special Needs
HT6/1	Pedestrian and Cyclist Movement
TC2/2	Mixed Use Development
TC2/3	Vacant and Cleared Sites
Area	Railway Street/Bridge Street/Peel Brow
RM5	
SPD1	Open Space, Sport and Recreation Provision
SPD2	DC Policy Guidance Note 2: Wildlife Links & Corridors

SPD3	DC Policy Guidance Note 3: Planning Out Crime
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
SPD14	Employment Land and Premises
SPD16	Design and Layout of New Development in Bury
JP-S2	Carbon and Energy
JP-S4	Flood Risk and the Water Environment
JP-S5	Clean Air
JP-H2	Affordability of New Housing
JP-H3	Type, Size and Design of New Housing
JP-H4	Density of New Housing
JP-G7	Trees and Woodland
JP-G8	A Net Enhancement of Biodiversity and Geodiversity
JP-P1	Sustainable Places
JP-P2	Heritage
JP-C2	Digital Connectivity
JP-C5	Streets For All
JP-C6	Walking and Cycling
JP-C8	Transport Requirements of New Development
NPPF	National Planning Policy Framework
NPPG	National Planning Policy Guide

### Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations, including relevant policies in the emerging Places for Everyone Joint Development Plan.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle - Employment** - Part of the application site is designated as land suitable for Business (B1), General Industrial (B2) and Warehousing uses (B8) under UDP Policy EC1/1 of the adopted Bury Unitary Development Plan (UDP).

The EC1/1 allocation is identified as being most suited to the expansion of Holcombe Mill. The policy states development for other business and industrial uses will only be permitted in exceptional circumstances and in accordance with other policies and proposals of the plan.

The application site is also located within the Ramsbottom Employment Generating Area (EGA) as designated under Policy EC2/1 of the UDP.

UDP Policy EC2/1 states that within the Ramsbottom EGA, the Council will only allow development for B1, B2 and B8 and Leisure and Tourism uses. Other uses will only be permitted where they constitute limited development or do not substantially detract from an area's value as an Employment Generating Area.

In coming to a view on this proposal, it is necessary to consider the change in circumstances in Ramsbottom since the EC1/1 and EGA designations were originally made.

In particular, the closure of Holcombe Mill, which was located on the application site, in 2008. Since the closure, the site has remained vacant and has undergone a programme of demolition.

The EC1/1 allocation cannot therefore come forward as intended, given the demolition of Holcombe Mill and the applicant has submitted a report on the Employment Potential and Viability of the application site which identified that the site was unlikely to be reoccupied for employment purposes due to numerous factors including, access for HGVs from the M66, access via residential roads, proximity to the River Irwell and viability issues. The report concluded that the site is now unfit for employment use, except for open storage, developing new employment accommodation in Ramsbottom is not viable and the site should be considered for alternative uses.

The next key consideration is to determine whether the proposal would substantially detract from the area's value as an EGA and, in particular, to consider the relationship of the site with the remaining employment uses within this EGA. In this respect, the site sits on the outer edge of the EGA and the remaining employment uses within the EGA are now separated from the site by Bridge Street.

Paragraph 122 of the NPPF states that planning policies and decisions need to reflect changes in the demand for land. Where the local planning authority considers there to be no reasonable prospect of an application coming forward for the use allocated in a plan:

- a. they should, as part of plan updates, reallocate the land for a more deliverable use that can help to address identified needs (or, if appropriate, deallocate a site which is undeveloped); and
- b. in the interim, prior to updating the plan, applications for alternative uses on the land should be supported, where the proposed use would contribute to meeting an unmet need for development in the area.

On balance, given the closure of Holcombe Mill in 2008, the site constraints which have prevented the site being used for employment use since 2008 and the location of the site on the edge of Ramsbottom EGA, it is considered that EC1/1 allocation will not come forward as intended and the proposal would not substantially detract from the EGA, which also includes the numerous business uses in Kenyon Street. New employment uses on the site would not be viable due to the site constraints and therefore there are exceptional circumstances for alternative uses to come forward on the site. As such, the proposal is not considered to be in conflict with the NPPF, UDP Policy EC1/1 and Policy EC2/1.

**Principle - Town Centre** - A relatively small part of the application site is located within UDP Area RM5 - Railway Street/Bridge Street/Peel Brow. Policy RM5 states that the Council will consider favourable proposals for leisure and tourism, business, office and industrial and car parking uses. Measures to improve the area's environmental and physical appearance will also be encouraged.

The proposed development would provide a 47 space car park for use by the public when visiting Ramsbottom, which would be in accordance with the Policy. It is acknowledged that residential use is not mentioned within the policy, the proposed development would regenerate a large vacant site adjoining Ramsbottom Town Centre, which will contribute to improving the area's environmental and physical appearance. The proposal includes a new public car park and public open space. On balance, it is considered the proposal is in conformity with UDP Policy Area RM5.

**Principle - Housing** - The National Planning Policy Framework (NPPF) should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and

long term. The Framework states that unless they have an adopted plan that is less than five years old that identified a five year supply of specific deliverable sites at the time of conclusion of the examination, then local planning authorities should identify and update annually a supply of specific developable sites to provide either a minimum of five years' worth of housing, or a minimum of four years' worth of housing in certain circumstances set out in NPPF paragraph 226.

The joint Places for Everyone Plan was adopted with effect from 21 March 2024 and sets the up-to-date housing requirement for Bury against which the deliverable supply of housing land must be assessed. PfE Policy JP-H1 sets the following stepped targets for Bury:

- 246 homes per year from 2022-2025;
- 452 homes per year from 2025-2030; then
- 520 homes per year from 2030-2039.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up of sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the deliverable land supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). In addition to the housing land supply in the SHLAA, the joint Places for Everyone Plan allocates significant strategic sites for housing within Bury and will accelerate housing delivery within the Borough to meet housing needs.

Following the adoption of Places for Everyone, the Council is now able to demonstrate a deliverable 5 year supply of housing land when assessed against the adopted PfE housing requirement.

The National Planning Policy Framework also sets out the Housing Delivery Test, which is an assessment of net additional dwellings provided over the previous three years against the homes required. Where the test indicates that the delivery of housing was substantially below (less than 75%) the housing requirement over the previous years, this needs to be taken into account in the decision-taking process. The latest results published by the Government show that Bury has a housing delivery test result of less than 75%, and therefore, this needs to be treated as a material factor when determining applications for residential development.

Therefore, paragraph 11d) of the National Planning Policy Framework states that where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, planning permission should be granted unless:

- i. The application of policies in the Framework that protect areas, or assets of particular importance, provides a clear reason for refusing the development proposed; or
- ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework, taken as a whole.

In terms of housing delivery the Borough has underdelivered against the local housing need, and as a result the 'tilted balance' applies and planning permission should be granted unless the above points Para 11(d) i or ii apply.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is located within the urban area and there are a mix of uses, including residential and commercial in the locality. As such, the proposed development would not conflict with the surrounding land uses and would be in a sustainable location with regard to services and public transport. The site sits outside of the Green Belt and the national requirement to significantly boost the supply of housing under the NPPF is a material consideration that would favour the residential development of this site in principle. In addition, the proposed site was last used as a paper mill with hardstanding across the site and would be a brownfield site. Therefore, the proposed development would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

**Principle - River Valley** - The application site is partly located within the river valley.

Policy OL5/2 states that within river valleys, new buildings or the change of use of existing buildings or the change of use of land will not be permitted. The only exceptions considered acceptable will be those where the development would not lead to the division of the open parts of the valleys into sections and it falls within the terms below:

- where the area is designated as Green Belt the established Green Belt policies will apply;
- where the area does not form part of the Green Belt, at least one of the following circumstances is met:
  - that the development represents limited infilling to an established valley settlement or industrial area;
  - that it is an extension to, or renewal of an existing industry, where the economic and employment factors are of overriding importance;
  - that the development is required in association with an outdoor recreation or appropriate tourist facility;
  - that the development is limited and will form part of, and be essential to, the maintenance of the provision and improvement of public services and utilities;
  - any other development that would be appropriate within the Green Belt.

The development would not lead to the division of open parts of the valley into sections, and it would meet exception criteria b) v) as it comprises the complete redevelopment of previously developed land, that is redundant. Therefore, the proposal would be in accordance with Policy OL5/2 of the Bury Unitary Development Plan.

Within and adjacent to wildlife links and corridors, new development should contribute to their effectiveness through design, landscaping and siting of development proposals. The proposal sites development away from the wildlife corridor, and the submitted Landscape and Ecology Management Plan demonstrates that the area covered by the policy is designed to be public open space, with native tree planting and wildflower seeding. Therefore, the proposal is considered to be in accordance with Policy EN6/4 of the Bury Unitary Development Plan.

**Heritage/impact upon the conservation area** - As set out above, part of the application site falls within the Ramsbottom Conservation Area (a Designated Heritage Asset).

Sections 66 and 72 of the Town & Country Planning (Listed Buildings & Conservation Areas Act) 1990 imposes a statutory duty upon the Local Planning Authority (LPA) to recognise, positively manage and ensure the preservation or enhancement of Listed Buildings and Conservation Areas.

Chapter 16 of the National Planning Policy Framework (NPPF) sets out the Government's planning policy position in relation to development involving heritage matters. Paras 194 to

208 set out how the significance of Conservation Areas must be considered in relation to development proposals including, but not limited to, the judgement of harm, significance, loss to heritage assets (Designated ones and non-designated ones).

UDP Policies EN2/1 and EN2/2 seek to protect the character of conservation areas and to ensure that proposals preserve or enhance the character of such sensitive buildings and areas. In applying the tests of the policy to proposals, nature of the development, materials, relationships between visual qualities and the surrounding areas et al form part of the assessment process to ensure a high, conservation approach is adopted that is designed to preserve or enhance.

The site is partly located within the Ramsbottom Conservation area and includes a chimney, office building and engineering building. The chimney would once have been one of many within the town, but the others have since been demolished. The chimney is one of two left in the immediate area and it has been identified in the Ramsbottom Conservation Area Appraisal as a 'significant building that makes a positive contribution to the character of the Conservation Area.'

This is a re-submission of application 65844 which was for 73 dwellings and was refused in February 2023 for reasons relating to road safety and flood risk. The subsequent appeal (APP/T4210/W/22/3302543) was allowed, and the Inspector commented as follows:

"The existing buildings on the site lie within the Ramsbottom Conservation Area (the CA), an amalgamation of 3 previously designated Conservation Areas. There is no dispute between the main parties that the proposed development would not have an adverse effect on the character or appearance of the CA or its setting. Pursuant to the duty under s72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, having considered the proposal and visited the site, I concur with that view subject to agreement of suitable materials for the proposed buildings, the means of enclosure (including acoustic barriers), and the detailing of conversion works.

This is because those traditional buildings on the site which stem from a chapter in the town's successful development from the late 1700's onwards were formerly dominated by large scale industrial buildings and currently suffer various degrees of dilapidation in a poor setting. The redevelopment of the site would improve the appearance of this part of the CA without harm to its wider character. Accordingly, the development proposed would enhance those buildings capable of retention and re-use, and would preserve the character and appearance of the remainder of the designated area".

The proposed development is for a lower number of dwellings in a very similar proposed site layout and would involve the retention of the chimney and the demolition of the two dilapidated buildings, in order to provide additional onsite parking. While the dilapidated buildings have been included on the Councils' draft list of non-designated heritage assets, they are now not considered to be of particular value worthy of retention due to the overall loss of the legibility of the site as a former historic mill site. In addition, the retention the former mill site chimney would leave an acknowledgement to its former use.

The proposed house types within and along the boundary with the Conservation Area would be smaller terraced plots. The proposed house types are the same as the previous application and would provide reconstituted stone built houses with a simple design that would respect the character of the historic built form of the setting of the Conservation Area.

The majority of the application site is located outside of the Conservation Area and the key consideration is the appearance of the materials in relation to the existing buildings on site. Given that the majority of the site is outside of the Conservation Area, the viability

constraints and the use of the material across the whole site, the use of reconstituted stone is considered to be acceptable, subject to conditional control. As such, the proposed development would preserve the character of the Conservation Area.

The proposed car park would be located in the north western part of the site. There are 2 car parks currently located in this area. One is accessed from Bridge Street and the second is accessed from the access road serving the cricket club. Given the existing use of the land as a car park, the proposed public car park would be used for the same purpose of parking vehicles. As such, the proposed car park would preserve the character of the Conservation Area.

The site as it currently exists represents a negative feature on and within the setting of the Conservation Area and the proposed development would remove this negative feature. As such, the proposed development would cause no harm to, or loss of significance to the Conservation Area and would enhance the character of it and its setting. The Conservation Officer has no objections, subject to the inclusion of a condition relating to the external materials (stone, roof covering and door design), lighting columns and bollards.

The proposed development would preserve and enhance the character of the Conservation Area and would be in accordance with Policies EN2/1 and EN2/2 of the Bury Unitary Development Plan, Policy JP-P2 of the Places for Everyone Joint Development Plan and the NPPF.

**Design** - The proposed development would provide a mix of terraced, semi-detached and detached dwellings. The proposed dwellings would be predominantly two storeys in height and 8 of the proposed dwellings would be two storeys with living accommodation in the roofspace. There is a mix of two storey and two storeys with converted roofspace properties in the locality and as such, the proposed development would not be a prominent feature in terms of height.

There would be a row of terraced properties across the frontage to Bridge Street and the properties adjacent to the railway line would be semi-detached and would be located in fairly close proximity to each other. As such, the proposed development would respect the character of the conservation area by providing a more dense style of development along these two axis.

The use of headers, cills, pike details, porches and canopies would add visual interest to the elevations. As such, the proposed development would not be a prominent feature in the locality.

As such, the proposed development would preserve the character of the conservation area and would not be a prominent feature in the streetscene. Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1, H2/2, EN2/1 and EN2/2 of the Bury Unitary Development Plan.

**Layout** - Policy JP-H3 states that all new dwellings must:

- comply with the nationally prescribed space standards; and
- be built to the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations unless specific site conditions make this impracticable.

The applicant has provided a report which confirms that all of the proposed dwellings would comply with the nationally prescribed space standards and the development would be carried out in accordance with Part M4(2), which would be secured by a condition. Therefore, the proposed development would comply with the national prescribed space standards and would be in accordance with Policy JP-H3 of the Places for Everyone Joint

## Development Plan.

Policy JP-H4 states that new housing development should be delivered at a density appropriate to the location, reflecting the relative accessibility of the site by walking, cycling and public transport and the need to achieve efficient use of land and high quality design. Regard should be had to the minimum densities, which would be 70 dwellings per hectare in this case. Lower densities may be acceptable where they can clearly be justified by:

- Local housing market issues, such as a demonstrable need for a particular type of housing that cannot be delivered at a higher density; or
- Site specific issues, such as the design context and any potential impact on the wider landscape or townscape including heritage assets and green infrastructure.

The proposed development would have a density of 35.4 dwellings per hectare, which would be below the 70 dwellings per hectare on this site, but above the minimum density of 35 dwellings per hectare. It is noted that not all of the site is usable developable space for housing. The layout of the site is constrained by a number of issues including, flood issues, car parking, archaeological/heritage issues, including the impact upon the Conservation Area. Given the site specific constraints and the need to accommodate these constraints, the density of 35.4 is considered acceptable and reasonably covers the remainder of the site. As such, the proposed development would be in accordance with Policy JP-H4 of the Places for Everyone Joint Development Plan.

All of the proposed dwellings would have a side or rear garden, which would provide a suitable level of amenity space. There would be space within the gardens for bin storage and the proposed boundary treatments of timber fencing, railings and brick walls would be acceptable. Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

**Impact upon residential amenity** - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant to this case. The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between a habitable room window and a two storey blank wall.

All of the relationships between the proposed dwellings within the site would comply with the aspect standards. The proposed dwellings would be set at least 10 metres from the boundary of the site and would not impact upon the neighbouring properties. Therefore, the proposed would not have an adverse impact upon residential amenity and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

**Flood risk/drainage** - The application site is a former mill site which has partially been cleared and is largely situated within flood zone 3.

There is historical evidence that the site has flooded, namely in the recent Storm Eva and Storm Clara flood events experienced in 2015 and 2020.

A previous application (65844) was dismissed at appeal due to insufficient evidence provided to clearly assess the flood risks associated with groundwater, foul drainage, fluvial and surface water sources. It was not possible for the Inspector to be certain that the proposed development would not cause an elevated risk of flooding elsewhere or that the development could be made safe for the intended 'more vulnerable' occupants of the site over its lifetime.

Following the appeal decision, the Flood Risk Assessment (FRA) has been updated and the issues specifically raised by the Planning Inspector have been addressed in the following

way:

- United Utilities has confirmed that the proposed development would not increase the risk of flooding from the combined sewer network;
- The site is assessed to be at low risk of flooding from groundwater and any residual risks can be appropriately mitigated;
- The existing buildings that were to be converted have been removed from the scheme;
- Safe access and egress is indicated to be available turning left onto Bridge Street, the residential development platform is shown to remain dry in all but the defence failure scenario and finished floor levels would be raised to prevent flooding of the residential dwellings in the defence failure scenario.

The Inspector had concerns that the occupiers of the dwellings located within the converted buildings may flood, as the floor level could not be raised within the existing building. The proposed development would demolish these buildings and the finished floor levels in the proposed dwellings would be above the flood levels. This along with the flood evacuation plan would mean that the proposed development would be safe for the occupants of the site over its lifetime.

Sequential test - As part of this application (70222) the Flood Risk Sequential and Exception Test Assessment (August 2020) and the Flood Risk Sequential Assessment Addendum (February 2021) produced in support of 65844 have been resubmitted.

These assessments conclude that there are no sequentially preferable sites which could accommodate the application proposals having drawn on evidence from the Council's 2018 Strategic Housing Land Availability Assessment (SHLAA). At the time the applicant was undertaking the Assessment, the 2018 SHLAA was the most up-to-date information available and identified the site as having 'unconstrained potential' for residential development.

The 2018 SHLAA has since been updated and the most recent 2022 SHLAA categorises the application site as a Category 5 (constrained potential) site to reflect uncertainty over whether the flood risk issues could be overcome.

Nevertheless, the criteria by which the alternative sites have been considered within the Flood Risk Sequential and Exception Test is accepted and it is agreed that there are no sequentially preferable sites that are appropriate or reasonably available within the search. Therefore, the sequential test has been met.

Exception test - The NPPF states that if, following the application of the sequential test, it is not possible for the development to be located in zones with a lower probability of flooding, the Exception Test should be applied.

Paragraph 170 of the NPPF provides two criteria which should be met for the Exception Test to be passed. These are:

- a. the development would provide wider sustainability benefits to the community that outweigh the flood risk; and,
- b. the development will be safe for its lifetime taking account of the vulnerability of its users, without increasing flood risk elsewhere, and, where possible, will reduce flood risk overall

The Flood Risk Sequential and Exception Test Assessment and Addendum (2020 & 2021) and the Flood Risk Assessment and Drainage Assessment (October 2023) submitted as part of this application respond to the requirements of the Exception Test.

