

Ward: North Manor

Item 03

Applicant: Mr & Mrs S Hoyle

Location: Ivy House, Bolton Road West, Ramsbottom, Bury, BL0 9RW

Proposal: Variation of condition no.2 (approved plans) on planning permission 65114 (1 no. dwelling):
Amendments to previously approved dwelling and garage - size, position and external alterations

Application Ref: 71963/Full

Target Date: 04/08/2025

Recommendation: Approve with Conditions

Description

The site forms part of the rear garden to No. 1 Ivy Street. The site is level and there is a lower garden area, which is approximately 2 metres lower. There are a number of mature trees in the lower garden area. Access is taken from Ivy Street and there is parking for 2 vehicles.

There are residential properties to the north, south east and west and a commercial building (Nabb Works) is located to the south east of the site.

Planning permission was granted in 2016 and 2020 for the erection of a dwelling in the rear garden of No. 1 Ivy Street. The proposed dwelling would be single storey at the rear of 1 Ivy Street with a lower ground floor set into the slope of the land. The proposed dwelling would be constructed from stone with a green roof and there would be a balcony along the rear elevation. The site would be accessed from Ivy Street and a ramp would provide access to parking and a garage at the lower level.

The proposed development involves the variation of condition 2 (approved plans) to accommodate the following amendments:

- Width of the proposed dwelling - The width of the proposed dwelling has been increased by 0.58 metres towards the south eastern boundary. The depth of the proposed dwelling has been reduced by 0.2 metres.
- Height of the proposed dwelling - This has been reduced by 0.2 metres at the highest point.
- External terrace - The external terrace that wrapped around the south east and south west elevations has been removed.
- Roof overhang - The roof overhangs have been reduced from 1.9 metres to 1.25 metres at the highest point on the roof; 1 metre to 0.6 metres at the lowest point on the roof and from 0.8 metres to 0.6 metres on the gable elevations.
- Doors - 1 bi-folding door on the south eastern elevation has been replaced with a window. 2 patio doors with glazed screens and 1 full height window on the south west elevation have been replaced with 4 windows in a symmetrical pattern
- Windows - The 5 windows on the north east (4) and north west (1) elevations have been removed.
- Glazed fanlights - the 4 glazed fanlights above the upper level openings on the south east (3) and south west (1) elevations have been removed.
- Rooflights - 1 additional rooflight has been added and the size position of the others have been amended. a roof lantern would be installed above the seating area in the

kitchen.

- Garage - The garage has been re-located and is in line with the gable wall of the proposed dwelling.
- Size of garage - The proposed garage has been reduced in width by 0.1 metres and has been increased in length by 0.2 metres.
- Height of the garage - The proposed garage has increased in height by approx 0.35 metres due to low ground levels, but the datum level of the garage roof has not changed.
- Garage roof/privacy screens - The proposed privacy screen on the garage roof/terrace area would be changed to a living wall system.

The access to the proposed dwelling would remain as approved.

Relevant Planning History

59345 - Erection of 1 no. dwelling with associated car parking and landscaping at land to rear of 1 Ivy Street, Ramsbottom. Approved with conditions - 19 January 2016.

65114 - Erection of 1 dwelling at Ivy House, Bolton Road West, Ramsbottom. Approved with conditions - 24 June 2020.

71712 - Non-material amendment following grant of planning permission 65114: Replacement of glazing over windows to first floor with stonework; replacement of box window seat at ground floor with two windows; rear elevation of garage to be sited away from boundary with neighbouring property; lengthen the garage and reduce internal level; reduce height of the property to accommodate existing garden levels of other properties and addition of glazed balustrade to perimeter of garage roof at Ivy House, Ivy Street, Ramsbottom. Refused - 26 March 2025.

The application was refused as the works were more than non-material.

Adjacent site

40275 - Single storey extension and car port at side and erection of conservatory on other side at 7 Ash Grove, Ramsbottom. Approved with conditions - 25 February 2003

40314 - Conservatory at rear at 5 Ash Grove, Ramsbottom. Approved with conditions - 21 March 2003.

57624 - First floor extension at side, dormers at front and rear at 467 Bolton Road West, Ramsbottom. Approved with conditions - 30 June 2014.

Enforcement

24/0476 - Not in accordance with approved plans (permission 65114) at Ivy House, Bolton Road West, Ramsbottom. Case closed - 9 June 2025

Publicity

The neighbouring properties were notified by means of a letter on 9 June 2025.

3 letters have been received, which have raised the following issues:

- Concerned about the height and size of the structure. No dimensions have been included on the plans and the drawings do not indicate the height of the building relative to the adjacent properties.
- It would appear that many of the panels have been reduced in size or supplied cut to size, so this can not be used as a reason for changes in size.
- Don't think that anyone could object to the rear wall being moved away from the boundary but a garage of almost the same size could be achieved with the front and

rear walls of the garage being in line with the house walls. Does the extension of the garage interfere with the provision/ size of the Attenuation Tank?

