

Ward: Bury West

Item 01

Applicant: Sycamore Church of England Trust

Location: St Stephens C Of E Primary School, Colville Drive, Bury, BL8 2DX

Proposal: Erection of new 2.4m high boundary fencing and access gates

Application Ref: 71738/Full

Target Date: 18/07/2025

Recommendation: Approve with Conditions

Description

The application relates to a primary school which is located within an established residential area. The school is accessed via a short road from Colville Drive between Nos 12 and 14 which leads to the car park and the school buildings located in the southern part of the site with the school playing fields beyond to the north, east and west.

A linear piece of land at the school site along the north western boundary is part of the Barracks Lodge Site of Biological Importance (SBI) and a wooded area and the school playing fields are a Protected Species Site for Great Crested Newts (gcn)

The application is for the erection of new 2.4m high boundary fencing, new internal 1.8m high fence and new 2.4m high access gates to replace the existing at the school entrance.

The new 2.4m high fence would be a weldmesh type and would run from the boundary with the rear of No 22 Colville Drive westwards along the rear of houses up to No 45 Newington Drive. It would be off-set from the boundary with these neighbours by 1.5m.

The fence would then be directed eastwards into the school site to follow the boundary line of the wooded area (the existing fence along this boundary would be removed) whereon it would continue northwards along the line of the woods to the top end of the school playing fields.

A single gate from the playing fields to the woods would provide an access for children and staff.

The proposed 1.8m high fence would be erected internally to demarcate a safe pedestrian access from the site access to the entrance to the main school building which is permitted development.

New 2.4m high vehicular and pedestrian gates would be located at the site entrance to the car park.

Relevant Planning History

48200 - Single storey building and associated works for childcare services; extension to playground; additional parking provision - Approve with Conditions 22/08/2007

54309 - Installation of 2.4m high paladin fencing/gates & 4m high ball stop fencing (resubmission)

- Approve with Conditions 28/09/2011

55188 - Installation of 2.45m high paladin fencing with single access gate. - Approve with Conditions 11/06/2012

63084 - Two storey extension at rear - Approve with Conditions 18/09/2018

Publicity

Letters sent on 23/5/2025 to 59 properties

5 objections received with the following comments -

- The high security CLD Rotop Rigid fencing will present us with a severe, imposing, prison-like appearance along our boundary wall.
- There is no explanation of the 'high' safeguarding issues which require 2.4m fencing.
- There are schools in the local area with much lower fencing on the roadside.
- The installation of the fencing 1.5m from the boundary will require removal of many mature/young trees and vegetation that has grown, unmanaged, up to and along the boundary fencing from No 45 - 35 Newington Drive.
- I would also like to point out that on quite a lot of property boundaries, on the School side, very high trees are growing. The 70 foot high trees would be more of a serious safety issue for the children and residents rather than most of the points raised as immediate high risk safety in that document.
- Ambiguity of the application with reference to the different fencing types proposed
- The Condition report states the area is deprived and has a high rate of crime which is news to residents who consider it safe.
- There is no evidence to show there is SEND provision on the site.
- There should be no safety concerns and no need for a fence where the playing fields back onto the residents houses.
- We are one community and no one is out to harm anyone in our neighbourhood.
- The high fence would cause a visual block and take away part of the residents views.
- Trees planted along the SBI site have already created a block to resident's views into the field.
- Draw attention to the fact the site is an SBI and area of protected species for great crested newts and the Common Toad which is not in the application and it should not have been made valid without additional information.
- the application should be subject to BNG.
- There is no mention of what measures are going to be put in place for this work to be completed directly in the SBI.
- Our deeds state we cannot erect a fence higher than the boundary fence currently installed, yet the proposed fence will be considerably higher than the current one.
- We have previously approached the school regarding the management of the trees and vegetation within the SBI. We were told by the school the trees had nothing to do with them as the trees in question were within the SBI and therefore protected.
- Currently, the school does not maintain the grounds to a safe standard.

Revised plans received to re-position part of the fence to run internally within the school grounds and new fencing details.

Neighbours re-notified by letter on 23/6/25.

One comment received.