The proposal seeks to increase the provision of new housing into the Borough meeting an identified need and seeks to regenerate a derelict brownfield site, both of which contribute to meeting the first criteria of the Exception Test. As stated above, in relation to the lifetime safety of the proposed development, the FRA states that the proposed development has been designed to ensure that it will be safe for its lifetime, thus passing the second element of the exception test, noting that the creation of a development platform will ensure that all of the proposed residential units will be raised to a level which effectively places all dwellings within Flood Zone 1.

The Environment Agency has no objections, subject to the inclusion of conditions relating to flood risk and contaminated land.

Policy JP-S5 of the Places for Everyone Joint Development Plan requires development to be located and designed so as to minimise the impacts of current and future flood risk. The FRA concludes that the proposal would be safe from flood risk for its lifetime and would not increase flood risk elsewhere for the lifetime of the development.

Policy JP-S5 of the Places for Everyone Joint Development Plan also requires developments to manage surface water runoff through sustainable drainage systems and as close to source as possible. Development should achieve greenfield run-off rates unless it is demonstrated to be impracticable. The proposal seeks to discharge surface water runoff from the proposed development into the River Irwell. The issue of surface water drainage has been considered and further information has been produced since the appeal decision. The attenuation tank has been increased in size and would hold a larger volume of water within the site, which would feed back into the river at a slower rate.

United Utilities has no objections, subject to the inclusion of conditions relating to foul and surface water drainage. The Drainage Section has no objections, subject to the inclusion of a condition relating to drainage.

Therefore, the proposed development would not increase flood risk to the site or increase flood risk downstream. The proposed development would not impact adversely upon the foul and surface water drainage. Therefore, the proposed development would comply with Policy EN7/5 of the Bury Unitary Development Plan and Policy JP-S4 of the Places for Everyone Joint Development Plan.

**Ecology** - An Preliminary Ecological Assessment (PEA) report was submitted with the application and the main issues to be considered in relation to ecology are bats, otters, nesting birds, invasive species, protection of the river Irwell and contributing to the natural environment.

**Bats** - In previous surveys, bats were recorded as roosting in buildings B1 and B2. An updated bat assessment has been provided that indicates the buildings still have high bat roosting potential with a very late bat emergence survey in 2023 confirming that bats are present in B1.

Further emergence surveys have been undertaken in accordance with best practice have been submitted. Bats were confirmed as roosting in building B1 in low numbers and there is no evidence of bats roosting in buildings 2 and 3. Given the very low numbers of pipistrelle bats recorded as roosting, it is considered that the conservation status of the bats can be maintained and mitigated through the provision of bat boxes/bricks.

GM Ecology Unit has no objections, subject to the inclusion of conditions relating to bats, the requirement to undertake further surveys if work is delayed beyond April 2025, bats in trees and external lighting.

Otter - Otters are now present in the river Irwell, though the majority of the sightings are to the south of Bury, primarily due to survey effort in this locality resulting from flood alleviation and other development proposals. Surveys in 2019 found no evidence of otter along this section of the river. The 2023 Preliminary Ecological Assessment notes that updated otter surveys are required, but this is contradicted in the review of the 2019 otter, water vole and white-clawed crayfish report, which states no otter were found to be present during the 2023 update.

A further survey has been undertaken and found evidence of otters utilising the riverbank adjacent to the development site, but no evidence of a holt was recorded.

GM Ecology Unit has no objections, subject to the inclusion of a condition relating to a otter mitigation and avoidance strategy and the requirement to undertake further surveys if work is delayed beyond April 2025.

Other Protected Species - Updated surveys for white-clawed crayfish and water vole are also recommended in the PEA, but in the case of water vole this is then contradicted in the review of the 2019 survey. A survey was submitted and found no evidence of crayfish and water voles present. GM Ecology Unit has no objections, subject to an informative relating to water voles and white clawed crayfish.

No evidence of any other protected species was found or suspected during the 2023 PEA review. It was, however, noted that badger could colonise the site and a precautionary survey recommend prior to development. GM Ecology Unit has no objections, subject to the inclusion of a condition relating to badgers.

Kingfisher are also present on the River Irwell but nesting on site is extremely unlikely. GM Ecology Unit has no objections subject to the inclusion of an informative relating to Kingfishers.

Nesting Birds - The site has been colonised by dense scrub. The development will also require removal of existing trees and ornamental shrubs and the majority of the remaining buildings where nesting is suspected. There is therefore a significant amount of bird nesting habitat on the site. All British birds nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife & Countryside Act 1981, as amended. GM Ecology Unit has no objections, subject to the inclusion of condition relating to nesting birds.

Invasive Species - Japanese knotweed, Himalayan balsam, monbretia and Cotoneaster spp are present on the site, all included within this schedule 9 part 2 of the Wildlife & Countryside Act 1981, as amended. It is an offence to introduce or cause to grow wild any plant listed under this schedule. Previously an invasive species method statement was agreed.

This has been updated following an updated survey in September 2023, where amendments were made owing primarily to the discovery of monbretia.

GM Ecology Unit agree with the findings and have no objections, subject to the inclusion of conditions relating to invasive species.

Protection of the River Irwell - GM Ecology Unit are satisfied that negative impacts can be avoided and the overall scheme will likely be positive due to the creation of the public open space (POS) in partnership with the Environment Agency along the Irwell, protection during construction and laying out of the POS should still be provided. This could be conditioned either as part of a Construction and Environmental Management Plan (CEMP).

### Contributing to and Enhancing the Natural Environment & Biodiversity Net Gain (BNG)

Section 174 of the NPPF 2021 states that the planning policies and decisions should contribute to and enhance the natural and local environment. Large parts of the site are hard standing, but colonisation by scrub is occurring, and increased since the previous application. Losses of higher value habitat is restricted to the woodland and scrub along the tributary watercourse and some mature trees along the river. Wildlife issues relate primarily to nesting birds and bats, with potential issues relating to otter and kingfisher that forage along the Irwell adjacent to the site.

The application was submitted before the requirement to provide 10% biodiversity net gain was introduced.

A biodiversity net gain (BNG) assessment was submitted, which has established the baseline value of the site and this has been accepted as reasonable by GM Ecology Unit.

The BNG assessment has calculated that more than 10% BNG is achievable, but this would be highly reliant upon the flood plain meadow achieving good condition. As this area of land is to be used for recreational purposes and the presence of invasive species, this would be difficult to achieve. Fairly good condition would achieve a 5.86% gain, which would be acceptable as BNG was not mandatory when the application was submitted. GM Ecology Unit has no objections, subject to the inclusion of a condition relating to biodiversity net gain.

Conclusion - The proposed development would not have a significantly adverse impact upon the protected species, invasive species and the River Irwell and would provide a net gain in relation to biodiversity. Therefore, the proposed development would be in accordance with Policy EN6/3 of the Bury Unitary Development Plan and Policy JP-G8 of the Places for Everyone Joint Development Plan and the NPPF.

**Noise** - A noise and vibration impact assessment was submitted to assess the impact of road traffic noise, noise from the nearby sports facilities, noise associated with the operation of the East Lancashire Railway and noise from the nearby commercial activities.

Measurements were taken from two points - one at the north of the site close to the existing access road and railway station/line and a second at the south of the site, adjacent to the cricket club and the FedEx site.

Other outward facing residential properties would periodically be impacted by the operation of the railway. The ELR is not a network rail facility and generally operates infrequently. The proximity of the site to this tourist facility is largely no worse than other first floor residential accommodation and impacts arising tend to be infrequent and sporadic.

In the rear gardens, the desirable value of 50dB (A) would be achieved and no mitigation measures would be required because the buildings would provide a barrier.

In relation to industrial noise, the noise levels were measured and an additional 6dB was added to account for tonality of reversing alarms or impulsivity in the case of trailer connection/disconnection. The noise levels would be above the lowest measured background noise levels during the day and night and plots 52 - 57 would be affected. Glazing with a sound insulation performance of 30dB would be installed within these plots. However, if windows were open for ventilation, it would not comply and as such, a forced ventilation scheme would be required for habitable rooms for plots 52 - 57. As such, the proposed mitigation measures proposed would protect the amenity of the future occupiers, while allowing the adjacent business to operate.

The Environmental Health - Pollution Control Section has no objections, subject to the inclusion of conditions relating to noise.

Therefore, the proposed development would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

**Highways issues** - A Transport Assessment was submitted with the application, which has been assessed by Transport for Greater Manchester (TfGM). On the previous application, there was a contribution requested for the implementation of MOVA at the junction, which would increase the capacity and efficiency of the junction. In the appeal decision, the Inspector considered that the contribution was not required as it had not been demonstrated that the proposed development would have a 'serious adverse' impact upon the traffic flows. As such, the contribution cannot be requested and does not form part of this application.

Transport for GM have requested a pedestrian crossing facility be provided across Bridge Street to enable residents to access the bus stops more easily and safely.

The applicant has provided a response to state that it is not reasonable or necessary for this development to provide a crossing. The proposed development would provide improvements to the nearby bus stop and would provide a town centre car park, which would help to alleviate town centre parking pressures. There have been no accidents recorded on the entire length of Bridge Street over the most recent 5 year period and as such, there are no highway safety issues that would justify the provision of a new crossing.

The lack of accidents across Bridge Street would mean that the proposed development would not have a serious adverse impact upon highway safety and as such, would not be justified. In addition, a crossing was not requested as part of the previous application, which included 16 more dwellings than this scheme nor was it considered necessary by the Inspector in the appeal.

Funding has been allocated through the City Region Sustainable Transport Settlement (CRSTS) and the improvements include 3 new controlled pedestrian crossings in Ramsbottom, along with improvements to pedestrian/cycle routes. As such, the pedestrian crossings would be provided in the future.

The proposed development would be accessed from the existing access road, which runs along the western boundary. This access road was previously in use by the paper mill and is also used by the football club and cricket club. Appropriate levels of visibility would be provided. There are two existing accesses onto Bridge Street. One would be closed and the second would be narrowed and only used as the emergency access. The closure and reduction in the use of these two accesses is welcomed.

The Traffic Section has no objections in principle to the proposed development and further comments will be reported in the Supplementary Report.

**Parking** - SPD11 states that the maximum parking standards for the proposed development are:

- 1 space per 1 bed dwelling;
- 1.5 spaces per 2 bed dwelling;
- 2 spaces per 3 bed dwelling;
- 3 spaces per 4 bed dwelling.

This equates to 137 spaces.

The proposed development would provide 112 spaces and 24 spaces within garages, which would be large enough to park in. As such, the proposed development would provide 136 spaces. The application site is located within a sustainable location and as such, the proposed level of parking would be acceptable in this instance. The proposed development would also provide a car park with 47 spaces, which would be for public use, which is welcomed. Therefore, the proposed development would comply with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

**Carbon/energy** - The applicant has provided a statement to detail how the proposed development would incorporate energy efficient measures which would include insulation installed internally to comply with the current Part L of the building regulations and the provision of solar photo voltaic panels. The measures identified would reduce the energy required and CO2 emissions. Therefore, the proposed development would comply with Policy JP-S2 of the Places for Everyone Joint Development Plan.

**Digital connectivity** - Policy JP-C2 of the PfE plan supports the provision of affordable, high quality, digital infrastructure.

The agent has provided a statement, which indicates that each of the new residential units would be provided with access to high speed digital connection. Therefore, the proposed development would comply with Policy JP-C2 of the Places for Everyone Joint Development Plan.

**Planning obligations/viability** - A viability assessment has been submitted with the application. The report identifies that there are a number of abnormal costs associated with developing this brownfield site, including remediation, works to the chimney, piled foundations, gas membranes, acoustic fencing, works to the culvert and regrading of land. The previous scheme confirmed that the site was unviable to deliver affordable housing and this is maintained within the scheme. The viability appraisal for the previous scheme was assessed externally and there were differences of opinion on many measures and factors. This, notwithstanding the negotiated position was to deliver 10 affordable units. The current application has reduced the number of residential units and has now incorporated the provision of a public car park. The affordable housing position is therefore, worse than the previous scheme. The report concludes that the redevelopment of the site would not be viable if a policy compliant level of affordable housing was required. This would also put the potential of a public car park use (i.e. not developable land for new residential accommodation) at risk. The consideration is therefore, one of balance of public benefit.

Ramsbottom does suffer from a lack of public parking provision and within a town centre location, this pressure is likely to have wider economic repercussions where it may detract from the offer of the Town Centre. It is inarguable that a public car park is a public benefit where limited provision exists. Equally, it is inarguable that affordable housing is also a public benefit. The case is considered to have been reasonable made that the site due to its constraints would be unviable to deliver affordable housing and reflects the same position as was previously set out in the last application. However, the case presented within this application does provide a different type of public benefit, which is arguable available to the town centre's function as a whole. As such, it is considered that there is no reason to doubt the findings of the assessment.

### **Response to objectors**

- The issues relating to traffic, flood risk, highways issues, heritage, impact upon the conservation area, parking, ecology, air quality, noise have been addressed in the report above.
- The 47 space car park would be available for use by the public, which would be secured by a legal agreement.

- Access to the cricket club and football club would be maintained and would be improved through the provision of a footpath.
- The impact during construction is not a material planning consideration and cannot be taken into account. Other legislation would take effect.
- The site would be remediated and this would be secured by conditions 4 - 9.
- There is an identified need for the proposed dwellings.
- The proposed development would not increase the risk of flooding elsewhere.
- Forced ventilation would be used for plots 52 - 57 of the development, which would mitigate the impact of noise from the adjacent industrial premises and the railway.
- Drainage consent would be separate to planning.
- The drainage strategy confirms that the proposed development would not discharge sewage into the River Irwell.
- Condition 23 relates to a method statement to treat the invasive species present on site.
- The exception test in relation to flood risk would be satisfied.
- The recommendation on the application is based upon the compliance of the proposed development with the policies within the development plans and the NPPF. There is no conflict of interest.
- The Council has to determine the application submitted to it. Notwithstanding this, the existing access road would comply with the visibility splays and the Traffic Section has no objections to its use for this purpose. The fall back position of the previous industrial use of the site should also be considered and the proposed use would generate less traffic than the previous commercial use when it was operating at capacity.
- The applicant would need to comply with the Building Regulations, but this is a separate regime to planning. As such, there is no information in relation to Part H of the Building Regulations within this planning application.
- United Utilities have been consulted upon the proposal and have no objections, subject to the inclusion of conditions relating to foul and surface water drainage.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during pre-application discussions to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Minded to Approve

### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 101, RAMS-TOPO-001, RAMS-TOPO-002, ECC-0111, 102 Q, 102-1, 103 J, 105-1, 105 B, 106, 500, LY-P-01-1, LY-P-01 A, PL-P-01 A, WH-P-01-2 A, WN-P-01-2 A, BU-P-01 A, DE-P-01 A, FM-P-01-2 A, GY-P-01 B, HA-P-01-1 A, HT-P-01-2 A, LA-P-01, LY-P-01-2 A, SG-P-01-1, TG-P-01-1, F025, F02, F02-1, F04-1, F05 E, F05-1 E,

F06 B, F09, F012, F014, C100 P4, C101 P5, C102 P2, SD-CP-01, P.1202.19.19, P.1202.19.11 B and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Details/Samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before any development above ground is commenced. Only the approved materials shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design.

4. No development other than demolition shall commence unless and until:-
- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
  - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
  - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

6. A scheme for managing any borehole or well that has been installed for the investigation of soils, abstraction groundwater or geotechnical purposes shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall provide details of how redundant boreholes are to be decommissioned and how any boreholes that need to be retained, post-development, for monitoring purposes will be secured, protected, and inspected. The scheme as approved shall be implemented prior to the occupation of any part of the permitted development/of each phase of development.

Reason. To ensure that redundant boreholes are safe and secure, and do not cause groundwater pollution or loss of water supplies in line with paragraph 174 of the National Planning Policy Framework and Position Statement J of 'The Environment Agency's approach to groundwater protection'.

7. No infiltration of surface water drainage into the ground where adverse concentrations of contamination are known or suspected to be present is permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to controlled waters. The development shall be carried out in accordance with the approval details.  
Reason. To ensure that the development does not contribute to and is not put at unacceptable risk from or adversely affected by unacceptable levels of water pollution from previously unidentified contamination sources at the development site. This is in line with paragraph 174 of the National Planning Policy Framework.
8. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.  
Reason. To ensure that the proposed piling, does not harm groundwater resources in line with paragraph 174 of the National Planning Policy Framework and Position Statement J of the 'The Environment Agency's approach to groundwater protection'.
9. Prior to any part of the development hereby approved being occupied, a verification report demonstrating the completion of works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to, and approved in writing, by the Local Planning Authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met.  
Reason. To ensure that the site does not pose any further risk to the water environment by demonstrating that the requirements of the approved verification plan have been met and that remediation of the site is complete. This is in line with paragraph 174 of the National Planning Policy Framework.
10. Prior to occupation the applicant shall provide and connect one electric vehicle (EV) charging point (minimum 7kW\*) per unit (dwelling with dedicated parking) or a minimum 20% EV chargepoints (minimum 7kW\*) (for unallocated parking).  
  
\*Mode 3, 7kW (32A) single phase, or 22kW (32A) three phase, and for 50kW Mode 4 rapid charging may be required. British Standard BS EN 61851-1:2019 to be used. Further information regarding minimum standards can be found at <https://www.gov.uk/transport/low-emission-and-electric-vehicles>.  
  
Reason. In accordance with the NPPF, to encourage the uptake of ultra-low emission vehicles and ensure the development is sustainable. To safeguard residential amenity, public health and quality of life pursuant to Policy JP-S5 - Clean Air of the Places for Everyone Joint Development Plan.
11. No development shall commence unless and until a scheme to minimise dust and odour emissions has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of all dust and odour control measures and the methods to monitor emissions of dust arising from the development. The development shall be implemented in accordance with the approved scheme with the approved dust and odour control measures being retained and maintained in a fully functional condition for the duration of the

development hereby approved.

Reason. The information was not submitted at application stage and is required to reduce the impacts of dust and odour disturbance from the site on the local environment, pursuant to Policy JP-S5 - Clean Air of the Places for Everyone Joint Development Plan and chapter 11 of the NPPF - Conserving and enhancing the natural environment.

12. The development hereby approved shall only be carried out in accordance with the Noise Impact Assessment, dated 28 October 2023.

Reason. To ensure the amenity of the future occupiers of the development is protected pursuant to Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

13. Plots 52 - 57 inclusive shall have forced ventilation in accordance with the recommendations of the Noise Impact Assessment, Noise Impact Assessment, dated 28 October 2023.