- One concern is the formation of a terrace on the whole area of the roof. As a matter of privacy this should revert back to the original plan with living wall screening.
- In so far as the perimeter trees are concerned it would be ideal if the proposed trees are mature trees screening the property and to some degree, restoring the appearance of the original wooded area. I would hope that shrubs which would take many years to mature will be rejected.
- Concerns about the impact of the proposed development on surrounding properties and outbuildings and walls.
- Object to a terrace on the garage roof as this would overlook the neighbouring gardens and invade the resident's privacy.
- Planting established trees would be the best way to provide screening.
- Previously raised concerns about the height of the structure and the noise from works on site that are outside the permitted times of site operation.
- It is incredulous that building materials are cited as being the reason for the significant increase in size of the structure, including the increase of the garage by 2 metres. This, compounded by the failure to adhere to the hours of site operation, bring me to the conclusion that the applicant has little regard for the planning process.
- Concerned that the Council has failed to monitor the site and build, despite receiving complaints, and this has then allowed the applicant to continue to build.
- The structure was built on an area of woodland where a number of natural bird species and habitats were present for hundreds of years. There has been a distinct lack of wildlife since the building has been created and I made this observation at the time of the original application.
- Object to the variation of plans on the grounds of Article 8 of the Human Rights Act, Right to Privacy as the proposed changes will significantly impact on my home. The formation of the terrace on the garage roof was always planned and why the garage was increased in size. Photographs have been provided, which show, despite tree foliage, the terrace will directly overlook my property.
- Object on the grounds of the site being overdeveloped. The increase in size of the plot has exacerbated this point.
- Concerned that the applicant has not considered the impact of the building on the surrounding area including Byron Rd, Ash Grove and Keats Rd as the site can be seen from Dunedin Road and Byron Road. The 'terrace' will be seen from a significant distance.

The neighbouring properties have been notified of revised plans, which have reduced the size of the terrace, by means of a letter on 7 July.

Any comments received will be reported in the Supplementary Report.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

None required.

Pre-start Conditions - Not relevant.

Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/6	Garden and Backland Development
EN1/2	Townscape and Built Design

EN1/3	Landscaping Provision
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8/2	Woodland and Tree Planting
HT2/4	Car Parking and New Development
HT4	New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The principle of residential development on the site was established with the grant of planning permission for 1 dwelling in January 2016 and June 2020. The development was commenced within the time limit and as such, is extant. Therefore, the proposed development would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed dwelling has been located in the rear garden of No. 1 Ivy Street and is two storeys in height. The proposed dwelling is set into the sloping site and only the ground floor of the building would be visible from street level, with the lower ground floor below. The proposed dwelling is of a modern design and would use traditional material of stone with a green roof.

As the application is a Section 73 application, the scope of the application is to consider the changes being applied for.

The proposed dwelling has been increased in width by 0.58 metres and the depth has been reduced by 0.2 metres. The overall height of the proposed dwelling has been reduced by 0.2 metres and the roof overhangs have been reduced from 1.9 metres to 1.25 metres. The proposed changes do not affect the overall design approach and would be acceptable in design terms.

The proposed external changes include:

1. The removal of the external terrace that wrapped around the south east and south west elevations
2. The glazed fanlights above the upper level openings on the south east and south west elevations have been removed
3. 1 additional rooflight has been added
4. The size and position of the other rooflights have been amended
5. A roof lantern would be added above the kitchen
6. A bi-folding door has been replaced with a window
7. 2 patio doors and a full height window have been replaced with 4 windows in a

symmetrical layout

8. The privacy screen would be changed to a living wall system

These relatively minor changes would not impact upon the overall design approach and would be acceptable in design terms.

The proposed garage has been relocated off the boundary with No. 461 Bolton Road West 1.4 metres such that it is now in line with the wall of the proposed dwelling. The proposed garage would be square and has been increased by 1 metre to the south with a roof terrace above. Whilst the proposed garage would be larger in footprint, it would be located at the lower level and would be of the same design as the previously approved scheme. The proposed roof terrace has been reduced in size and would have the same projection over the garage as the previously approved application.

Overall, the proposed development would not represent a significant change and would not impact upon the design of the proposed dwelling. The level of private amenity space would be acceptable and the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policy EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case

There would be 26.4 metres between No. 1 Ash Grove and the gable elevation of the proposed dwelling. This would be in excess of the 13 metre aspect standard, based on a two storey blank wall and in excess of the 16 metre aspect standard, which takes into account the difference in levels.

There would be 36.5 metres between No. 3 Ash Grove and the proposed dwelling. There would be 32.4 metres between the rear of No. 5 Ash Grove and the proposed dwelling and garage. Both these distances would be in excess of the 23 metres aspect standard required.

There would be 18.9 metres between the building (Nab Works) to the south and the proposed garage; 22.8 metres between the proposed balcony and the building (Nab Works) to the south and 25.4 metres between the proposed dwelling and the building (Nab Works). The distances would exceed the aspect standards required.