- Why is there now a proposed 4 metre gate access directly opposite the SBI corridor? This would raise concern that such a big access point will consistently be used as a thoroughfare area by people/ vehicles etc for access to the gated school area, and therefore trampling all over the wildlife corridor to get to the gates, causing erosion to the land and damage to wildlife of the SBI corridor, which is graded A scientific importance. It could not have been positioned in a worse place? An ecologist should be asked on their opinion on this position, as there is no space between the gates and the corridor to the SBI.
- Where is the ecologist report specifically in relation to the great crested newts and how the works taking place so close by will affect them?

Those who have made representations have been informed of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objection

Pre-start Conditions - Not relevant

Development Plan and Policies

NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
CF1/1	Location of New Community Facilities
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
EN1/5	Crime Prevention
EN6/1	Sites of Nature Conservation Interest SSSI's NNR's
EN6/3	Features of Ecological Value
JP-C2	Digital Connectivity
JP-S2	Carbon and Energy
JP-P5	Education, Skills and Knowledge
JP-G7	Trees and Woodland
JP-G8	A Net Enhancement of Biodiversity and Geodiversity

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle

The proposed fencing would address the identified shortfall for compliance with the required safeguarding standards for the safety and the security of the children and the school.

A Condition Report has been submitted which identifies that the existing perimeter fencing and gates are in poor condition, not fit for purpose and do not meet the minimum security requirements for schools.

The proposed development is therefore required to provide safeguarding of the children, staff and visitors to the school and the report concludes that urgent action is required.

It is therefore considered that in principle the proposed development would be acceptable and comply with EN1/2, CF1/1 and JP- P5.

Siting and impacts on the area

Impacts on neighbours

Part of the 2.4m high mesh fence would be located along the boundary of No 22 Colville

Drive to No 45 Newington Drive. The fence would be off-set from the neighbours properties by 1.5m. A gate within this length of fence would be provided to access the intervening land for maintenance purposes.

From No 45 Newington Drive, the fence would continue eastwards into the school grounds and away from these houses, following the southern and eastern boundaries of the wooded area before proceeding northwards to the top of the school playing fields.

The proposed fence would therefore not affect land or trees associated with the adjacent residential properties.

Impacts on SBI

In terms of the siting and ecological impacts, the fence would not be erected around or on any part of the SBI and the fence would not affect or impact this area.

Impacts on the wooded area

An Arboricultural Report has been submitted to assess the position of the fence in relation to the wooded area within the school grounds.

The Report determines that some pruning works would be required and one tree, identified as a dead Aspen advised to be removed but this would be required not to facilitate the development.

The existing fence along the southern edge of the wooded area would be removed and replaced by the new 2.4m high fence. As the fence would be located close to the trees along the boundary of the woods, the Report advises that it be installed using hand tools and under the supervision of an arboriculturalist. This can be conditioned.

Impacts on Protected Species

The school site also falls within an area identified for the protected species Great Crested Newts. Whilst objectors raise concerns that there will be 'indirect' impacts upon species movements, the Proposed Sections plan A-A & B-B, demonstrates that there will be a 100mm gap at the bottom of the fence which would allow species known in the area to access the fields and wooded areas.

GMEU have confirmed they are aware of the presence of GCN but do not regard a survey of the area would be required as works would be minor. It is advised however, that the applicant seek the advice from a professional ecologist as to whether or not the works would require a license or whether precautionary measures would suffice. This would be included an informative to the applicant.

Biodiversity Net Gain

In terms of Biodiversity Net Gain (BNG), the regulations define impact as "loss of degradation such that there is a decrease in the biodiversity value of that habitat". The proposals for the fences would not impact the habitat in such a way that there would be a loss or degradation and as such, BNG does not apply.

Internal fence

The proposed 1.8m high fence would be located internally, one leading from the school entrance to the building and the another provided between two buildings to the north and as such this fence would not affect resident's properties or cause ecological or arboricultural issues.

This fence would be permitted development.

It is therefore considered that given the siting and position of the fence the proposed development would be acceptable and comply with policies EN1/2, CF1/1, JP-P5, EN6/1 and EN6/3.

Visual impacts

The proposed fences would be a weldmesh types which are commonly found at schools and public areas, providing security without significant harmful visual impacts due to their 'see-through' appearance.

There are boundary fences and trees along the rear gardens of these houses and the proposed 2.4m high fence would be off-set from the boundary of the neighbours rear gardens and fences by 1.5m.

There is a difference in ground levels between the dwellings and the school, with the school set at a lower level. The fence would be marginally higher behind Colville Drive by 10cm and lower behind the houses on Newington Drive by 10.5cm. Given the set back from rear boundaries by 1.5m, comparative height of the proposed fence to the neighbours boundary fences, screening from trees and the weldmesh see through appearance of the fence, visual impacts to the neighbours properties are considered not to be significant.