Reason. To ensure the amenity of the future occupiers of the development is protected pursuant to Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

14. A programme of archaeological works will be undertaken in accordance with the Written Scheme of Investigation (ARS Ltd Report 23/174, 10/12/2023) approved by GMAAS in December 2023 and submitted as part of the planning application. The WSI covers the following:

1. A phased programme and methodology of investigation and recording that includes:

- i. archaeological building survey (HE Level 1-2)
- ii. targeted archaeological trenching and strip-map-sample evaluation
- iii. informed by the above, more detailed targeted excavation and/or development watching brief(s) (subject of a new WSI).

2. A programme for post investigation assessment to include:

- i. analysis of the site investigations records and finds
- ii. production of a final report on the investigation results.

3. Deposition of the final report with the Greater Manchester Historic Environment Record.

4. Dissemination of the results commensurate with their significance.

5. Provision for archive deposition of the report and records of the site investigation.

6. Nomination of a competent person or persons/organisation to undertake the works set out within the approved WSI.

Reason. To make a record of buildings and features of archaeological interest and to advance understanding of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. This would be pursuant to Policies EN3/1 – Impact of Development on Archaeological Sites and EN3/2 – Development Affecting Archaeological Sites of the Bury Unitary Development Plan and Section 16 of the National Planning Policy Framework.

15. The development hereby approved shall be carried out in accordance with the requirements of the approved FRA (ref: 4714/FRDA/Final/v1.0 dated 27/10/2023), be fully implemented and subsequently maintained, in accordance with the scheme's timing/phasing arrangements.

Reason. To ensure that there are no detrimental impacts to flood storage or flood flow routes and to reduce the risk of flooding to the proposed development and future users pursuant to Policy JP-S4 - Flood Risk and the Water Environment of

the Places for Everyone Joint Development Plan.

16. The drainage for the development hereby approved, shall be carried out in accordance with principles set out in the submitted Foul & Surface Water Drainage Design Drawing C102, Rev P2- Dated December 2021 which was prepared by Weetwood and the Flood Risk and Drainage Assessment, Final Report, v1.3, October 2023, C100 Rev P4 dated August 2020, C101 P5 dated August 2020 and C102 P2 dated December 2021. For the avoidance of doubt surface water must drain at the restricted rate agreed with the LLFA and or the Environment agency. No surface water will be permitted to drain directly or indirectly into the public sewer. Prior to occupation of the proposed development, the drainage schemes shall be completed in accordance with the approved details and retained thereafter for the lifetime of the development.

Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN7/3 - Water Pollution and EN7/5 - Waste Water Management, Policy JP-S4 - Flood Risk and the Water Environment of the Places for Everyone Joint Development Plan and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

17. The demolition of building B1 & B2 is likely to cause harm to common pipistrelle bats as identified in the Bat Nocturnal Surveys report by Ascerta Ref: P.1202.19 and shall not in any circumstances commence unless the Local Planning Authority has been provided with either:

- a license issued by Natural England pursuant to Regulation 55, of the Conservation of Habitats and Species Regulations 2017 authorising the specified activity/development go ahead: or
- a statement in writing from the relevant licensing body or LPA to the effect that it does not consider that the specified development will require a license

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan, Policy JP-G8 - A Net Enhancement of Biodiversity and Geodiversity of the Places for Everyone Joint Development Plan and Section 11 of the National Planning Policy Framework.

18. If the demolition hereby approved does not commence before 30 April 2025, the building will be reassessed for bat roosting potential and the finding submitted to and approved in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan, Policy JP-G8 - A Net Enhancement of Biodiversity and Geodiversity of the Places for Everyone Joint Development Plan and Section 11 of the National Planning Policy Framework.

19. The removal of trees with low bat roosting potential may have the potential to cause harm to bats as identified in the Preliminary Ecological Appraisal Ascerta ref. P.1202.19 drawing P.1202.19.03 rev.A and shall not in any circumstances occur unless further information has been provided to and agreed in writing by the local planning authority

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan, Policy JP-G8 - A Net Enhancement of Biodiversity and Geodiversity of the Places for Everyone Joint Development Plan and Section 11 of the National Planning Policy Framework.

20. No development, other than demolition and remediation, shall commence unless or until, an external lighting strategy has been submitted to and approved in writing by the Local Planning Authority. The strategy shall:
- Identify existing areas and proposed features for bats that are potentially sensitive to lighting;
  - show how and where external lighting will be installed and through appropriate isolux plans demonstrated clearly that any impacts on bats will be negligible;
  - Specify frequency and duration of use.

All external lighting shall be installed in the agreed specifications and locations in accordance with the approved strategy.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan, Policy JP-G8 - A Net Enhancement of Biodiversity and Geodiversity of the Places for Everyone Joint Development Plan and Section 11 of the National Planning Policy Framework.

21. Within six months of the commencement of earthworks or vegetation clearance a survey of the site for badger setts will occur and the findings submitted to and approved in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan, Policy JP-G8 - A Net Enhancement of Biodiversity and Geodiversity of the Places for Everyone Joint Development Plan and Section 11 of the National Planning Policy Framework.

22. No works to trees or shrubs shall occur or building work or demolition commence between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance or a reasonable avoidance measure method statement been provided and written confirmation provided that no active bird nests are present which has been agreed in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan, Policy JP-G8 - A Net Enhancement of Biodiversity and Geodiversity of the Places for Everyone Joint Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

23. The development hereby approved shall be carried out in accordance with the invasive species method statement, received on 2 November 2023.

Reason. The scheme does not provide full details of the actual extent of Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

24. No development, site clearance, earth moving shall take place or material or machinery brought on site until a method statement to protect the River Irwell from accidental spillages, dust and debris has been supplied to and agreed by the LPA. All measure will be implemented and maintained for the duration of the construction period in accordance with the approved details.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan, Policy JP-G8 - A Net Enhancement of Biodiversity and

Geodiversity of the Places for Everyone Joint Development Plan and Section 11 of the National Planning Policy Framework.

25. Prior to any earthworks or vegetation clearance an otter mitigation and avoidance strategy will be submitted to and approved in writing by the Local Planning Authority. Should the commencement of works be delayed beyond April 2025 an updated survey of the site for otter must be provided before works commence.  
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policy EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan, Policy JP-G8 - A Net Enhancement of Biodiversity and Geodiversity of the Places for Everyone Joint Development Plan and Section 11 of the National Planning Policy Framework.
26. The landscaping scheme hereby approved shall be implemented to the written satisfaction of the Local Planning Authority not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.  
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan..
27. Notwithstanding the details indicated on the approved plans, no development other than demolition and remediation shall commence unless and until full details of the following, to a scope and specification to be agreed, have been submitted on a topographical survey of the site and adjacent adopted highways to the Local Planning Authority:
  1. Reconstruction of the site access onto Bridge Street incorporating the provision of tactile paved pedestrian crossing points within the limits of the adopted highway;
  2. Reconstruction of the southerly footway on Bridge Street abutting the site, incorporating the identification of, and agreement to, the limits and demarcation of the adopted highway including realignment where appropriate, reinstatement of all redundant accesses to full height kerb levels, provision of a minimum footway width of 2.0m with 1 in 40 falls to the carriageway, edgings with a 50mm upstand and all boundary treatment alterations adjacent to the back of the footway along the northerly site boundary and in front of Plots 8 - 12, with any foundations required for the replacement walls/fencing designed to not encroach under the adopted highway;
  3. Provision of a street lighting assessment of the junction of the site access with Bridge Street (in addition to the and proposed private internal estate roads), and, if required as a result of the assessment, subsequent scheme of improvements on the existing adopted highway;
  4. Formation of the proposed Secondary Emergency Access to the site adjacent to Plot 12 to a width and specification to be agreed with Greater Manchester Fire and Rescue Service, incorporating adequate strengthening of the footway, levels and vertical alignment to ensure that the size, type and weight of a fully laden fire appliance can be accommodated at this point on the Highway Network in order to access the site;
  5. In association with the above, a scheme of bollards to a specification to be agreed with Greater Manchester Fire and Rescue Service and at appropriate centres located clear of the adopted highway, to ensure that there shall be no direct means of non-emergency vehicular access between the site and Bridge

Street;

6. Formation of the proposed pedestrian access to the site adjacent to Plot 8, incorporating the provision of pedestrian guardrailing of a length and type to be agreed, adequate footway width and levels at this access point and all associated accommodation works;
7. A scheme of road markings to introduce 'Keep Clear' and give way markings at the junction with Bridge Street, in addition to the provision of appropriate white lining within the private development itself;
8. Review of the Traffic Regulation Orders in the vicinity of the site to a scope to be agreed to cover whether any additional parking restrictions require introducing, as well as ensuring adequate parking restrictions remain in place, and are refreshed accordingly;
9. Review of the bus stops in the vicinity of the site with a view to upgrading/improving any bus stops (as necessary). Should this review, undertaken in consultation with TfGM, determine that improvements are required, the application should include proposals for the upgrade of the bus stops, in accordance with 'Transport for Greater Manchester's Design Guidelines for Bus Stops';
10. All associated highway redial/accommodation works to accommodate the required highway works.

The highway works subsequently approved shall be implemented to an agreed programme before each phase of the development subsequently agreed is first occupied.

Reason. To secure the satisfactory development of the site in terms of highway safety, ensure good highway design and maintain the integrity of the adopted highway pursuant to the following Policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan:

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development

Policy EN1/2 - Townscape and Built Design

Policy JP-C5 - Streets for All

Policy JP-C6 - Walking and Cycling

28. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved by the Local Planning Authority and shall confirm/provide the following:
  1. Photographic dilapidation survey of the footways and carriageways abutting the site in the event that subsequent remedial works are required following construction of the development/boundary treatment alterations and as a result of any statutory undertakers connections to the new dwelling;
  2. Access point for demolition/construction traffic from the adopted highway;
  3. Site hoardings (if proposed) clear of the adopted highway;
  4. Hours of operation and number of vehicle movements;
  5. A scheme of appropriate warning/construction traffic signage in the vicinity of the site and its access;
  6. Parking on site (or on land under the applicant's control) of operatives' and demolition/construction vehicles together with storage on site of demolition/construction materials, including any requisite phasing of the development to accommodate this;
  7. Measures to ensure that all mud and other loose materials are not spread onto the adjacent adopted highways as a result of the groundworks operations or carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations.

The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.

Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policy EN1/2 - Townscape and Built Design and Places for Everyone Joint Development Plan Policies JP-C5 - Streets for All and JP-C6 - Walking and Cycling.

29. No development, other than demolition and remediation, shall commence unless and until Travel Plans for the residential use has been submitted to and approved in writing with the Local Planning Authority/TfGM and shall confirm/provide the following:

1. A range of measures promoting a choice of transport mode, and a clear monitoring regime with agreed targets;
2. A travel plan budget and resources for the implementation and day to day management of travel plan measures;
3. Appropriate management structures;
4. Detailed time frames for the delivery;
5. Handover arrangements for the travel plan or its components when the developer's responsibility ceases;
6. Targets and monitoring arrangements.

The approved plan shall be implemented within 6 months of occupation of the first dwelling and the measures and facilities proposed implemented to the satisfaction of the Local Planning Authority.

Reason. A travel plan has not been provided and to deliver sustainable transport objectives pursuant to Policy JP-C8 - Transport Requirements of New Development of the Places for Everyone Joint Development Plan.

30. No development, other than demolition and remediation, shall be commenced unless and until details of the proposed arrangements for future management and maintenance of the proposed estate roads within the development have been submitted to and approved by the Local Planning Authority. The estate roads shall thereafter be maintained in accordance with the approved management and maintenance details until such time as a private management and maintenance company has been established.

Reason. To ensure that the unadopted estate road serving the development is maintained to an acceptable standard in the interest of residential/highway safety; to ensure a satisfactory appearance to the highways infrastructure serving the development; and to safeguard the visual amenities of the locality and users of the highway pursuant to the following Policies of the Bury Unitary Development Plan: Policy H2/1 - The Form of New Residential Development  
Policy H2/2 - The Layout of New Residential Development  
Policy EN1/2 - Townscape and Built Design.

31. The visibility splays indicated on the approved plans shall be implemented before

the new site access is brought into use and subsequently maintained free of obstruction above the height of 0.6m

Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development

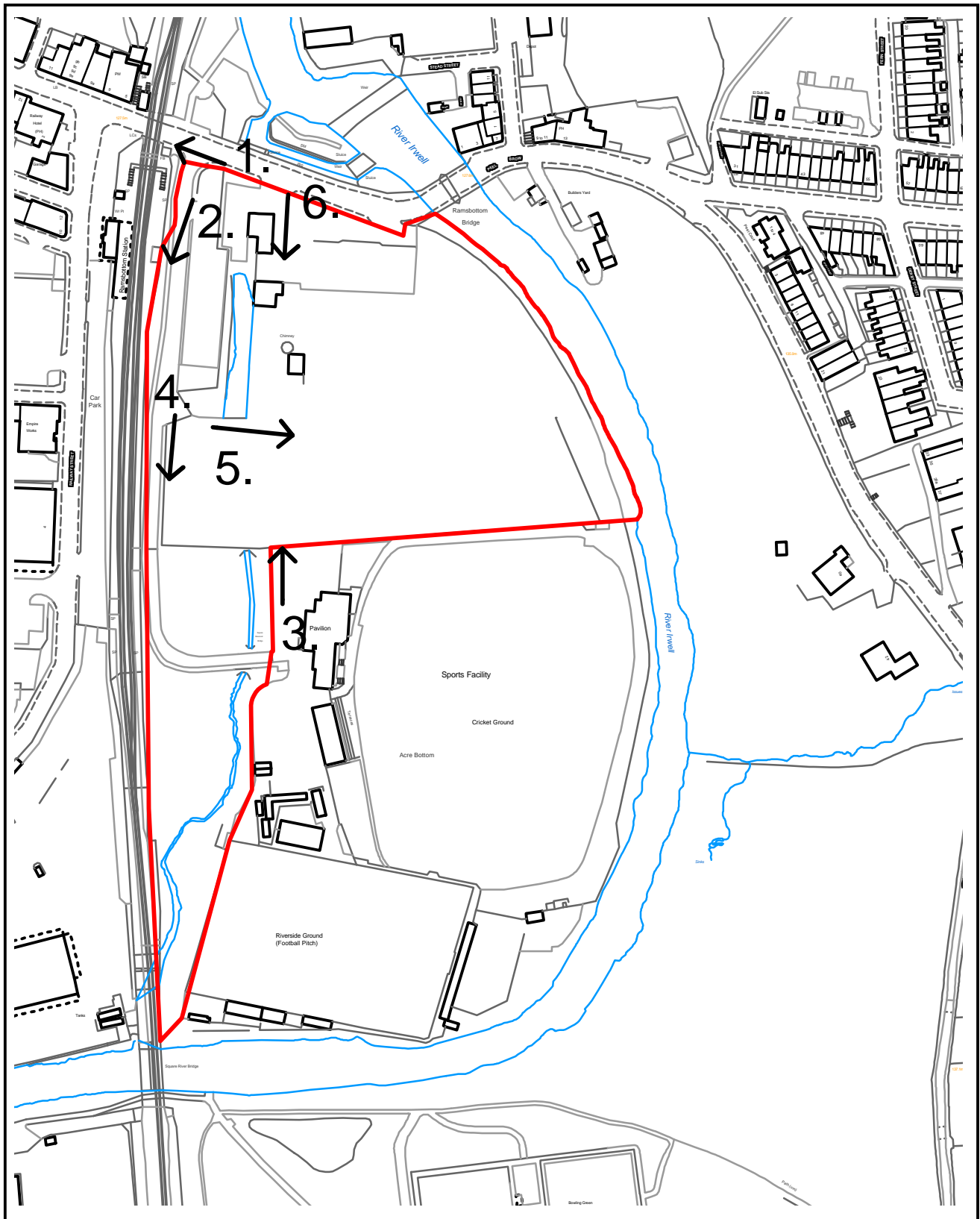
Policy EN1/2 - Townscape and Built Design

32. The private access roads, replacement parking facilities and turning facilities indicated on the approved plans shall be provided before the dwellings are first occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.  
Reason. To ensure good highway design and minimise the standing and turning movements of vehicles on the highway and unadopted access road, in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:  
Policy H2/1 - The Form of New Residential Development  
Policy H2/2 - The Layout of New Residential Development  
Policy EN1/2 - Townscape and Built Design.
33. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the development hereby approved being occupied and thereafter maintained at all times.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
34. The car parking for the dwellings hereby approved and indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the dwellings hereby approved being occupied and thereafter maintained at all times  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
35. A minimum hardstanding of 5.5m measured between the highway/private estate road boundary and any proposed garage doors shall be provided and thereafter maintained.  
Reason. To enable a vehicle to stand clear of the highway whilst the garage doors are opened and to allow adequate space to maintain a vehicle clear of the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:  
Policy H2/1 - The Form of New Residential Development  
Policy H2/2 - The Layout of New Residential Development  
Policy EN1/2 - Townscape and Built Design
36. Where dwellings are constructed without a garage, a minimum hardstanding of 5.0m measured from the highway/private estate road boundary shall be provided within the curtilage of each dwelling and thereafter maintained.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:  
Policy H2/1 - The Form of New Residential Development  
Policy H2/2 - The Layout of New Residential Development  
Policy EN1/2 - Townscape and Built Design.

37. Secure cycle storage facilities shall be provided within the curtilage of each dwelling before it is occupied and thereafter maintained.  
Reason. To ensure the provision of adequate in-curtilage cycle storage facilities and in order to deliver sustainable transport objectives pursuant to the following Policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan:  
Policy H2/1 - The Form of New Residential Development  
Policy H2/2 - The Layout of New Residential Development  
Policy EN1/2 - Townscape and Built Design  
JP-C6 - Walking and Cycling

For further information on the application please contact **Helen Leach** on **0161 253 5322**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

APP. NO 70222

ADDRESS: Former Mondi/Holcombe Mill, Bridge Street, Ramsbottom, Bury, BL0 0BS

Planning, Environmental and Regulatory Services

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**Bury**  
Council

70222

Photo 1



Photo 2



70222

Photo 3



Photo 4



70222

Photo 5

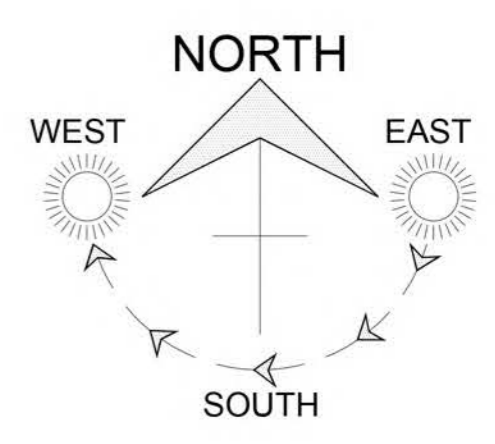


Photo 6





SCHEDULE OF ACCOMMODATION				
LANGHO	2 BED SEMI HOUSE	860sqft	2	1720sqft
GAYTON	3 BED SEMI/NEWS	1037sqft	7	7259sqft
LYTHAM	3 BED SEMI/DET HOUSE	1108sqft	16	17728sqft
DELAMERE	3 BED SEMI HOUSE	1127sqft	8	9016sqft
WHALLEY	4 BED DETACHED HOUSE	1191sqft	4	4764sqft
BUCKLEY	4 BED DETACHED HOUSE	1261sqft	4	5044sqft
FLIMLEY	4 BED DETACHED HOUSE	1378sqft	2	2756sqft
HARTFORD	4 BED DETACHED HOUSE	1412sqft	1	1412sqft
WILLASTON	4 BED DETACHED HOUSE	1479sqft	2	2958sqft
FORMBY	4 BED DETACHED HOUSE	1567sqft	3	4701sqft
HAIGH	4 BED DETACHED HOUSE	1578sqft	8	12624sqft
TOTAL			57	69982sqft
GROSS SITE AREA:		7.10 Acres		
ACCESS ROAD:		0.59 Acres		
LANDSCAPE BUFFER:		0.14 Acres		
POS AREA:		1.43 Acres		
CULVERTS & ACCESS TO CRICKET CLUB:		0.41 Acres		
CAR PARK & SUB STATION:		0.53 Acres		
NETT SITE AREA:		4.00 Acres		
GROSS DENSITY:		8.03 Units/Acre		
NETT DENSITY:		14.25 Units/Acre		
TOTAL FOOTAGE:		69982 Sqft		
GROSS FOOTAGE:		9957 Sqft/Acre		
NETT FOOTAGE:		17496 Sqft/Acre		
NOTE:				
47no. PARKING SPACES TO BE PROVIDED.				