There would be 20.2 metres between the proposed dwelling and No. 7 Ash Grove. The previously approved balcony on the southern elevation has been deleted, which would represent an improvement on the previously approved situation. No. 7 Ash Grove is located on an angle in relation to the proposed dwelling and the distance of 20.2 metres would be acceptable as there would not be a direct relationship.

The opaque full height glazing on the boundary with No. 461 Bolton Road would be replaced with a living wall system, which is a wall covered with vegetation. The proposed living wall system would prevent any overlooking into the adjacent garden.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Highways issues - The proposed amendments would not impact upon the previously approved access and visibility splays. The proposed garage would be 1 metre larger and has been located 1 metre further into the site. However, a vehicle would be able to turn around using the turning facilities provided within the rear garden. Therefore, the proposed

development would not be detrimental to highway safety and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Response to objectors

- The overall height of the structure is less than the previously approved dwelling and this is detailed on the floor plans & elevations overlay plan.
- The proposed terrace on the garage roof has been reduced in size to that which was previously approved.
- The impact upon surrounding outbuildings and walls would be a building regulations issue.
- The issues relating to privacy and overlooking have been addressed in the report above.
- Noise from construction is not a material planning consideration and is covered under the Environment Protection Act.
- A complaint was made to planning enforcement, which has resulted in an application being submitted in March and this application in June. All works have been undertaken at the applicant's own risk.
- The application site formed part of the garden to Ivy House. GM Ecology Unit were consulted on the original approval (65114) and had no objections, subject to the inclusion of conditions relating to nesting birds and landscaping. The requirements to comply with this will pertain.
- Due to the distance between the proposed dwelling and No. 9 Ash Grove, which is located on an angle, the proposed terrace would not have a significant adverse impact upon the amenity of the occupiers of this dwelling. The removal of a section of terrace improves relationships in terms of privacy.
- The proposed development would comply with the aspect standards and would provide a suitable amount of amenity space. As such, the proposed development of a dwelling on this site would not be overdevelopment.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 2021-06 001, 2021-06 010, 2021-06 SK010, 2021-06 SK011 A, 2021-06 011 A, 2021-06 012 A, 2021-06 013, 2021-06-015, 2021-06 SA and the development shall not be carried out except in accordance with the, drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. The development shall only be carried out in accordance with the details approved under condition 3 of permission 65114.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design.
4. The development hereby approved shall be carried out in accordance with the Remediation Strategy approved under condition 4 of permission 65114. The Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
5. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
6. The development shall only be carried out in accordance with the details approved under condition 7 of permission 65114.
The approved scheme shall thereafter be implemented not later than 12 months from the date the building(s) is first occupied or within the first available tree planting season,; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.
7. No development shall commence unless and until surface water drainage proposals have been submitted to and approved in writing by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable

development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

8. The turning facilities indicated on the approved plans shall be provided before the dwelling is first occupied and the areas used for the manoeuvring of vehicles associated with the existing and new dwelling shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H1/2 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design
9. The car parking for the existing and new dwelling indicated on the approved plans shall be surfaced and made available for use prior to the dwelling hereby approved being occupied and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
10. The development shall only be carried out in accordance with the details approved under condition 11 of permission 65114.
The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.
Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.
11. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
12. The access alterations/improvements to the shared access to ensure that the driveway widths indicated on the approved plans are provided, along with any highway remedial works required as a result of the construction of the development and statutory undertakers connections to the new dwelling, shall be implemented before the development is first occupied.
Reason. To ensure good highway design and maintain the integrity of the adopted highway, in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H1/2 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design

13. The bin storage arrangements for the existing and new dwelling indicated on the approved plans shall be made available for use prior to the development hereby approved being occupied and thereafter maintained at all times.

Reason. To ensure adequate off-highway bin storage facilities are provided for both dwellings within the curtilage of the site, in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy H1/2 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development

Policy EN1/2 - Townscape and Built Design

For further information on the application please contact **Helen Leach** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APPLICATION NO: 71963

ADDRESS: Ivy House, Bolton Road West
Ramsbottom



Bury
Council

Planning, Environmental and Regulatory Services

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71963

Photo 1



Photo 2



71963

Photo 3



Photo 4



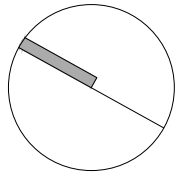
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Photo 5