The vehicular access and pedestrian gate proposed to the school entrance would be 2.4m high. The school is accessed via a short road off Colville Drive and given the set back from the street, it is considered the gates would not be harmful to the streetscene or affect the outlook of adjacent properties.

The other fence at 1.8m high would be positioned internally and not visible from outside the site, but would not in any case require planning permission.

It is therefore considered that the proposed development would be acceptable and would comply with policies EN1/2 and CF1/1.

Response to objections

- The highest part of the proposed fencing and gates would be 2.4m. There would be a 4m wide double entrance gate to the school entrance. The entrance gate to the wooded area from the school grounds would be for pedestrian access purposes only and use by the school.
- Objections relating to ecology, the SBI, trees and protected species have been covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings numbered -

Existing site plan TA-01
Proposed site plan TA-02 rev G
Safeguarding Scheme - fencing TA-03
Safeguarding Scheme - fencing TA-04
Arboricultural Report ref 22961/TT

and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.

3. The development hereby approved shall be carried out in accordance with the mitigation measures and recommendations detailed in the submitted Arboricultural Report ref 22961/TT.

Reason. To avoid the loss of trees which are of ecological and amenity value to the area pursuant to Policy JP-G7 - Trees and Woodland and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

4. Beneath all areas of the canopies of the trees/Root protection areas, all construction work for the development hereby approved must be 'hand-dig' only under arboricultural supervision. No storage of materials or equipment is allowed.

Reason: To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and PfE Policy JP-G7 - Trees and Woodland.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APPLICATION NUMBER: 71738

**ADDRESS: St Stephens C of E Primary School
Colville Drive, Bury**

Planning, Environmental and Regulatory Services



Bury
Council

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71738

Photo 1



Photo 2



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Photo 3



Photo 4



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Photo 5



Photo 6



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Photo 7



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NOTES

- Denotes line of land ownership boundary
- Denotes line of site boundary
- Denotes pedestrian access route to main entrance
- Denotes pedestrian access route to EYFS building entrance
- Denotes line of new 2.4m high CLD SR1 weldmesh fencing offset 1.5m from boundary line
- Denotes line of new 1.8m high CLD Rotop weldmesh fencing
- Denotes new 1.5m wide x 2.4m high CLD Lockmaster single gate with Dulok SR1 weldmesh infill
- Denotes new 1.5m wide x 2.4m high CLD Lockmaster single pedestrian gate with Dulok SR1 weldmesh infill & access controls linked back to School office
- Denotes new 4m wide x 2.4m high CLD Lockmaster automated double gates with Dulok SR1 weldmesh infill & access controls linked back to School office
- Maglock control only not limited to access control.
- Camera
- Existing 2400mm high fence
- Denotes line of existing 2m high weldmesh fencing to be retained
- Denotes area of existing vegetation & woodland
- Tree
- Area of woodland school

Rev	Date	Comments	By
G	07/07/25	Alterations to retained fence line	JRTM
F	20/06/25	Woodland school	SJ
E	10/06/25	Running Pitch & Rounders pitch added	JRTM
D	09/06/25	Proposed Fence line altered	JRTM
C	09/06/25	SBI Added	JRTM
B	09/06/25	Trees Added	JRTM