Q	LAYOUT UPDATED.	JSM	28.05.24
P	LAYOUT UPDATED.	JSM	13.10.23
O	LAYOUT COMPLETED.	JSM	02.10.23
N	MIX UPDATED.	JSM	15.09.23
M	LAYOUT & MIX UPDATED.	JSM	03.05.23
L	CAR PARK INCREASED.	JSM	23.03.22
K	CAR PARK ADDED AND PLOTS UPDATED.	JSM	14.03.22
J	AFFORDABLE HOUSING UNITS UPDATED.	JSM	30.03.22
I	AFFORDABLE HOUSING UNITS INDICATED.	JSM	28.03.22
H	SUB STATION INDICATED.	JSM	29.10.21
G	UPDATED TO LA COMMENTS.	JSM	05.06.21
F	UPDATED TO LA COMMENTS.	JSM	24.08.20
E	ROADS UPDATED TO VEHICLE TRACKING.	JSM	10.08.20
D	PLOT NUMBERS ADDED TO EXISTING BUILDINGS.	JSM	14.07.20
C	LAYOUT UPDATED.	JSM	08.07.20
B	EXISTING BUILDINGS UPDATED.	JSM	03.06.20
A	LAYOUT REDRAWN.		

PROJECT  
**HOLCOMBE MILL,  
BRIDGE STREET,  
RAMSBOTTOM**

DRAWING TITLE  
**PLANNING LAYOUT**

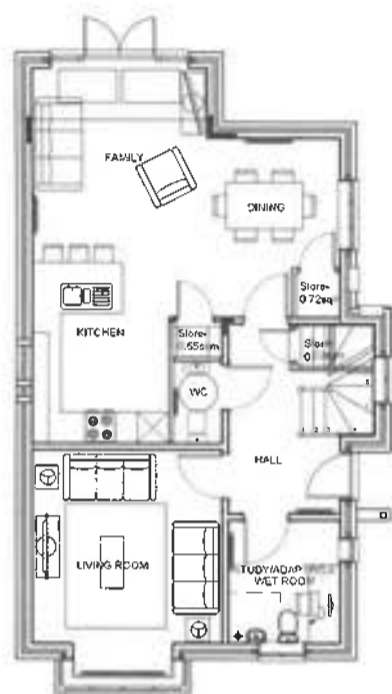
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DRAWN	JSM	04.11.19	SCALE
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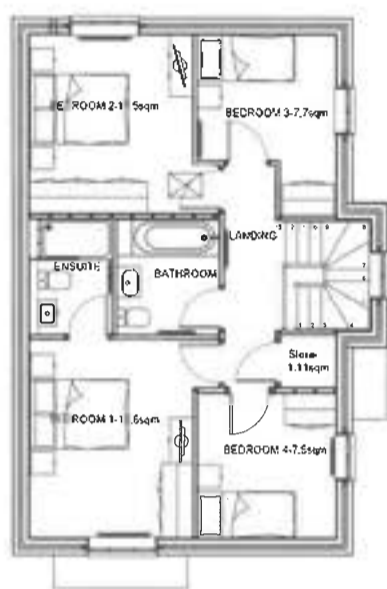
FRONT ELEVATION

SIDE ELEVATION

SIDE ELEVATION



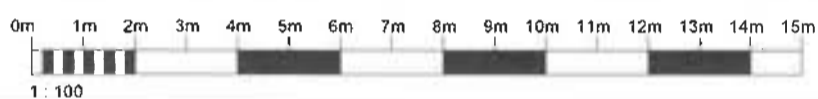
GROUND FLOOR



FIRST FLOOR



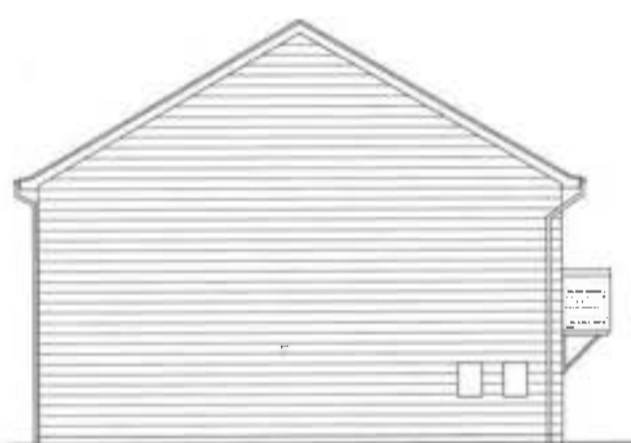
REAR ELEVATION



A House updated to NOSS & Part M & 2 JSM 21.05.24	
REV	DATE
<p><b>Eccleston</b> HOMES</p>	
PROJECT	
HOLCOMBE MILL, RAMSBOTTOM	
DRAWING TITLE	
PLUMLEY HOUSE TYPE STONE VERSION PLANNING DRAWING	
JOB NUMBER	REV
DRAWING NUMBER	PL-F-01
DRAWN	JSM FEB-2022 SCALE
CHECKED	1:100 A3



FRONT ELEVATION



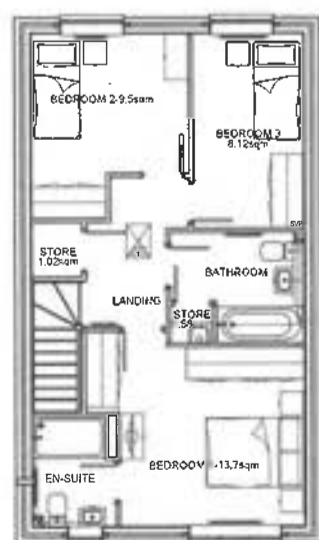
SIDE ELEVATION



REAR ELEVATION



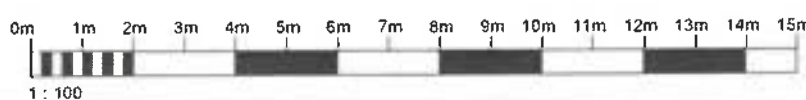
GROUND FLOOR



FIRST FLOOR



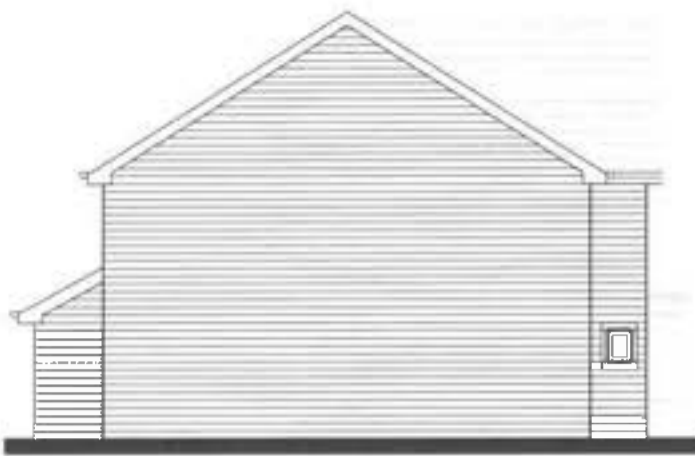
SIDE ELEVATION



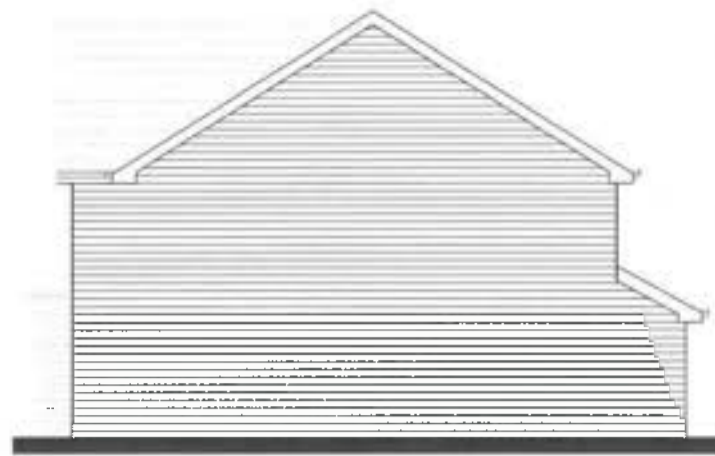
A House updated to NOSS & Part M & 2 JSM 21.05.24	
REV	DATE
<p><b>Eccleston</b> HOMES</p>	
PROJECT	
HOLCOMBE MILL, RAMSBOTTOM	
DRAWING TITLE	
LYTHAM HOUSE TYPE PLANNING DRAWING	
JOB NUMBER	REV
DRAWING NUMBER	LY-F-01
DRAWN	JSM OCT-2023 SCALE
CHECKED	1:100 A3



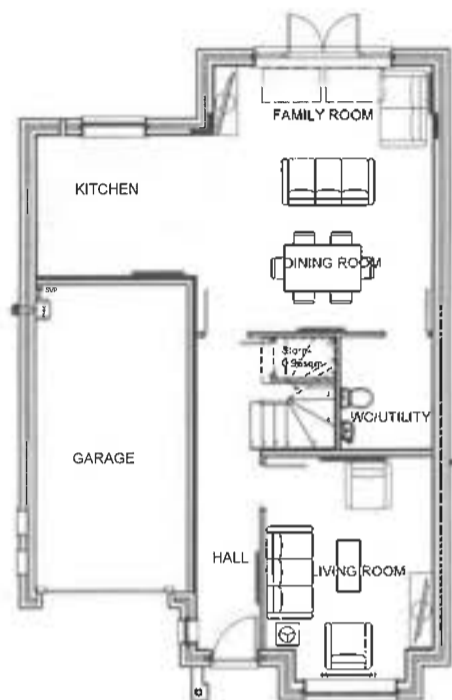
FRONT ELEVATION



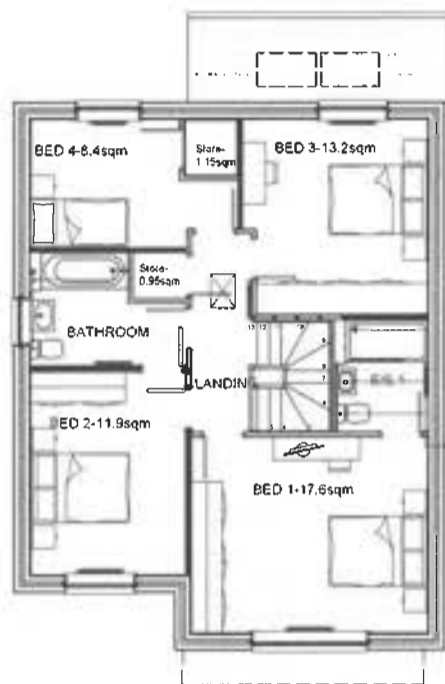
SIDE ELEVATION



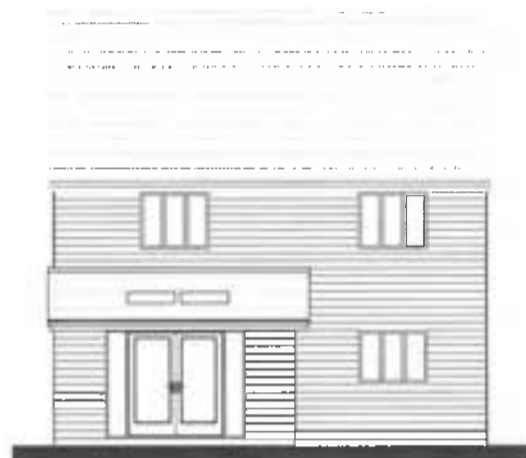
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



REAR ELEVATION

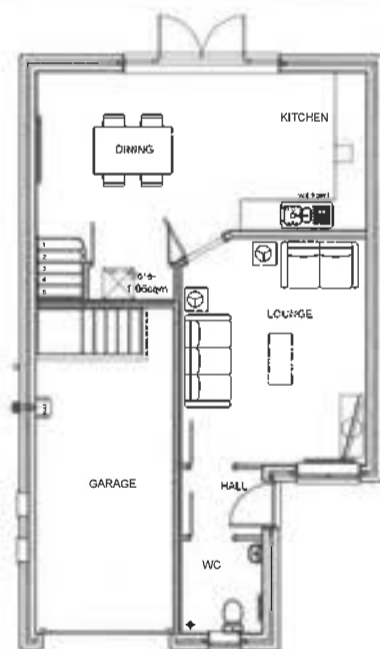
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PROJECT			
HOLCOMBE MILL, RAMSBOTTOM			
DRAWING TITLE			
WILLASTON HOUSE TYPE STONE VERSION PLANNING DRAWING			
JOB NUMBER		REV	
DRAWING NUMBER	WH-P-012	A	
DRAWN	JSM	JAN 2020	SCALE
CHECKED	-		1:100 A3



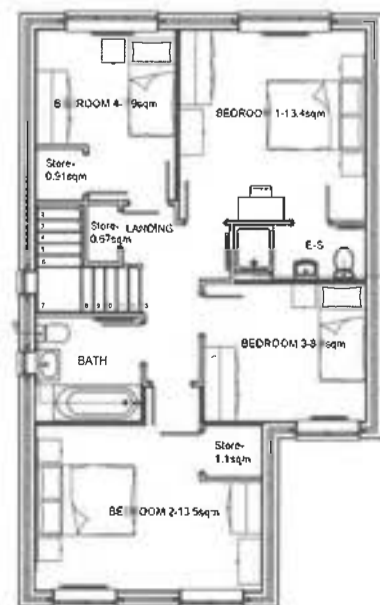
FRONT ELEVATION



SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR

A House Type limited to MOSS & Part 44 2 JSM 21.05.24		REV	DATE
PROJECT			
HOLCOMBE MILL, RAMSBOTTOM			
DRAWING TITLE			
WHALLEY HOUSE TYPE STONE VERSION PLANNING DRAWING			
JOB NUMBER		REV	
DRAWING NUMBER	WH-P-012	A	
DRAWN	JSM	JAN 2020	SCALE
CHECKED	-		1:100 A3





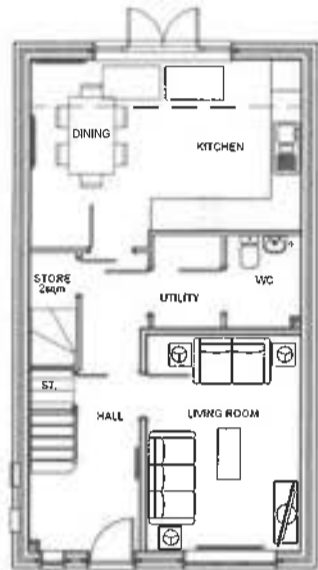
FRONT ELEVATION



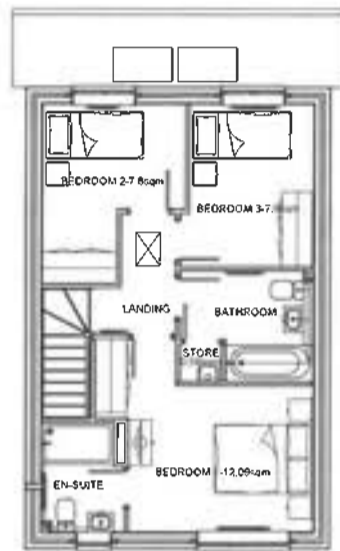
SIDE ELEVATION



REAR ELEVATION



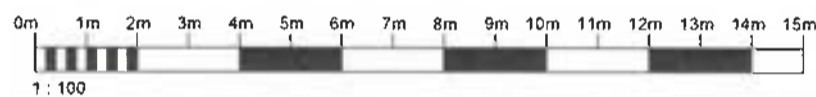
GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION



1 : 100

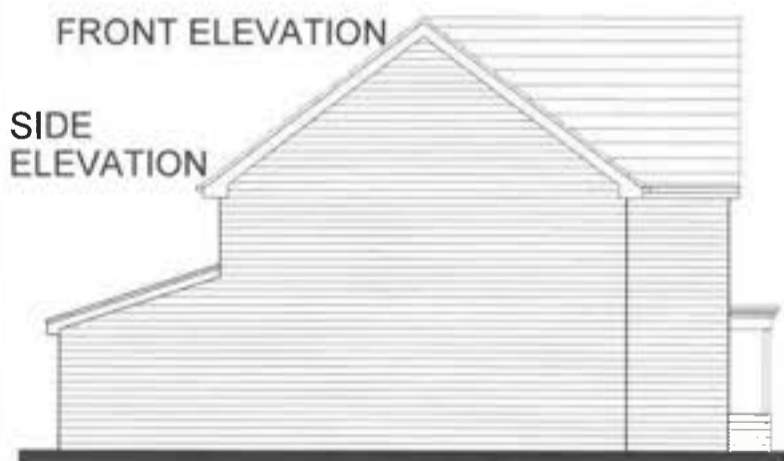
B House type updated to NDS & Part 1642		JSM	21.05.24
A Floor plan updated		JSM	23.11.23
REV		REV	REV
PROJECT		HOLCOMBE MILL, RAMSBOTTOM	
DRAWING TITLE		GAYTON HOUSE TYPE PLANNING DRAWING	
JOB NUMBER		REV	
DRAWING NUMBER		GY-P-01	
DRAWN		JSM OCT-2023	
CHECKED		SCALE 1:100	
		A3	