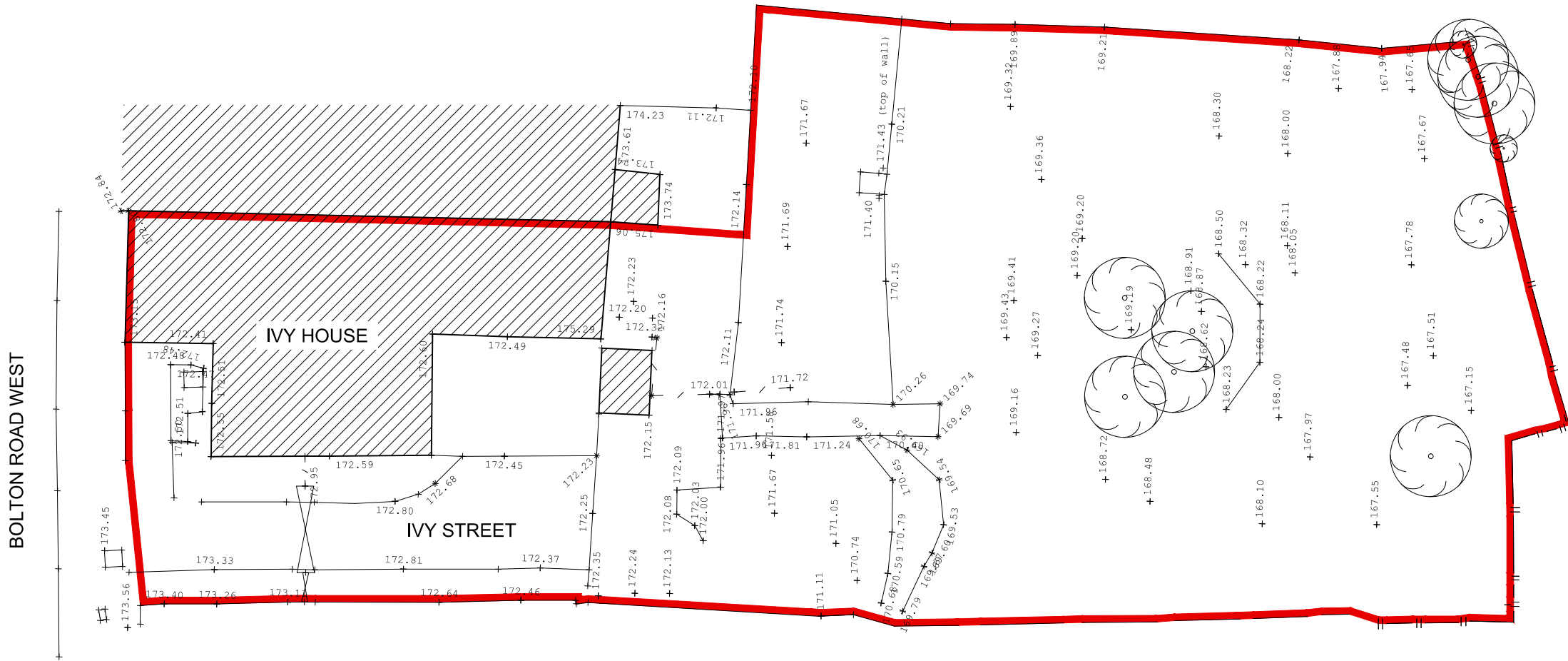


Photo 6





General Notes:
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EXISTING SITE PLAN

SCALE 1:200



Revision		Date

FOR INFORMATION

Client MR & MRS HOYLE	
Job PROPOSED DWELLING AT IVY HOUSE BOLTON ROAD WEST RAMSBOTTOM BURY	
Drawing EXISTING SITE PLAN	
Date APRIL 2025	Scale 1:200 @ A3

JH Architectural Design Ltd		
a: 11 The Grove Horsforth LS18 4BB m: 07779 147 030 e: jared@jharchdesign.co.uk		
Job No. 2021-06	Drawing No. 010	Rev. -

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KEY:	
	EXISTING BUILDINGS.
	PROPOSED DWELLING - UPPER GROUND FLOOR PLAN SHOWN.