STATUS
TENDER

Client
Sycamore MAT
St Stephen's Church of
England Primary School,
BL8 2DX

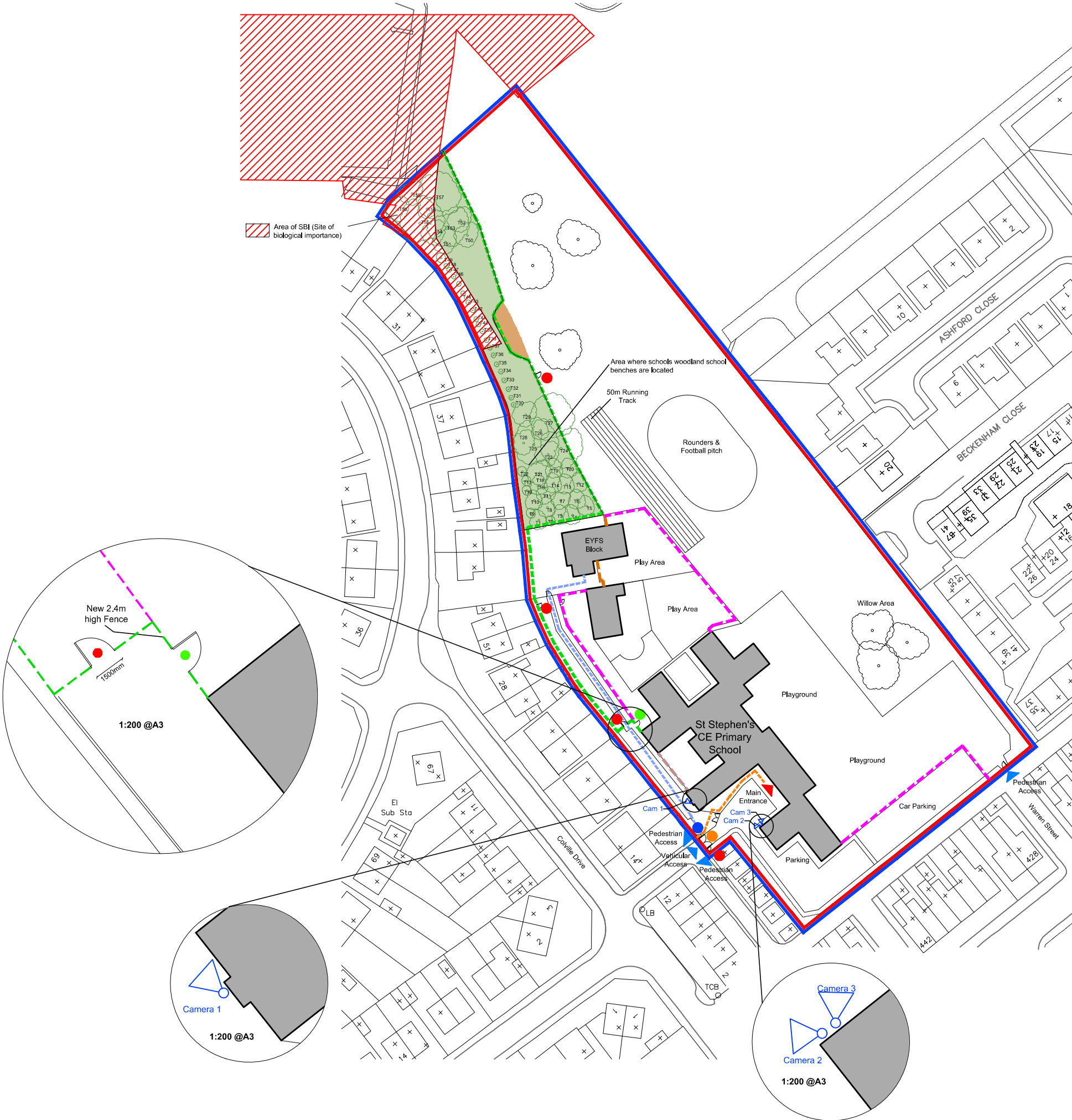
Project Title
Safeguarding Scheme -
Fencing