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



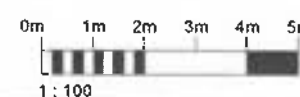
SIDE ELEVATION



GROUND FLOOR

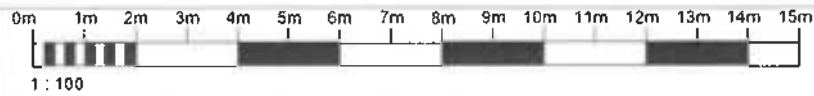


FIRST FLOOR



1 : 100

A House type updated to NDS & Part 1642		JSM	21.05.24
REV		REV	REV
PROJECT		HOLCOMBE MILL, RAMSBOTTOM	
DRAWING TITLE		FORMBY HOUSE TYPE STONE VERSION PLANNING DRAWING	
JOB NUMBER		REV	
DRAWING NUMBER		FMP-01-2	
DRAWN		JSM JAN. 2020	
CHECKED		SCALE 1:100	
		A3	



FRONT ELEVATION



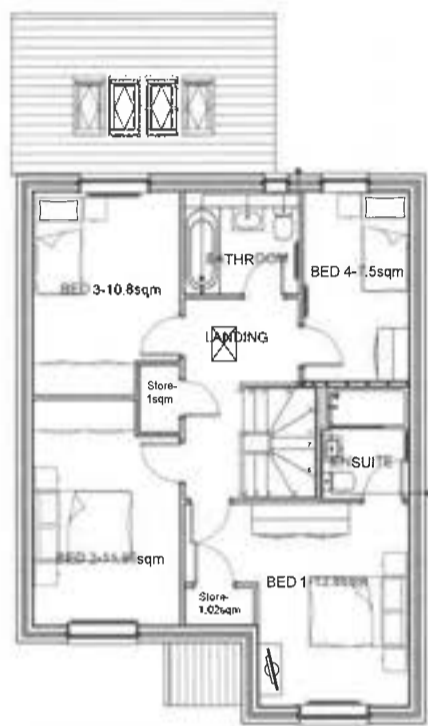
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

A House Type related to HOSS & Part M42 JSM 21.05.24  
HT-P-01-2  
HT

**Eccleston  
HOMES**

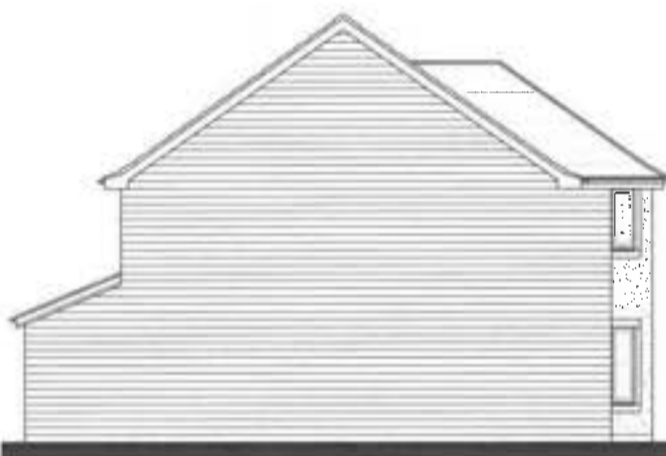
PROJECT  
**HOLCOMBE MILL,  
RAMSBOTTOM**

DRAWING TITLE  
**HARTFORD HOUSE TYPE  
STONE VERSION  
PLANNING DRAWING**

JOB NUMBER		REV
DRAWING NUMBER	HT-P-01-2	A
DRAWN	JSM JAN 2020	SCALE
CHECKED		1:100 A3



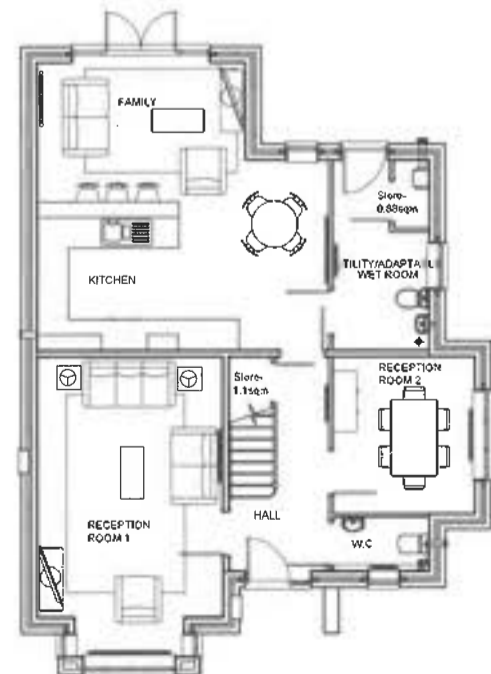
FRONT ELEVATION



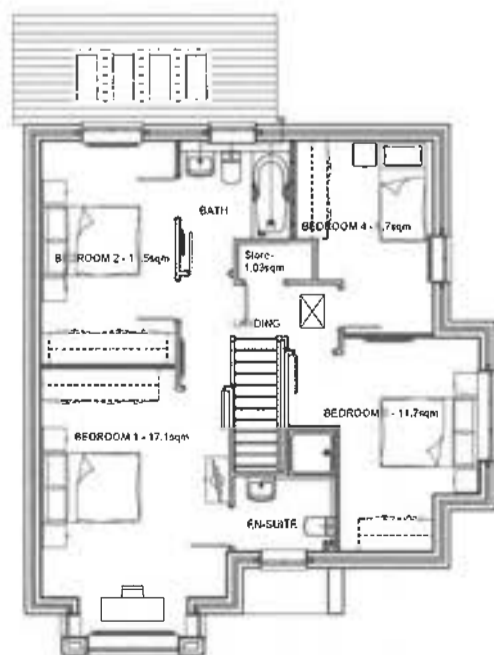
SIDE ELEVATION



SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



REAR ELEVATION



A House Type related to HOSS & Part M42 JSM 21.05.24  
HT-P-01-2  
HT

**Eccleston  
HOMES**

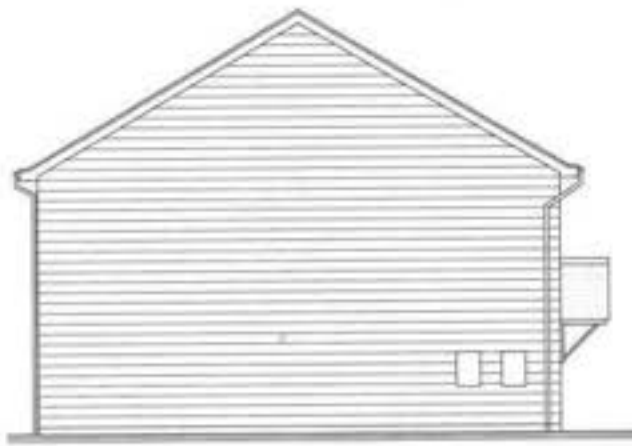
PROJECT  
**HOLCOMBE MILL,  
RAMSBOTTOM**

DRAWING TITLE  
**HAIGH HOUSE TYPE  
STONE VERSION  
PLANNING DRAWING**

JOB NUMBER		REV
DRAWING NUMBER	HA-P-01-1	A
DRAWN	JSM JAN 2020	SCALE
CHECKED		1:100 A3



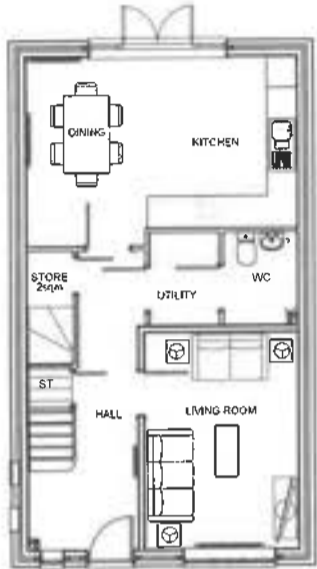
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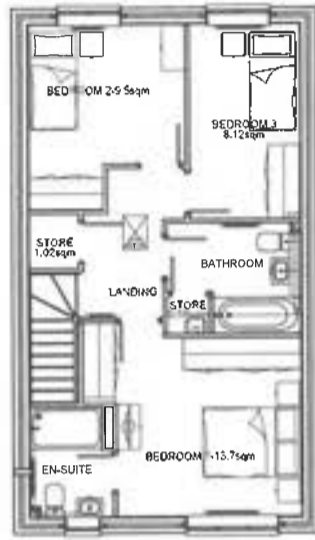
SIDE ELEVATION



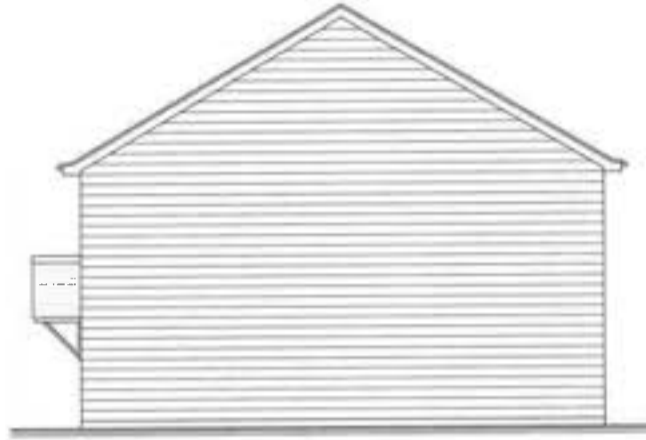
REAR ELEVATION



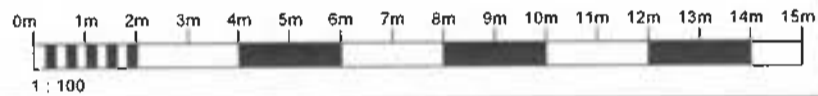
GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION



A House is updated to NDS & Part M4.2. JSM 21.05.24			
Eccleston HOMES			
PROJECT HOLCOMBE MILL, RAMSBOTTOM			
DRAWING TITLE LYTHAM DETACHED HOUSE TYPE PLANNING DRAWING			
JOB NUMBER		REV	
DRAWING NUMBER	LY-P-01-2	A	
DRAWN	JSM	OCT-2023	SCALE
CHECKED			1:100
			A3



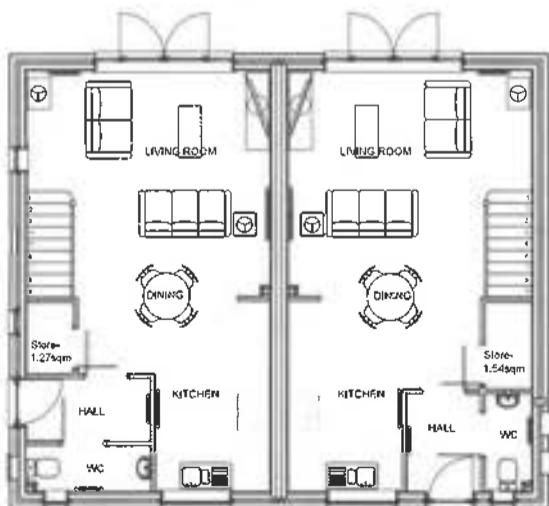
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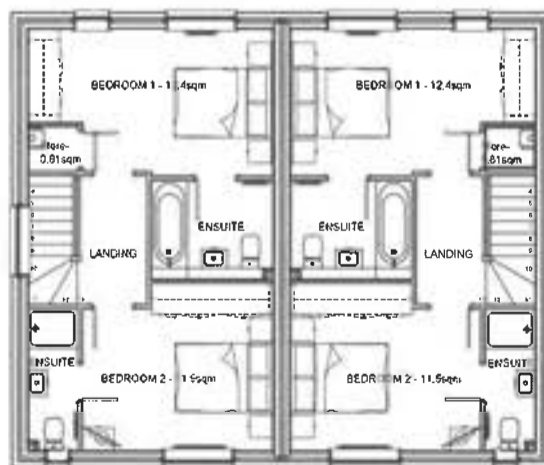
SIDE ELEVATION



REAR ELEVATION



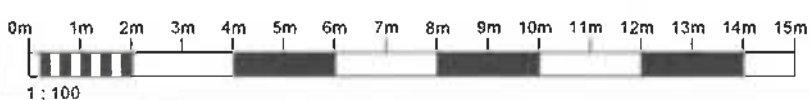
GROUND FLOOR



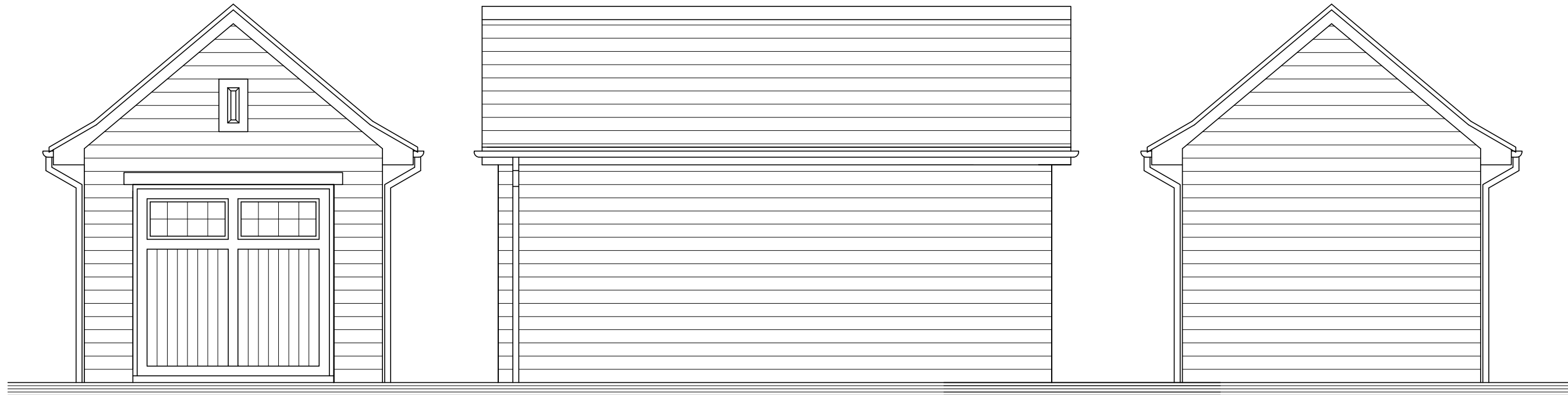
FIRST FLOOR



SIDE ELEVATION



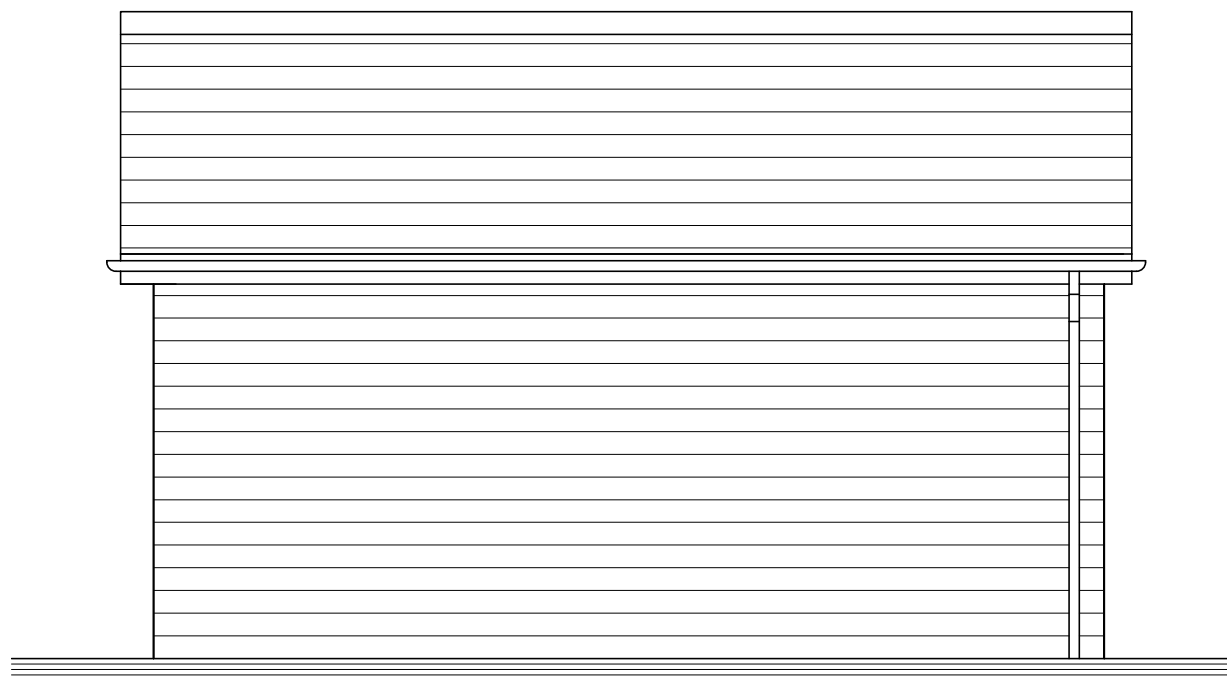
A House is updated to NDS & Part M4.2. JSM 21.05.24			
Eccleston HOMES			
PROJECT HOLCOMBE MILL, RAMSBOTTOM			
DRAWING TITLE LANGHO HOUSE TYPE STONE VERSION PLANNING DRAWING			
JOB NUMBER		REV	
DRAWING NUMBER	LY-P-01	A	
DRAWN	JSM	APR-2021	SCALE
CHECKED			1:100
			A3



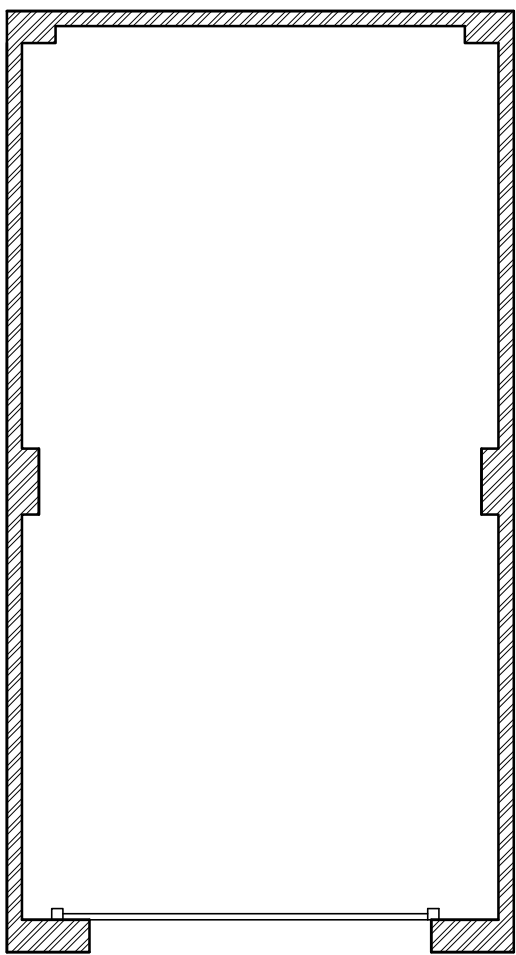
FRONT ELEVATION

SIDE ELEVATION

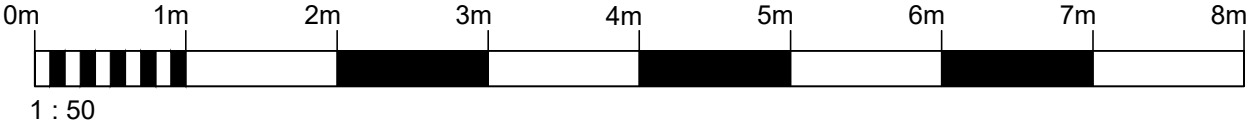
REAR ELEVATION



SIDE ELEVATION



FLOOR PLAN



REV.	DESCRIPTION	INT.	DATE
			
PROJECT			
HOLCOMBE MILL, RAMSBOTTOM			
DRAWING TITLE			
SINGLE GARAGE STONE VERSION PLANNING DRAWING			
JOB NUMBER		-	REV
DRAWING NUMBER		SG-P-01-1	-
DRAWN	JSM	JAN 2020	SCALE
CHECKED	-	-	1:50
			A3