A	TERRACE AREA REDUCED.	04.07.25
	Revision	Date

FOR PLANNING APPROVAL

Client
MR & MRS HOYLE

Job
PROPOSED DWELLING AT
IVY HOUSE
BOLTON ROAD WEST
RAMSBOTTOM
BURY

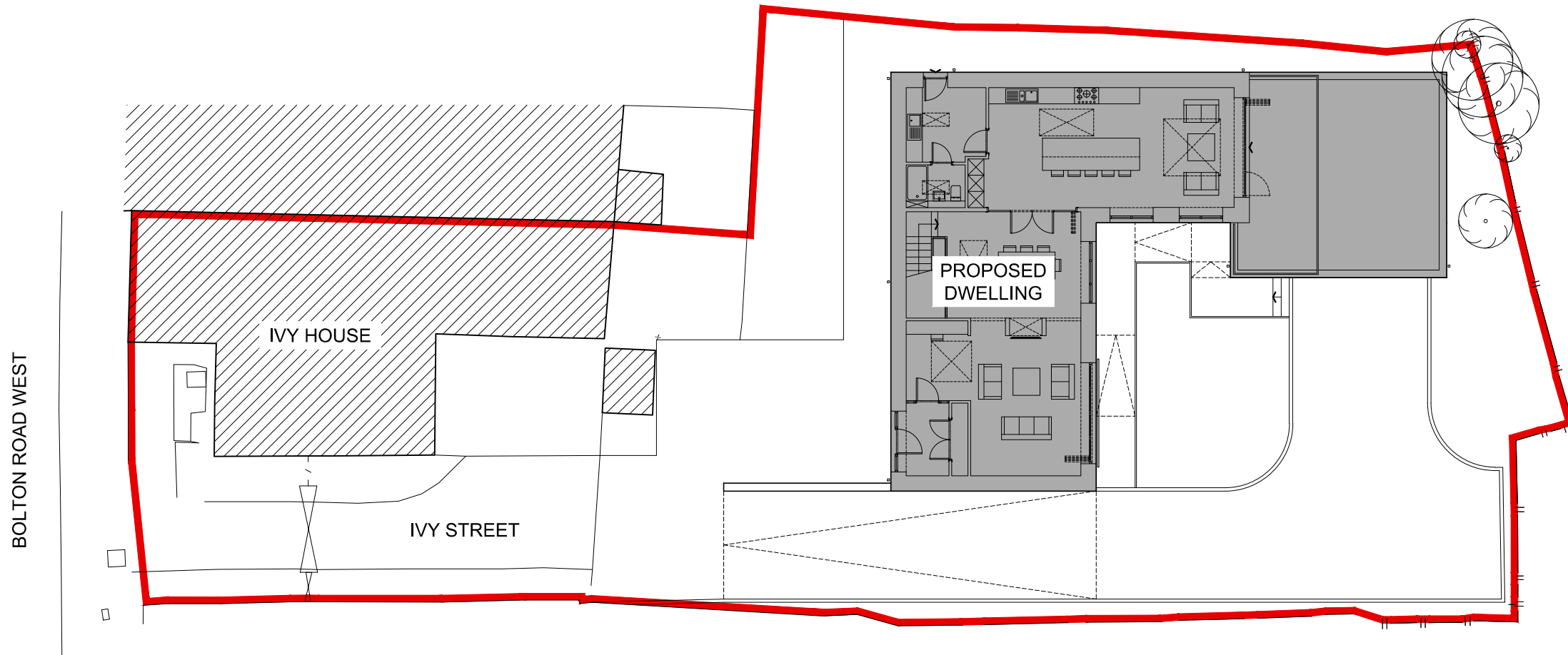
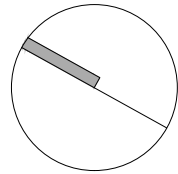
Drawing
PROPOSED SITE PLAN

Date	Scale
APRIL 2025	1:200 @ A3

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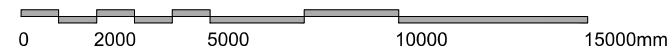
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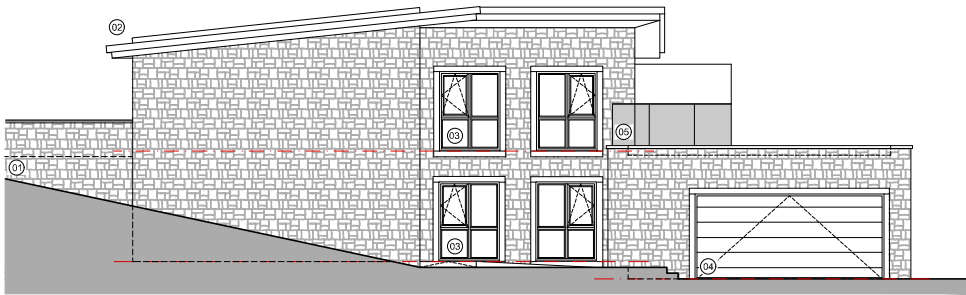


PROPOSED SITE PLAN

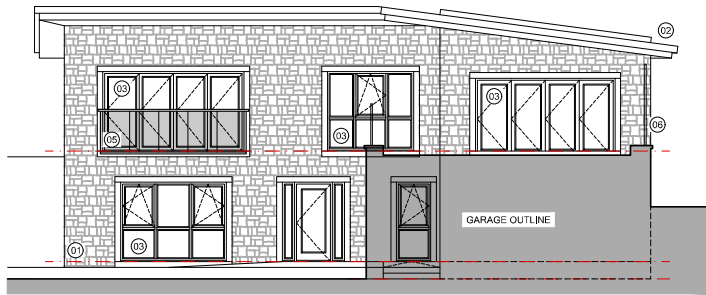
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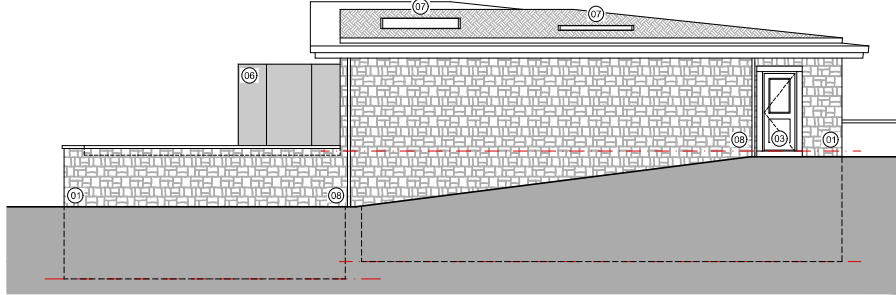
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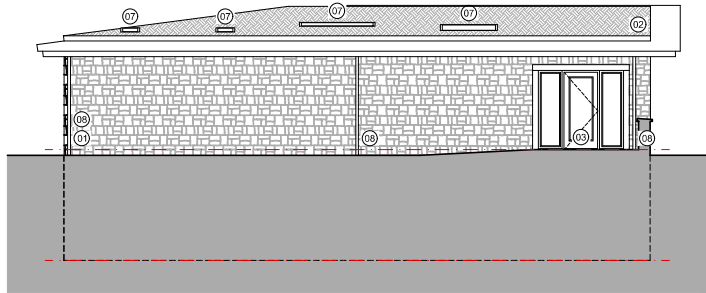
SOUTH WEST ELEVATION
SIDE ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
REAR ELEVATION