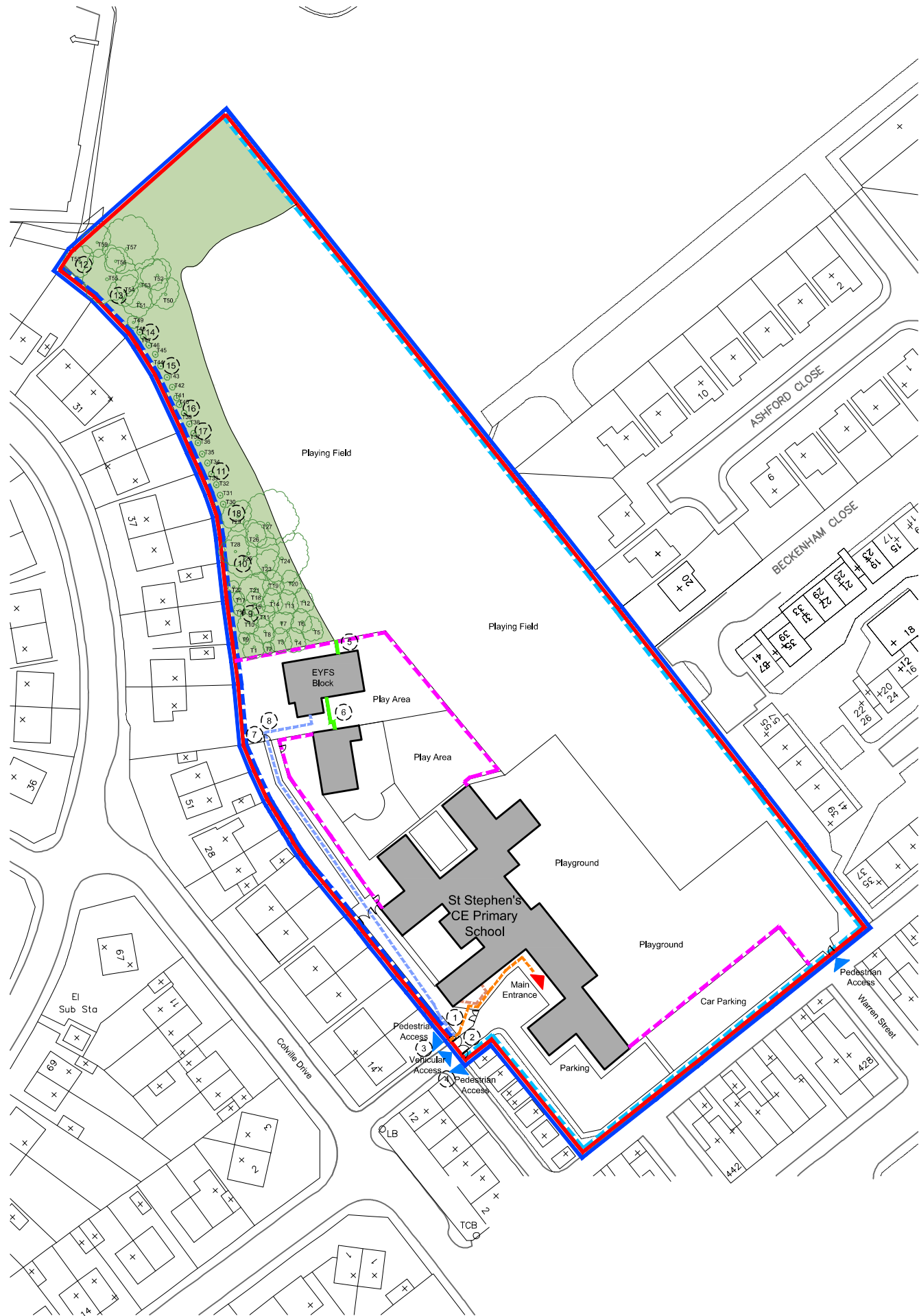
Drawing Title
Proposed Site Plan

Scale 1:1250@A3	Drawn by JRTM	Date March 2025
Job no. 2501-80	Drawing no. TA-02	Revision no. G



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- Denotes line of site boundary
- Denotes photograph location & reference. Please refer to separate Condition Survey Report.
- Denotes pedestrian access route to main entrance
- Denotes pedestrian access route to EYFS building entrance
- Denotes line of existing 1.6m high chain link fence (to be removed) in front of 1.85m high residential grade timber panel & post fencing
- Denotes line of existing 2m high weldmesh fencing to be retained
- Denotes line of existing 2.4m high mesh fencing to be retained
- Denotes line of existing 1.2m high mesh fencing to be replaced
- Denotes line of existing 2m high fencing to be removed
- Denotes area of existing vegetation & woodland
- Tree

Rev	Date	Comments	By
B	09/06/25	Trees Added	JRTM
A	21/05/25	Ownership Boundary added	JRTM

STATUS
TENDER

Client
Sycamore MAT
St Stephen's Church of England Primary School,
BL8 2DX

Project Title
Safeguarding Scheme - Fencing

Drawing Title
Existing Site Plan

Scale 1:1250@A3	Drawn by JRTM	Date March 2025
Job no. 2501-80	Drawing no. TA-01	Revision no. B



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NOTES

Whilst reference is made to manufacturers names or ranges, refer to schedule of works for details or alternatives etc, or other equal similar & Approved

Rev	Date	Comments	By
B	09/06/25	Image Added	JRTM
A	09/06/25	Amendments	JRTM

STATUS

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Sycamore MAT
St Stephen's Church of
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Project Title