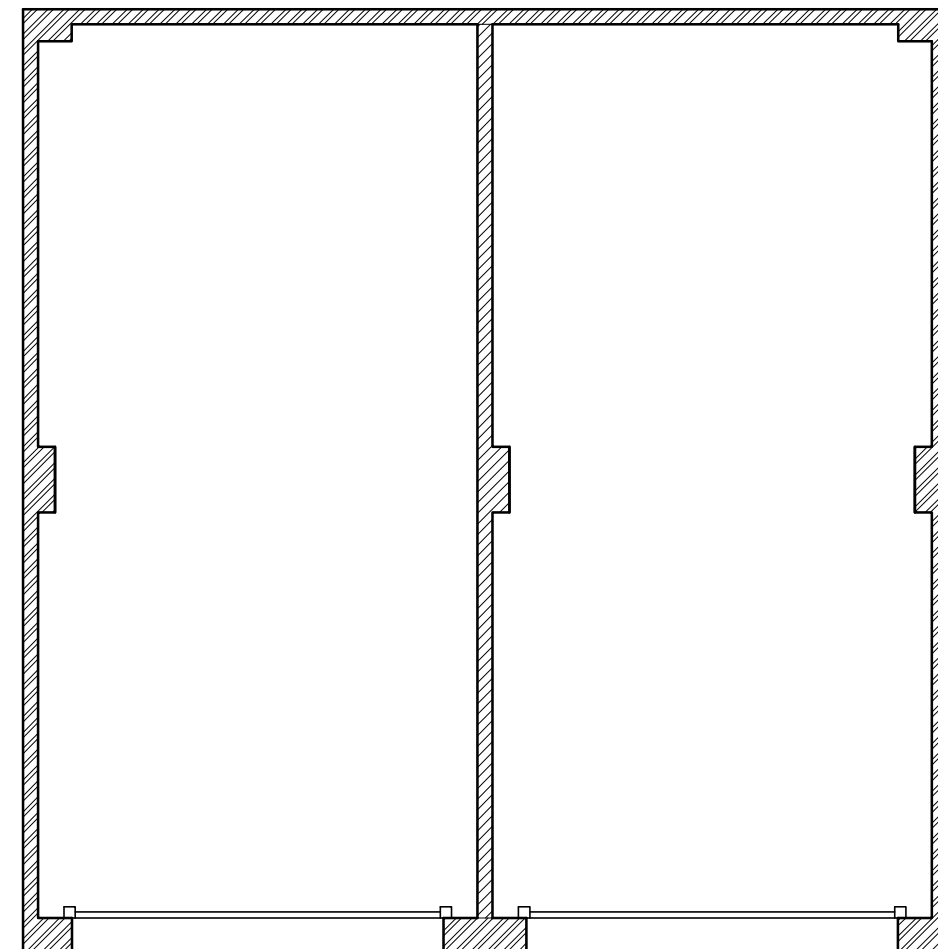
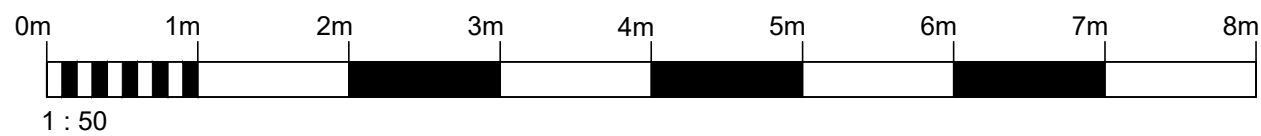


FRONT ELEVATION

SIDE ELEVATIONS



REAR ELEVATION



FLOOR PLAN

REV.	DESCRIPTION	INT.	DATE
			
PROJECT  HOLCOMBE MILL, RAMSBOTTOM			
DRAWING TITLE  TWIN SHARED GARAGE STONE VERSION PLANNING DRAWING			
JOB NUMBER		-	REV
DRAWING NUMBER		TG-P-01-1	-
DRAWN	JSM	JAN 2020	SCALE
CHECKED	-	-	1:50
			A3



PLOTS 8-12



PLOTS 1-7



PLOTS 34-38



PLOTS 44-51

A		ELEVATIONS UPDATED.		JSM	12.06.24
REV.	DESCRIPTION			INT.	DATE
					
PROJECT HOLCOMBE MILL, BRIDGE STREET, RAMSBOTTOM					
DRAWING TITLE STREET SCENES					
JOB NUMBER		-		REV	
DRAWING NUMBER		105-1		A	
DRAWN	JSM	06.11.23	SCALE	A1	
CHECKED	-	-	1:100		

**Ward:** Whitefield + Unsworth - Pilkington Park

**Item** 03

**Applicant:** Mrs Marilyn Chant

**Location:** Land adjacent 4 Holcombe Grove, Radcliffe, Manchester, M26 1SE

**Proposal:** Erection of detached double garage with solar panels

**Application Ref:** 70644/Full

**Target Date:** 11/06/2024

**Recommendation:** Approve with Conditions

### **Description**

The proposal relates to an area of land positioned between private roads serving residential development. The site narrows from north to south and equates to an area of 140 square metres (approx. 14m x 8m (at the mid-point)). To the immediate north of the site is a relatively recently completed detached domestic garage associated with the dwelling to the east on the opposite side of the private drive.

The proposal is for the erection of a double domestic garage that would be 5.4m wide x 5m deep x 4.3m high to the ridge and positioned immediately on the eastern boundary to the private drive (from where it would be accessed). It would have a double garage door on the eastern elevation and accessed from the shared private drive. Elevations would be finished in white render and the roof clad with grey concrete tiles with integrated solar photovoltaic panels to the eastern roof slope.

The site would be enclosed by timber fencing and a low rendered wall. A bird and bat box would be installed upon the garage and landscaping would include a mixed species hedgerow and a Horse Chestnut.

The garage is partially constructed and the boundary timber fencing is erected.

### **Relevant Planning History**

60723 - Demolition of existing buildings and redevelopment including erection of 14 detached dwellings and associated works at land adjacent to 19A New Road, Radcliffe. Approved with conditions - 11 April 2017

62693 - Variation of conditions 2 (approved plans) and 18 (access alterations) of approved application 60723 to amend the approved access to reduce the width of part of the access road at land adjacent to 19A New Road, Radcliffe. Approved with conditions - 20 July 2018

63928 - Non-material amendment following grant of planning permission 62693 for variation of conditions 2 (approved plans) and 18 (access alterations) of approved application 60723 to amend the approved access to reduce the width of part of the access road:  
Amendments to proposed elevation appearance and materials at land adjacent to 19A New Road, Radcliffe. Approved - 22 March 2019

63929 - Substitution of house types to Plots 1 and 8 of approved application 60723 as amended by 62693 at land adjacent to 19A New Road, Radcliffe. Approved with conditions - 1 May 2019

64630 - Non-material amendment following grant of planning permission 62693 for variation of conditions 2 (approved plans - house type B & C) and 18 (access alterations) of approved application 60723 to amend the approved access to reduce the width of part of the access road: Amendment to approved elevations  
Approved - 2 October 2019

64631 - Non-material amendment following grant of planning permission 63929 for substitution of housetypes to plots 1 and 8 of approved application 60723 as amended by 62693 (house type C+ & D): Amendment to approved elevations  
Approved - 2 October 2019

66149 - Non-material amendment following grant of planning permission 63929: The replacement of condition 6 of 63929 with condition 7 of the original permission 62693. Approved 26/11/2020. Associated landscaping condition discharged 01/11/2021.

Adjacent site to the immediate north

66133 - Erection of detached garage. Approved 10/02/2021.

**Publicity**

5 properties directly notified on 16/04/2024  
Site notice posted on 17/04/2024

8 representations have been received objecting to the proposal on the following grounds:

- The development should be completed in brick and black tiles to reflect nearby buildings and would have a negative visual impact.
- Solar panels would be an eyesore.
- The planting scheme is unrealistic. Hedgerows would exceed the height of the fencing and impact on the appearance of the area.
- The site cannot meet surface water drainage requirements/run-off could be hazardous in winter.
- Without planning permission or building regulations approval, the garage is half built and looks unsafe and could impact on surrounding neighbours.
- The plans/information do not accurately reflect the situation on site and do not contain complete dimensions and inconsistent scale.
- The proposed garage doesn't replace any previous building.
- There is concern that the garage would not be used for the stated use (vehicle storage). It should not be used for agricultural or residential purposes.
- The installation of solar panels, due to the distance from the main property is impractical and there are concerns that they would be for alternative uses.
- Another conversion by the applicant remains incomplete and land they own is untouched, which impacts visually and financially (property values) on surrounding neighbours.
- Approval would set a precedent, that neglecting to complete development without planning permission is acceptable.
- To approve a retrospective planning application undermines the integrity of the planning system.

The objectors have been notified of the Planning Control Committee meeting.

**Statutory/Non-Statutory Consultations**

**Traffic Section:** No objection.

## **Pre-start Conditions - Not relevant**

### **Development Plan and Policies**

H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
JP-P1	Sustainable Places
JP-S2	Carbon and Energy
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

## **ASSESSMENT**

### **Principle of the development**

The proposal is for a domestic garage for the storage of vehicles. The site forms a part of a wider area (that was to include the neighbouring garage site to the immediate north) that was indicated as a landscaped area that was to be planted with trees on the approved plans relating to the adjacent residential development of 14 dwellings (under planning permission 62693). Thereafter, a detailed landscaping scheme was approved in relation to the discharge of condition application for condition 1 of subsequent permission 66149. The area subject to the current application (including the neighbouring site at the north) was to be grass.

However, application 66133 approved a detached domestic garage on the northern half of the site that formed a part of the area to be grassed. Given this, the principle of a detached domestic garage is acceptable.

### **Visual amenity**

Objections raise a concern about impacts on visual amenity due to the choice of materials (including solar panels).

The proposed development would comprise the construction of a detached garage of a domestic scale and form on an area of land that is framed by (unadopted) residential streets and flanking dwellings. The site is enclosed by timber fencing that would continue from that enclosing the adjoining site. The garage to the immediate north approved under 66133 has a footprint that is more than double the area of the proposed garage. The new dwellings and garage to the north and west are finished in red brick and grey/black tile. However, to the east of the site the buildings are finished in render and painted white. All the dwellings in the

locality have permitted development rights to install solar photovoltaic panels upon the roof and there is an example to the west of the site within the new residential development.

Given the context of the site, the proposed garage would not have any unacceptable impacts upon visual amenity or the street scene and would therefore be compliant with policies UDP policy EN1/2 and JP-P1 of the PfE.

### **Residential amenity**

The proposed garage would be positioned such that the separation to surrounding dwellings would ensure that surrounding residential amenity is not undermined.

### **Access and highways**

The proposal would be accessed from a private shared drive that also serves a small number of neighbouring dwellings. The Highway Authority have raised no objection to the proposed access arrangements.

Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with UDP policy EN1/2.

### **Landscaping and Biodiversity**

Objections raise a concern in relation to the proposed planting, stating that it would impact on the appearance of the area.

It isn't typical to receive an objection in relation to a proposed soft landscaping scheme. It is noted that vegetation does not constitute development requiring planning permission (meaning that it is within the gift of the land owner to undertake planting without planning permission) and that the site had previously been identified for planting in relation to the neighbouring development for 14no. dwellings.

PfE Policy JP-G8 advises that development will be expected to: Avoid significant harm to biodiversity; Adequately mitigating any harm to biodiversity, then; Adequately compensating for any remaining harm to biodiversity, of no less than 10%.

The Greater Manchester Ecology Unit have confirmed that the proposed planting scheme would result in a biodiversity enhancement of 12%.

### **Other matters**

Concerns have been raised about drainage and the appropriateness of the proposed construction. This is a matter that would be addressed by the Building Regulations.

PfE policy JP-S2 relates to carbon and energy use. The proposal would include measures to generate renewable energy.

### **Response to objectors**

A number of matters raised are not material to the consideration and determination of the application and it is not therefore necessary to address these. Of the remaining matters:

*The plans/information do not accurately reflect the situation on site and do not contain complete dimensions and inconsistent scale.*  
This has been addressed.

*The proposed garage doesn't replace any previous building.*  
This is not a prerequisite for the principle of the proposed development.

*There is concern that the garage would not be used for the stated use (vehicle storage). It*

*should not be used for agricultural or residential purposes.*

The proposal is for domestic purposes as stated in the application. Alternative uses may require planning permission.

*Approval would set a precedent that neglecting to complete development without planning permission is acceptable and would undermine the integrity of the planning system.*

The application would be considered against the relevant policies of the development plan, the individual merits of the proposal and any other material considerations. Section 73A of the Town and Country Planning Act 1990 (as amended) permits the submission and consideration of retrospective planning applications.

## **CONCLUSION**

The above assessment demonstrates that the proposal is acceptable in principle and finds that no unacceptable impacts would pertain.

Given the above, the proposal would be compliant with the above stated development plan policies and the NPPF. Therefore, in accordance with the Section 38(6) of the Planning and Compulsory Purchase Act, the proposal merits approval.

## **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings  
Location Plan and Proposed Floor & Roof Plan (dwg no.00-04A)  
Proposed Elevations and Section (dwg no.00-04B)  
Existing & Proposed Site Plan and photo(dwg no. 00-04D)  
Proposed Site and Block Plan (Dwg No. 00-04E)  
Landscape Elevations (Dwg No. 00-04G2)  
and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external materials used in the construction of the development, including the position and finish of the boundary fence hereby approved shall be as detailed in the submitted plans and supporting details.  
Reason. In the interests of visual amenity and to ensure a satisfactory

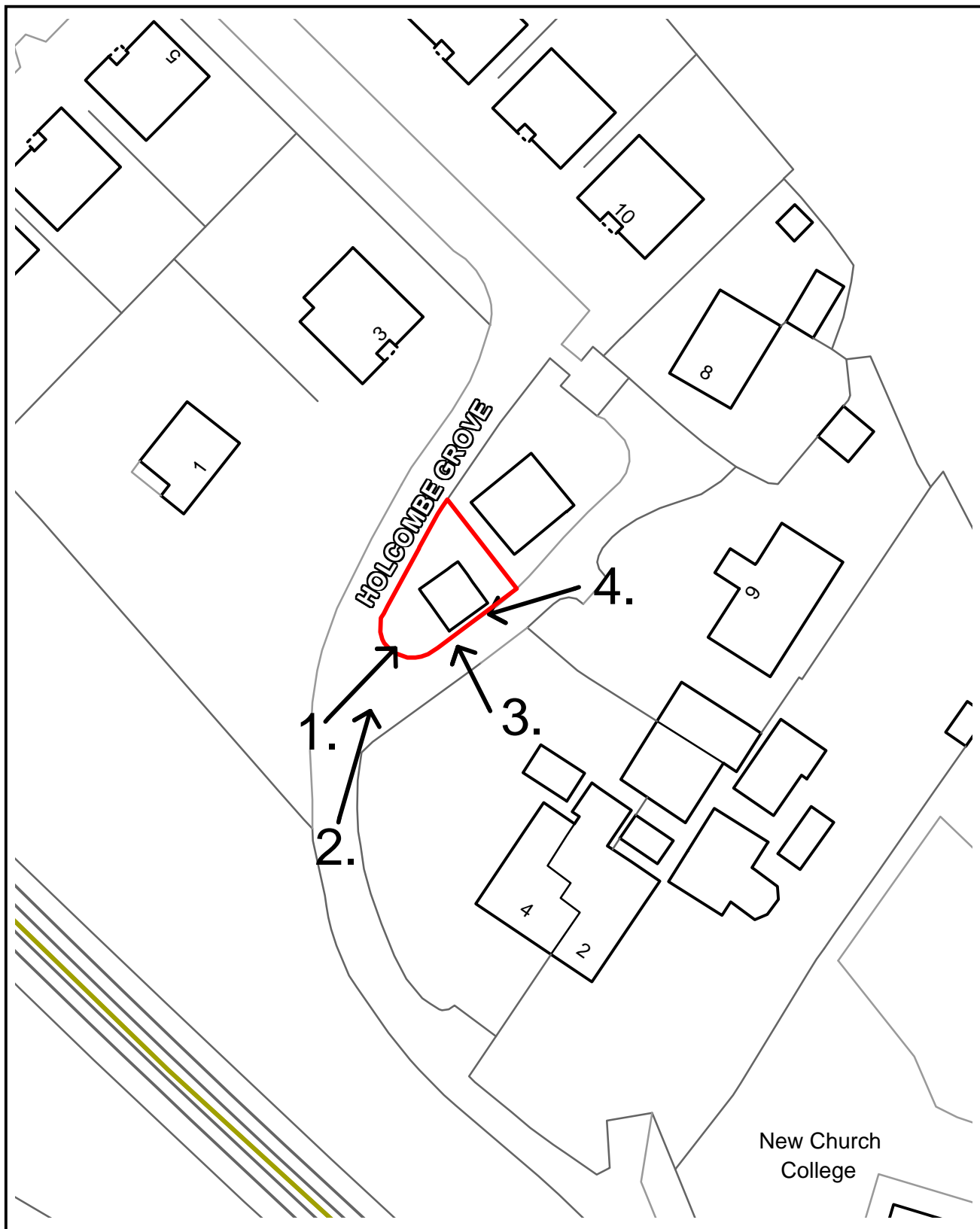
development pursuant to Policy EN1/2 of Bury Unitary Development Plan.

4. The landscaping scheme hereby approved shall be implemented not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan..