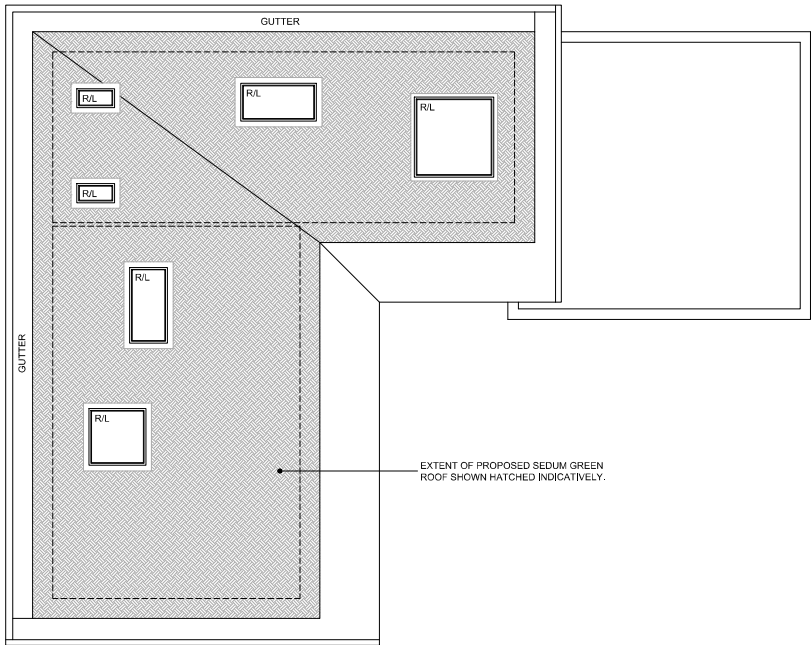


NORTH EAST ELEVATION
SIDE ELEVATION

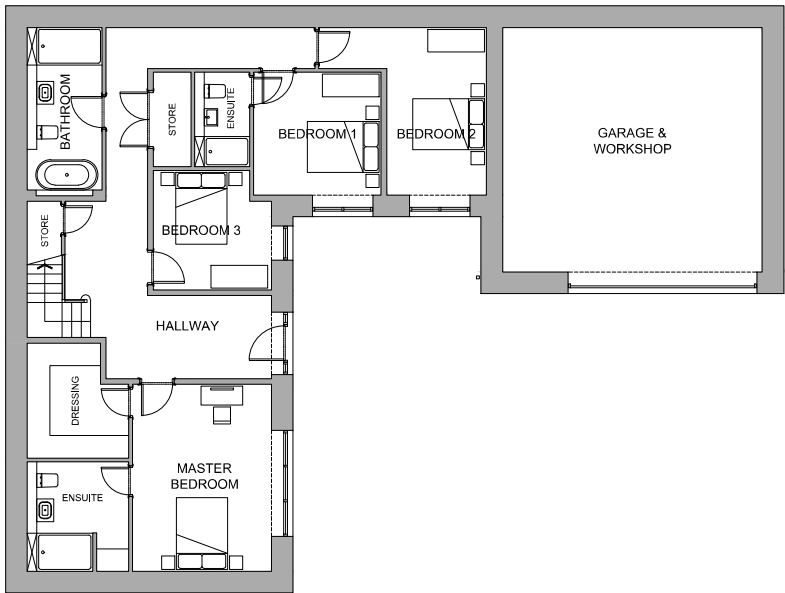


NORTH WEST ELEVATION
FRONT ELEVATION

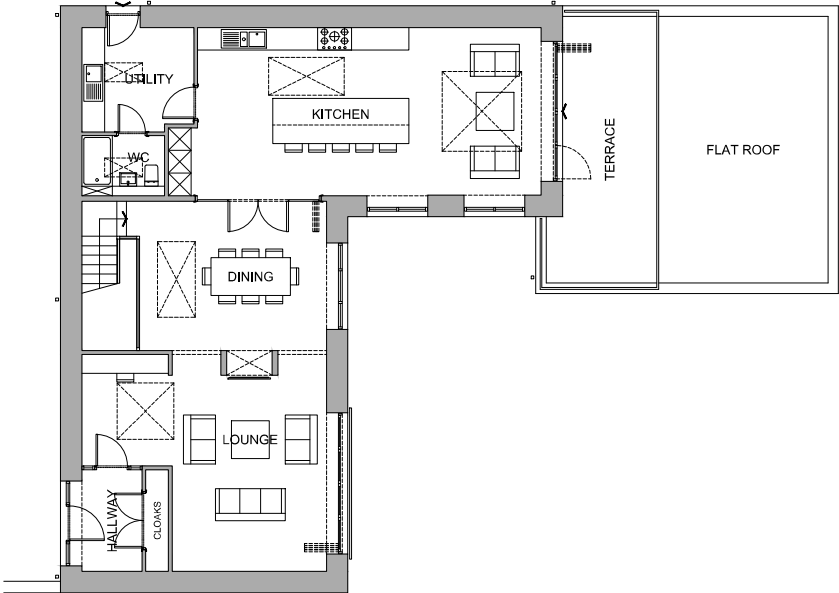
- MATERIAL KEY:
- 01 PROPOSED LOCAL STONEMWORK WALLING.
 - 02 PROPOSED SEDUM GREEN ROOF.
 - 03 PROPOSED POLYESTER POWDER COATED ALUMINIUM FRAMED DOUBLE GLAZED DOORS & WINDOWS - COLOUR: TBC.
 - 04 PROPOSED POLYESTER POWER COATED INSULATED SECTIONAL GARAGE DOOR - COLOUR: TBC.
 - 05 PROPOSED CLEAR GLASS BALUSTRADE & JULIET BALCONY.
 - 06 FULL HEIGHT OBSCURE GLASS SCREEN.
 - 07 ROOFLIGHTS.
 - 08 POLYESTER POWDER COATED ALUMINIUM RWP'S - COLOUR & LOCATIONS TBC.



PROPOSED ROOF PLAN



PROPOSED LOWER GROUND FLOOR PLAN
SCALE 1:100



PROPOSED GROUND FLOOR PLAN

A.	TERRACE AREA REDUCED.	04.07.25