Safeguarding Scheme -
Fencing

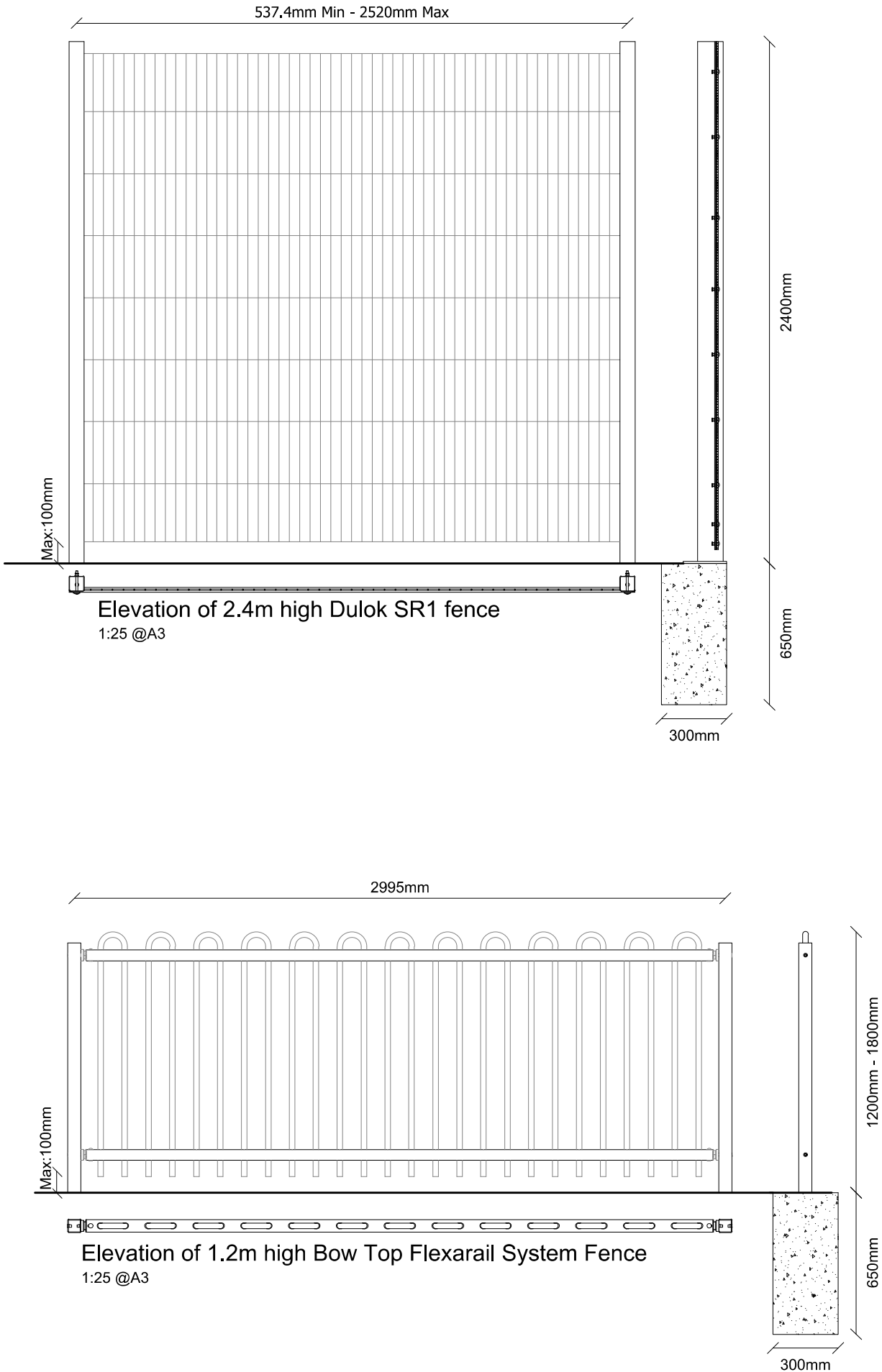
Drawing Title

Detail Sheet 1

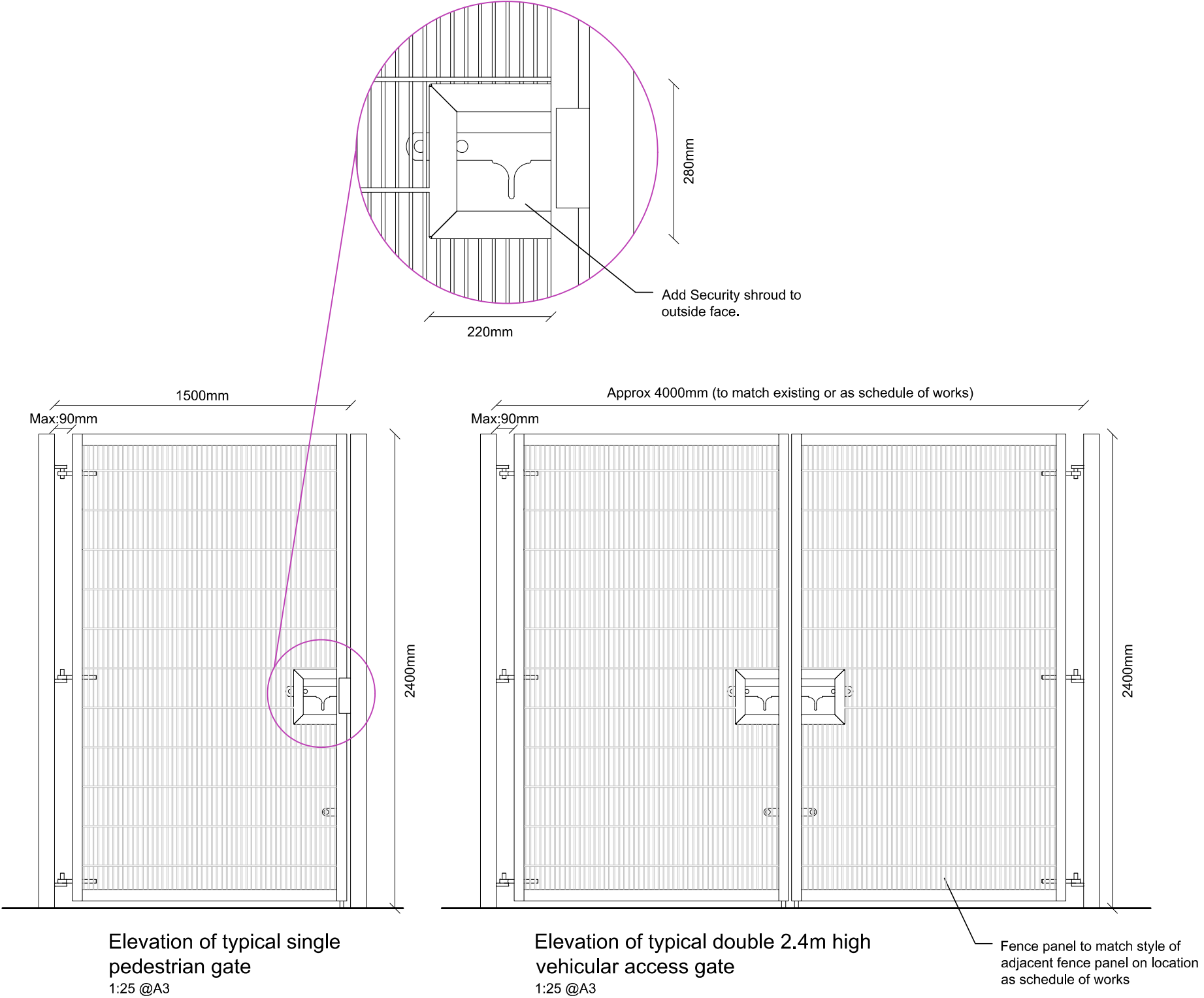
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Job no. 2501-80	Drawing no. TA-03	Revision no. B



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Rev	Date	Comments	By

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Sycamore MAT
St Stephen's Church of
England Primary School,
BL8 2DX

Project Title
Safeguarding Scheme -
Fencing

Drawing Title
Detail Sheet 2

Scale 1:1250@A3	Drawn by JRTM	Date March 2025
Job no. 2501-80	Drawing no. TA-04	Revision no. -



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Rev	Date	Comments	By
A	21/05/25	Ownership Boundary added	JRTM

STATUS
TENDER

Client
Sycamore MAT
St Stephen's Church of England Primary School,
BL8 2DX

Project Title
Safeguarding Scheme - Fencing

Drawing Title
Proposed Site Plan

Scale 1:1250@A3	Drawn by JRTM	Date March 2025
Job no. 2501-80	Drawing no. TA-02	Revision no. A



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