For further information on the application please contact **Dean Clapworthy** on **0161 253 5317**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

APP. NO 70644

ADDRESS: Land adjacent 4 Holcombe Grove,  
Radcliffe, Manchester, M26 1SE

Planning, Environmental and Regulatory Services

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**Bury**  
Council

**70644**

Photo 1 - Site from the south



Photo 2 - Zoom out



70644

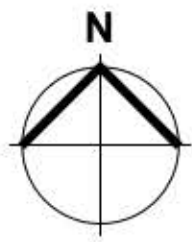
Photo 3 - East elevation from private drive



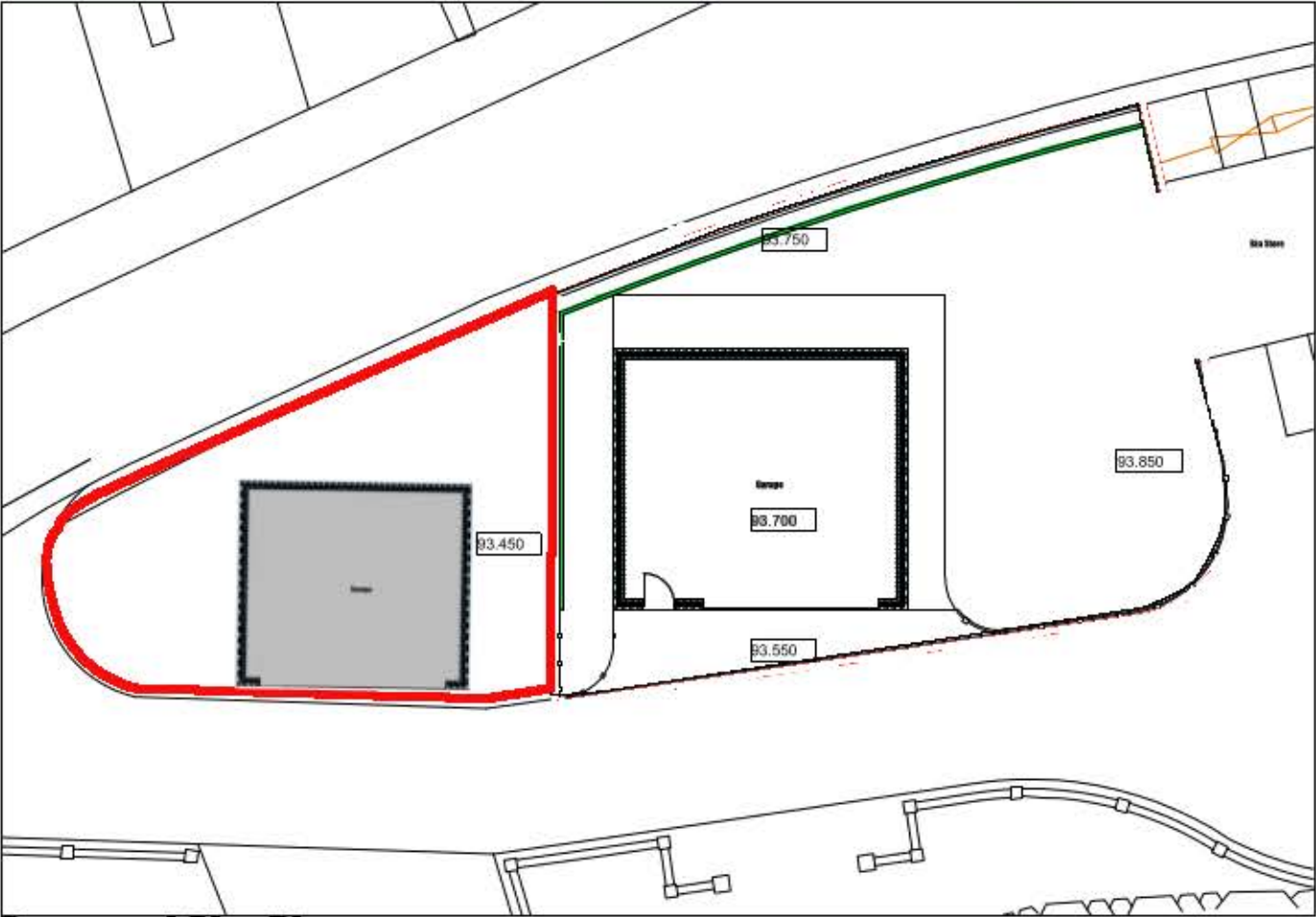
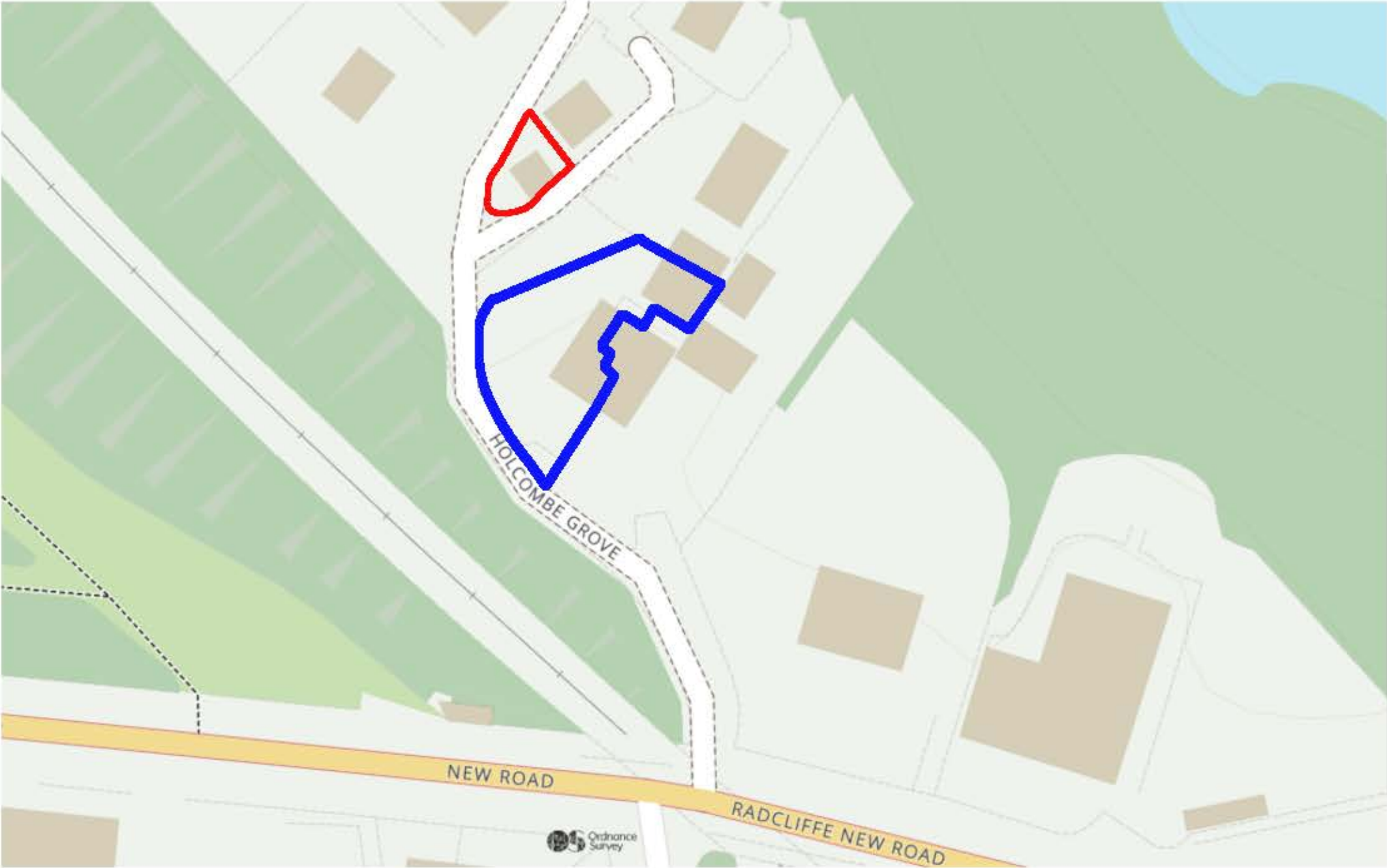
Photo 4 – Looking south-west



# Block Plan



Block plan OS Co-ordinates lat=53.557477 lon=-2.315225



Proposed Site Plan  
Scale 1:200

This drawing should not be scaled. Work to figured dimensions only.  
All dimensions and levels to be checked on site.

## NMX TECHNOLOGY

JOB TITLE :	Detached Garage
ADDRESS :	New Road, Radcliffe
DRAWING TITLE :	Block Plan
SCALE :	As Noted @ A3
DRAWN : xxx	DATE 11/03/24

JOB NO./	00-04E
DWG NO.	

Materials

- Brickwork

Roof Tiles

Doors

Soffit

Fascia

Rainwater Goods
- BLOCK & RENDER to match existing (white) Stone supporting walls

Grey to match existing / intergrated solar P.V panels

White Upvc Obscure Glazed

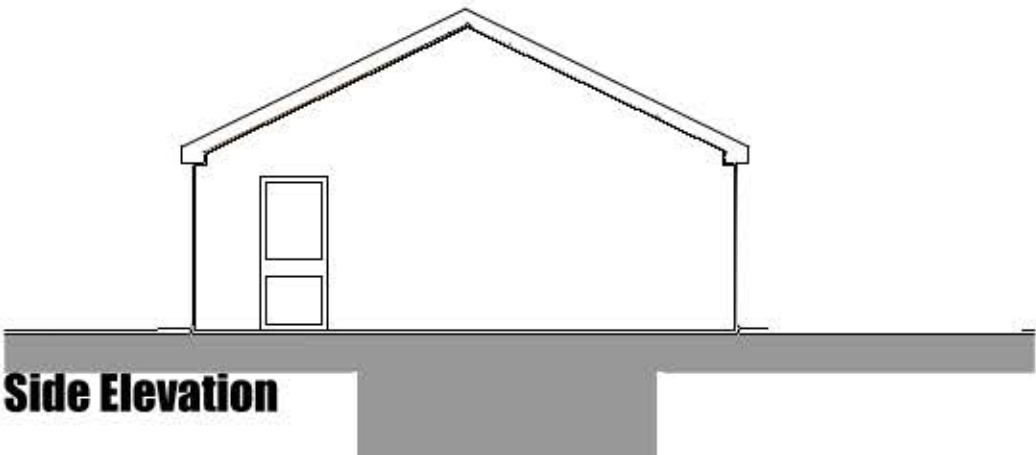
White Upvc

White Upvc

BLACK Upvc Water butt rain collection (Green)



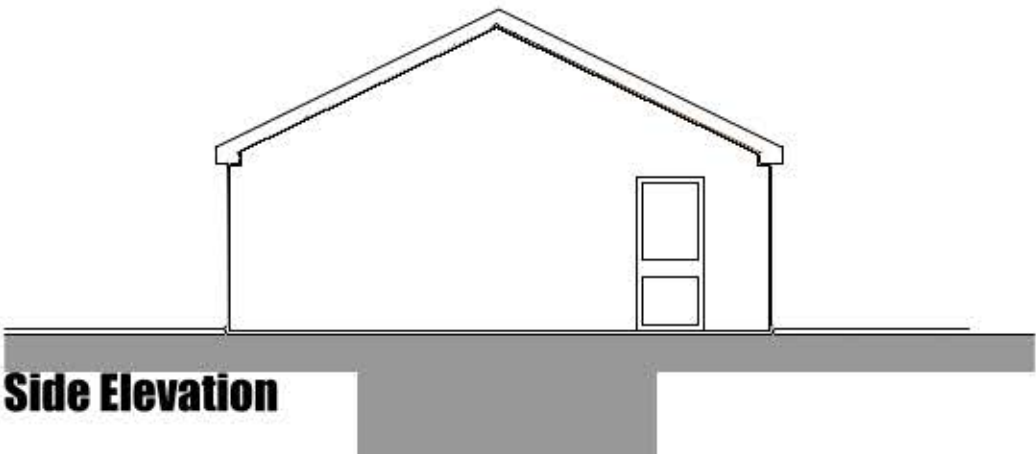
Front Elevation / Street Scene



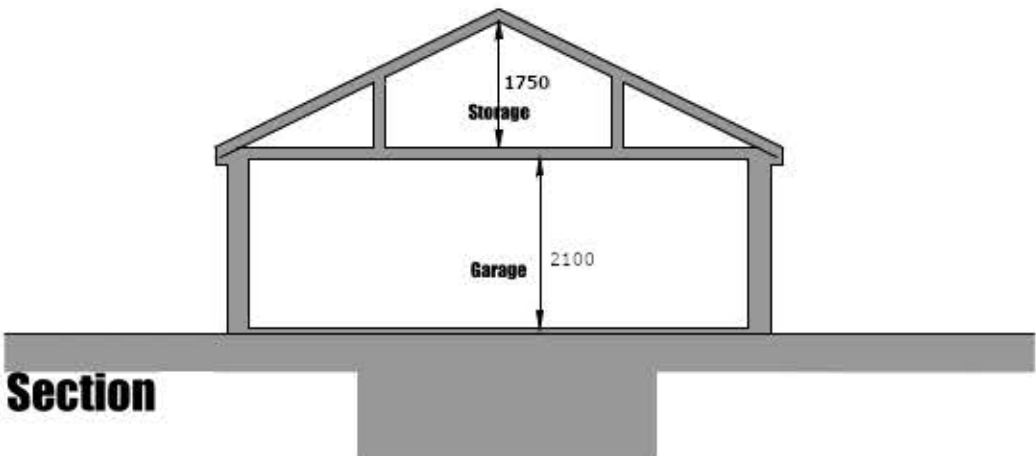
Side Elevation



Rear Elevation



Side Elevation



Section

This drawing should not be scaled. Work to figured dimensions only.  
All dimensions and levels to be checked on site.

NMX TECHNOLOGY

JOB TITLE :

ADDRESS :4 Holcombe Grove/21 New Road, Radcliffe

DRAWING TITLE :

SCALE :

DRAWN : MC

Detached Garage

Proposed Elevations

1:100 @ A3

DATE :11/03/24

JOB NO./

DWG NO.

00-04B

**Ward:** Radcliffe - East

**Item** 04

**Applicant:** Bury Council

**Location:** Radcliffe Public Library, Stand Lane, Radcliffe, Manchester, M26 1WR

**Proposal:** Change of use of existing library (Use Class F1) to Enterprise Centre (offices/workspace) (Use Class E(g)(i)) by internally remodelling the building

**Application Ref:** 70578/Full

**Target Date:** 19/06/2024

**Recommendation:** Approve with Conditions

**This application has been referred to Planning Control Committee as it is subject to an objection and the Council owns the site.**

### **Description**

The proposal relates to the existing Radcliffe public library on Stand Lane, which is identified as a non-designated heritage asset. There is a 23 space public car park immediately south of the library, which includes two accessible spaces and secure cycle storage.

The proposal is for a change of use of existing library (Use Class F1) to Enterprise Centre (offices/workspace) (Use Class E(g)(i)) by internally remodelling the building. This would include around 14 rooms for public use of various sizes to provide small offices (for 4-6 people), hotdesking areas and larger meeting rooms for larger gatherings, supported by welfare facilities.

Externally, a metal balustrade (providing protection for access and maintenance) and mechanical ventilation units would be provided upon the single storey flat roof element and louvres would be inserted within some windows and walls.

The public car park to the south would be re-surfaced and relined, maintaining the present level of parking with accessible spaces.

Upon closing, the library would be relocated to the new Radcliffe Hub (69388), which is presently under construction. In the intervening period, library services would be either relocated to the first floor of the building or alternative premises within Radcliffe town centre.

### **Relevant Planning History**

68784 - Siting of portacabin with access ramp for use as dance studio for a temporary period of 18 months. Withdrawn by Applicant 20/10/2022

69434 - Provision of roof access ladder to higher pitched first floor section from the lower ground floor flat roof together with connection gantry from the front to rear elevation and safety railings to the low parapet pitched first floor roof walls for maintenance and inspection purposes. Withdrawn by Applicant 24/05/2023

### **Publicity**

Direct neighbour notification letters sent 25/04/2024 to 48 properties.

3 representations have been received, which have raised the following issues:

- Object to the proposal and raise concerns about closure of the library before the hub is opened (where the new library would be accommodated) and continuing public access to books in Radcliffe
- The trees to the front are not self seeded but were planted after the extension was completed in 1963/64.
- I am concerned that to rehouse the library service in temporary accommodation is unfair to both the staff and library users.
- Radcliffe residents have had to accept similar proposals with the baths and 2 senior schools which to date have never been replaced, this is one 'temporary' move too many.
- Surely the enterprise centre should be housed in temporary accommodation until such a time as the hub is ready.

The objectors have been notified of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

**Traffic Section** : No objection, subject to condition relating to the surfacing and demarcation of the car park.

**Waste Management** : No comments received.

**Conservation Officer** : No objection.

**Environmental Health - Pollution Control** : No comments to make.

**Pre-start Conditions** - Agent has agreed with pre-start conditions

### **Development Plan and Policies**

CF1/1	Location of New Community Facilities
EC5/2	Other Centres and Preferred Office Locations
EN1/2	Townscape and Built Design
HT2/4	Car Parking and New Development
SPD11	Parking Standards in Bury
JP-S2	Carbon and Energy
JP-J3	Office Development
JP-S5	Clean Air
JP-P1	Sustainable Places
JP-P2	Heritage
JP-C2	Digital Connectivity
JP-C6	Walking and Cycling
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a

particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

## **ASSESSMENT**

### **Principle of development**

The proposal is for the substitution of one community facility for another, therefore the principle of the development is established and acceptable.

### **Impact on visual amenity and the historic environment**

UDP Policy EN1/2 states that favourable consideration will be given to proposals which do not have an unacceptable adverse effect on the particular character and townscape of settlements. Similarly, PfE policies JP-P1 and JP-P2 requires that wherever appropriate, development should conserve or enhance the historic environment and respects the character and identity of the locality. The NPPF requires the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

The proposed physical alterations relate principally to the internal arrangements and external alterations would be limited to a slender metal balustrade that would be set back from the roof edge and small-scale louvres. These alterations would have a negligible impact on the character and appearance of the host building and the wider street scene and would be likely to be imperceptable to the casual observer.

### **Impact on amenity**

UDP policy EN1/2 requires consideration of the relationship of the proposal to the surrounding area.

The proposal would substitute one community use with another and the nature of the activities within the host building would not be materially different and would not therefore have any additional unacceptably adverse impact on nearest neighbouring amenity.

### **Access, parking and highway safety**

UDP policy HT2/4 requires development to make adequate provision for their car parking and servicing requirements and policy HT6/1 states that the Council will seek to ensure that proposals recognise the needs of pedestrians and cyclists. PfE Policy JP-C6 supports a range of measures to help deliver a higher proportion of journeys made by walking and cycling by increasing the capacity and quality of walking and cycling infrastructure.