	Revision	Date

FOR PLANNING APPROVAL

Client MR & MRS HOYLE	
Job PROPOSED DWELLING AT IVY HOUSE BOLTON ROAD WEST RAMSBOTTOM, BURY	
Drawing PROPOSED PLANS & ELEVATIONS	
Date APRIL 2025	Scale 1:100 @ A1

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Job No. 2021-06	Drawing No. 012	Rev. A
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RED LINE INDICATES THE PROFILE / FOOTPRINT
OF THE PROPOSED DWELLING FROM THE
CURRENT PLANNING APPROVAL DRAWINGS.

NB: DOTTED LINES INDICATES THE EXTENT OF THE ROOF OVERHANGS.

FOR INFORMATION

Job
PROPOSED DWELLING AT
IVY HOUSE
BOLTON ROAD WEST
RAMSBOTTOM, BURY

Date
MAY 2025

**JH Architectural
Design Ltd**

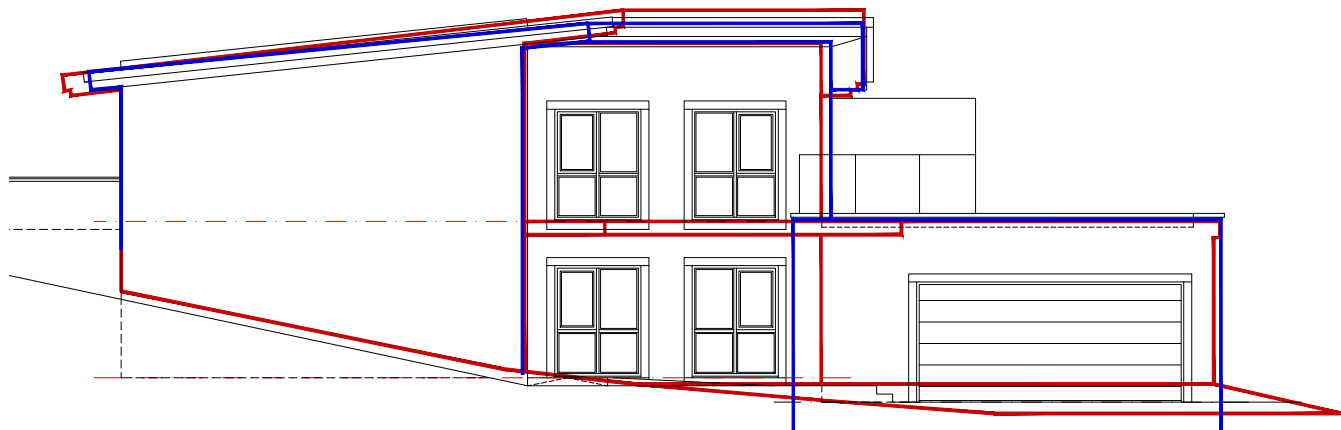
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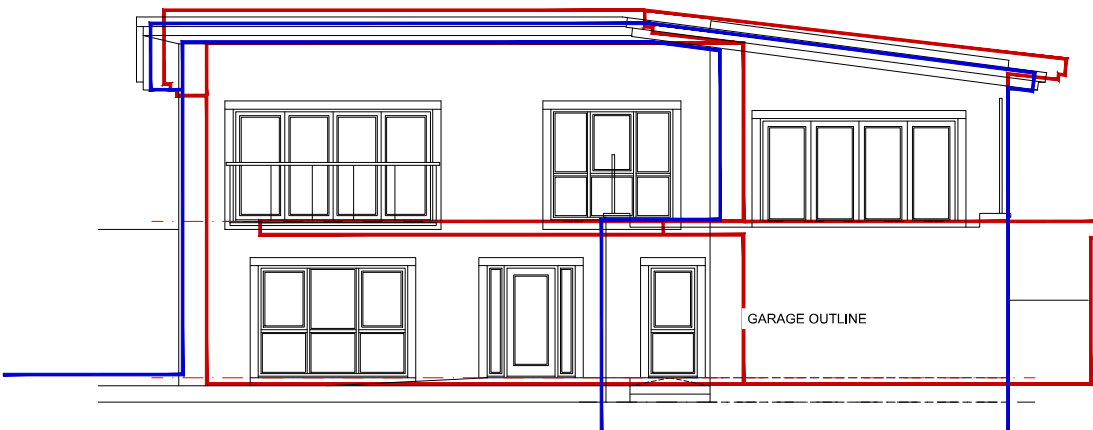