The immediately adjacent car park is not a dedicated facility for the library building and serves the wider town centre area. The proposed use of the building as an enterprise centre has a lower parking standard than the present use as a library (1 space per 35 sq.m. as opposed to 1 space per 30 sq.m.).

The Highway Authority is supportive of the proposal and recognises the wider benefit to the town centre of the refurbishment of the adjacent car park.

Given that the proposed community use has a lower maximum parking standard than the existing library would be required to deliver (as ascribed by SPD 11) and that it would continue to serve the wider town centre (as opposed to being dedicated to the library), it would not be justified to require electric vehicle charging facilities. However, given that the car park is included in the red edged site and that it is proposed to be resurfaced and relined in association with the proposal (although it would not be dedicated to the library

building and would continue to be available as part of the overall town centre parking offer) then it would be appropriate to attach a related condition (Condition 4).

However, the existing cycle storage facility would be relocated, and details of this should be secured by condition.

### **PfE requirements**

#### Digital connectivity

The purpose of the proposal is to provide contemporary, flexible and adaptable community work/meeting spaces that would be fully connected to the digital network.

#### Carbon and Energy

The proposal does not trigger the relevant part of Regulation L1 - Conservation of Fuel and Power of the Building Regulations to require the thermal upgrade of external building fabric.

### **Representation**

NPPF paragraph 97 states that decisions should guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community's ability to meet its day-to-day needs. Library services would continue to serve Radcliffe in the interim period and thereafter within the new Radcliffe Hub.

### **CONCLUSION**

The development has been assessed as not having any unacceptable impacts upon visual amenity, general amenity or highway safety and would deliver a contemporary flexible community enterprise centre for the benefit of all users.

Given the above, the proposal would be compliant with the above stated UDP policies and the NPPF. Therefore, in accordance with the Section 38(6) of the Planning and Compulsory Purchase Act, the proposal merits approval.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings  
Existing Site Plan (Dwg No. REC-RYD-ZZ-00-DR-A-0400 P4)  
Proposed Site Plan (Dwg No. REC-RYD-ZZ-00-DR-A-0406 P4)  
Proposed GA Plans (REC-RYD-ZZ-01-DR-A-3005 P3)  
Proposed GA Elevations (REC-RYD-00-ZZ-DR-A-3601 P3)  
and the development shall not be carried out except in accordance with the

drawings hereby approved.

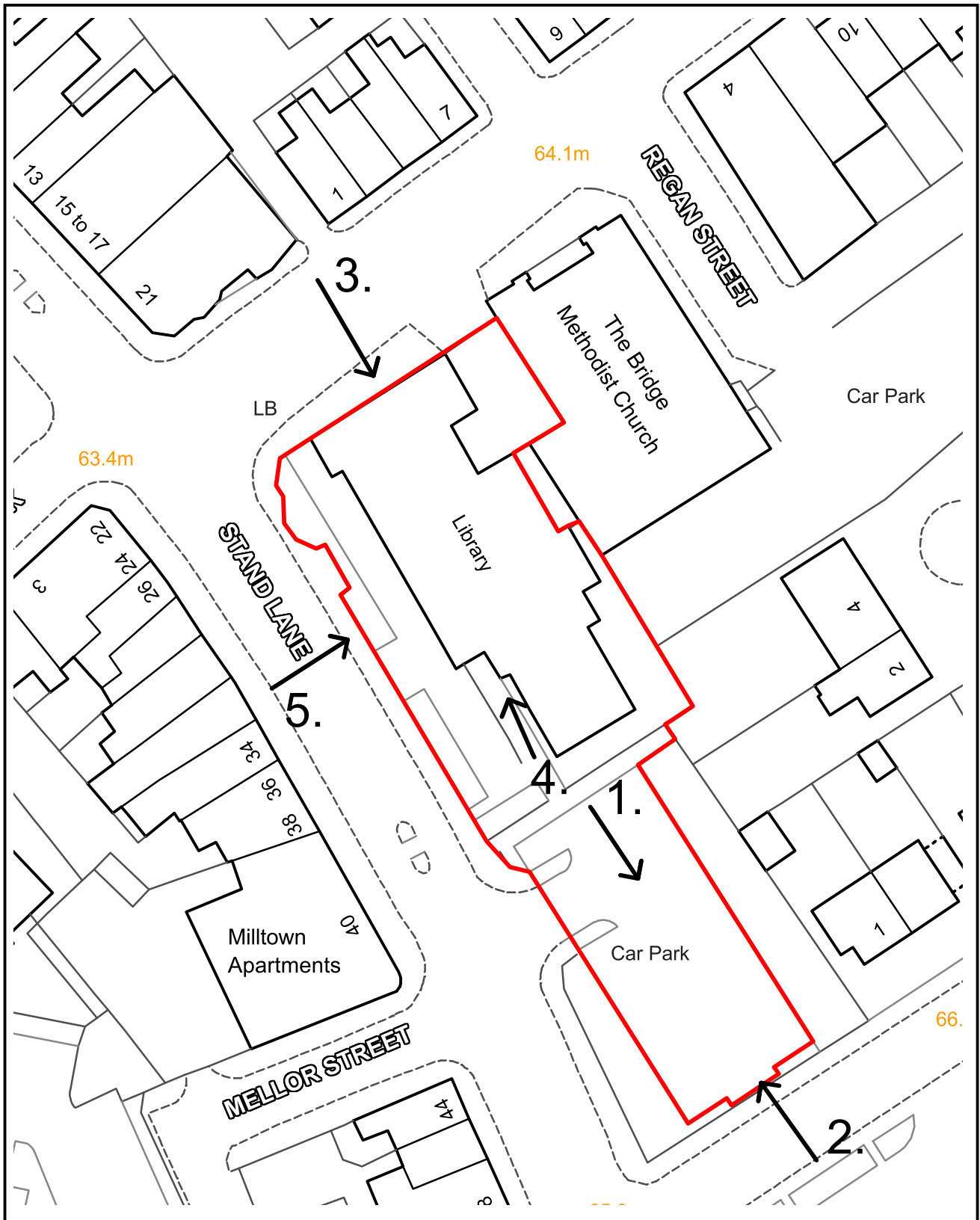
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. The external materials used in the construction of the development hereby approved shall be as detailed in the submitted details.  
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 of Bury Unitary Development Plan and Policy JP-P1 of the Places for Everyone Joint Development Plan Document.
4. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for parking prior to the use hereby approved commencing and thereafter maintained at all times.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
5. The use of the building hereby approved shall not commence until a scheme for the provision of secure cycle parking has been implemented in accordance with details which shall have previously been submitted to and approved in writing by the local planning authority. The approved facility shall remain available for users of the development thereafter.  
Reason. As full details have not been submitted and to secure satisfactory cycle facilities on site pursuant to Bury Unitary Development policy HT6/1 and Places for Everyone Joint Development Plan Document policy JP-C6.

For further information on the application please contact **Dean Clapworthy** on **0161 253 5317**



# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 70578**

**ADDRESS:** Radcliffe Public Library, Stand Lane,  
Radcliffe, Manchester, M26 1WR

**Planning, Environmental and Regulatory Services**

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**Bury**  
Council

70578

Photo 1 : Across the car park looking south-east (towards Irwell Street)



Photo 2: Across car park from Irwell Street



70578

Photo 3: North elevation of site



Photo 4: Across the building frontage from the south



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Photo 5: Front elevation of the building from the south



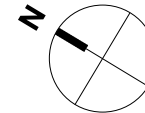
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- Areas of work
- Areas of car park (550 sqm)
- 2 disabled Parking spaces
- 20 Parking spaces
- Bin Store



P4	Updated for Planning	MMO	DFO	15/04/24
P3	Stage 3 Package	MMO	DFO	22/03/24
P2	Issued for Planning	MMO	DFO	23/02/24
P1	First Issue	MMO	DFO	12/01/24

Rev	Description	Drawn	Checked	Date
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Suitability  
WIP

Project

Bury Council  
Radcliffe Enterprise Centre  
Bury

Drawing

Existing Site Plan 1-1250

Drawing Number	Project ID	Origin	Zone	Level	Type	Role	Number
REC	-RYD-	ZZ	-00	-DR	-A	-0400	
Project Number	Scale at A3	Status	Revision				
11348:00	As	S2	P4				

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Ryder

1 Existing Site Plan

1 : 1250



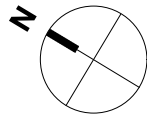
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P4	Updated for Planning	MMO	DFO	15/04/24
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P1	First Issue	MMO	DFO	12/01/24

Rev	Description	Drawn	Checked	Date
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Suitability  
WIP

**Project**  
Bury Council  
Radcliffe Enterprise Centre  
Bury

**Drawing**  
Proposed Site Plan 1-500

Drawing Number	Project ID	Origin	Zone	Level	Type	Role	Number
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Project Number	Scale at A3	Status	Revision				
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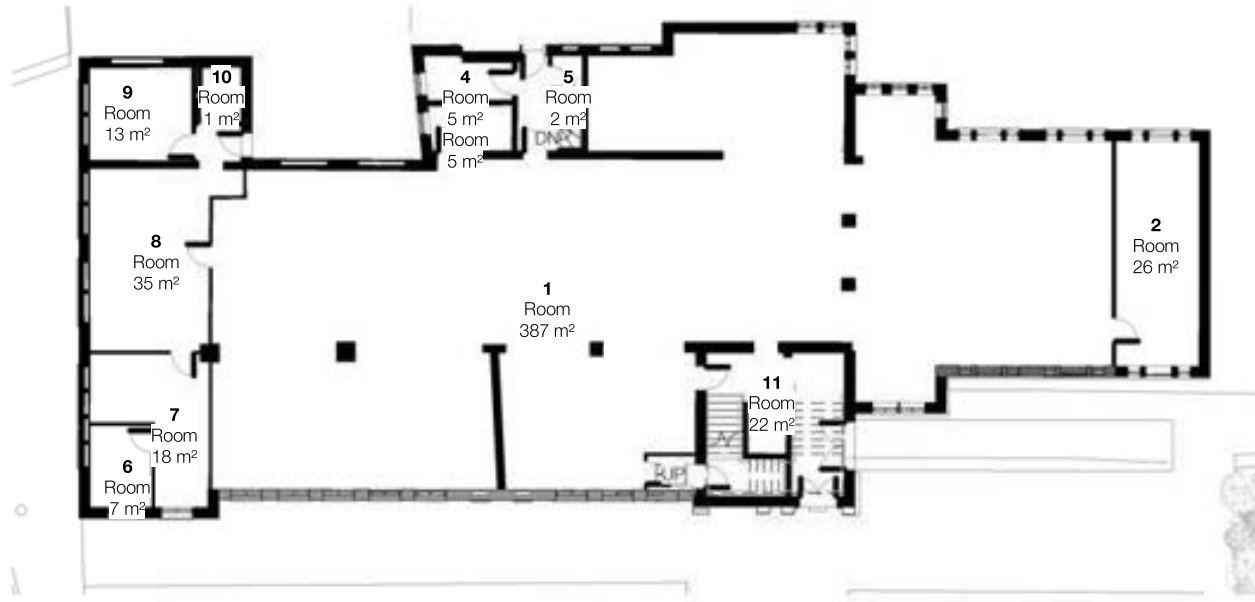
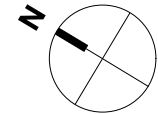
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1 Existing GF Plan

1 : 200



2 Existing FF Plan

1 : 200

P3 Revised following initial planning comments MMO DFO 14/03/24

P2 Issued for Planning MMO DFO 23/02/24

P1 First Issue MMO DFO 12/01/24

Rev	Description	Drawn	Checked	Date
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Suitability

Work in Progress

Project

Bury Council

Radcliffe Enterprise Centre

Bury

Drawing

Existing GA Plans

Drawing Number

Project ID Origin Zone Level Type Role Number

REC - RYD-00 - ZZ - DR - A -0407

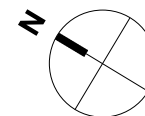
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1 Proposed GA - Ground Floor

1 : 200



2 Proposed GA - First Floor

1 : 200

P3 Revised following initial planning comments MMO DFO 14/03/24

P2 Issued for Planning MMO DFO 23/02/24

P1 First Issue MMO DFO 12/01/24

Rev	Description	Drawn	Checked	Date
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Suitability

WIP

Project

Bury Council

Radcliffe Enterprise Centre

Bury

Drawing

Proposed GA Plans

Drawing Number

Project ID Origin Zone Level Type Role Number

REC -RYD-ZZ -01 -DR -A -3005

Project Number Scale at A3 Status Revision

11348:00 1 : 200 S2 P3

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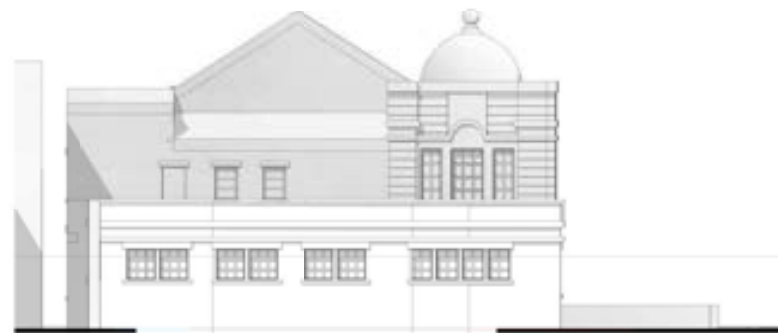
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1 : 100



4 Elevation BB - Existing

1 : 100



3 Elevation DD - Existing

1 : 100



5 Elevation CC - Existing

1 : 100

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Scale Bar (m)  
0 1 2 4 8



1 Key Plan

1 : 500

P2 Issued for Planning MMJ DPO 23/02/24

P1 First Issue MMJ DPO 12/01/21

Rev	Description	Drawn	Checked	Date
1	Work in Progress			

Suitability

Project

Bury Council

Radcliffe Enterprise Centre

Bury

Drawing

Existing GA Elevations

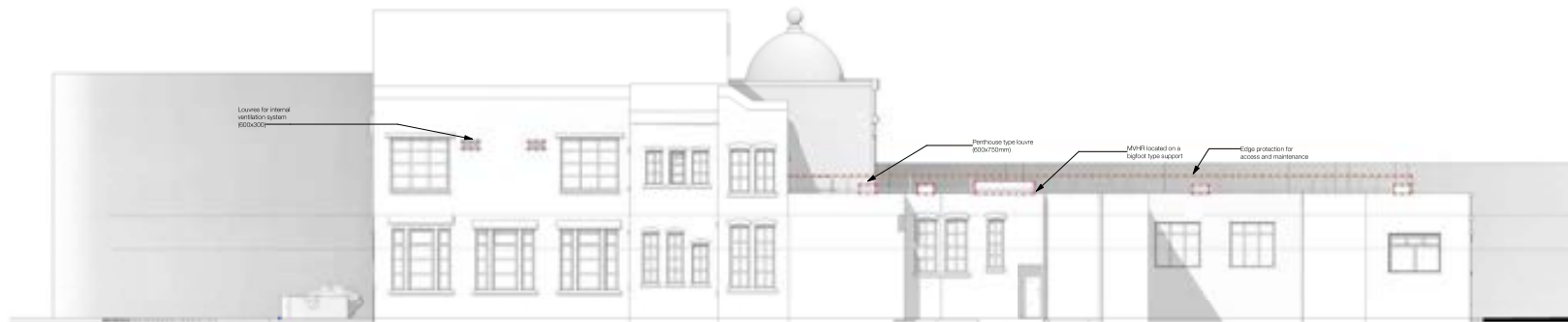
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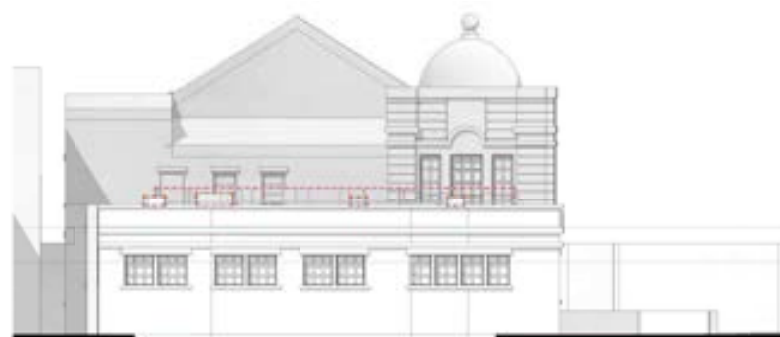
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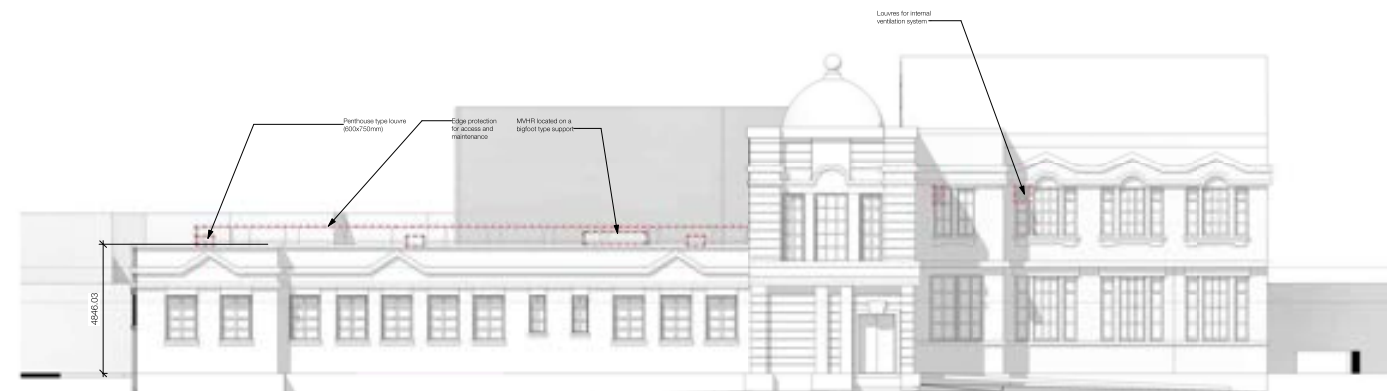
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3 Elevation DD - Proposed  
1 : 100



4 Elevation BB Proposed  
1 : 100



5 Elevation CC - Proposed  
1 : 100

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Scale Bar (m)  
0 1 2 4 8

Areas of work

PD	Revised following initial planning comments	MMO	DRD	14/03/24
PD	Issued for planning	MMO	DRD	23/02/24
PD	First issue	MMO	DRD	12/01/24
Rev	Description	Drawn	Checked	Date
Suitability				
Work in Progress				
Project				
Bury Council				
Radcliffe Enterprise Centre				
Bury				
Drawing				
Proposed GA Elevations				

Drawing Number	Originator	Zone	Level	Type	Role	Number
REC	- RYD	- 00	- ZZ	- DR	- A	- 3601
Project Number	Scale at A1	Status	Revision			
11348-00	As indicated	S2	P3			