SOUTH WEST ELEVATION

SIDE ELEVATION

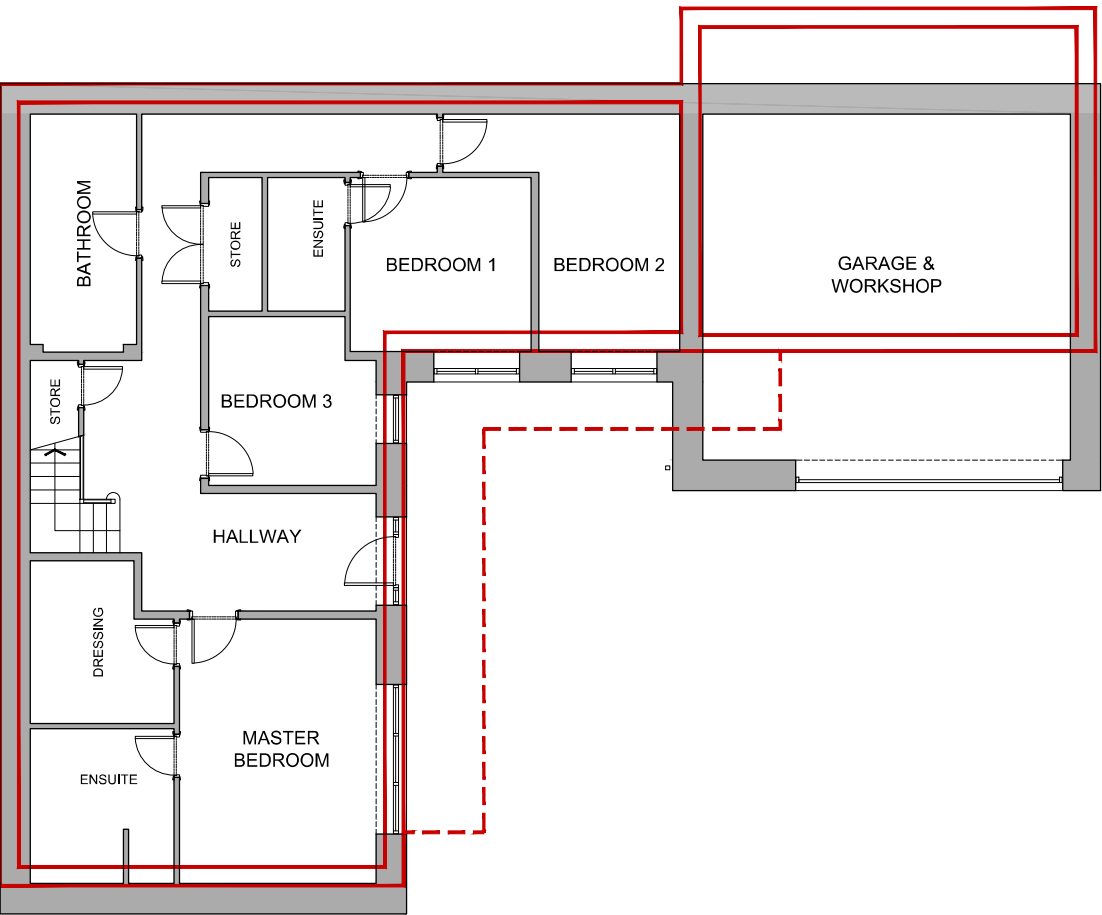
SCALE 1:100

0 1000 2000 4000 8000mm



SOUTH EAST ELEVATION

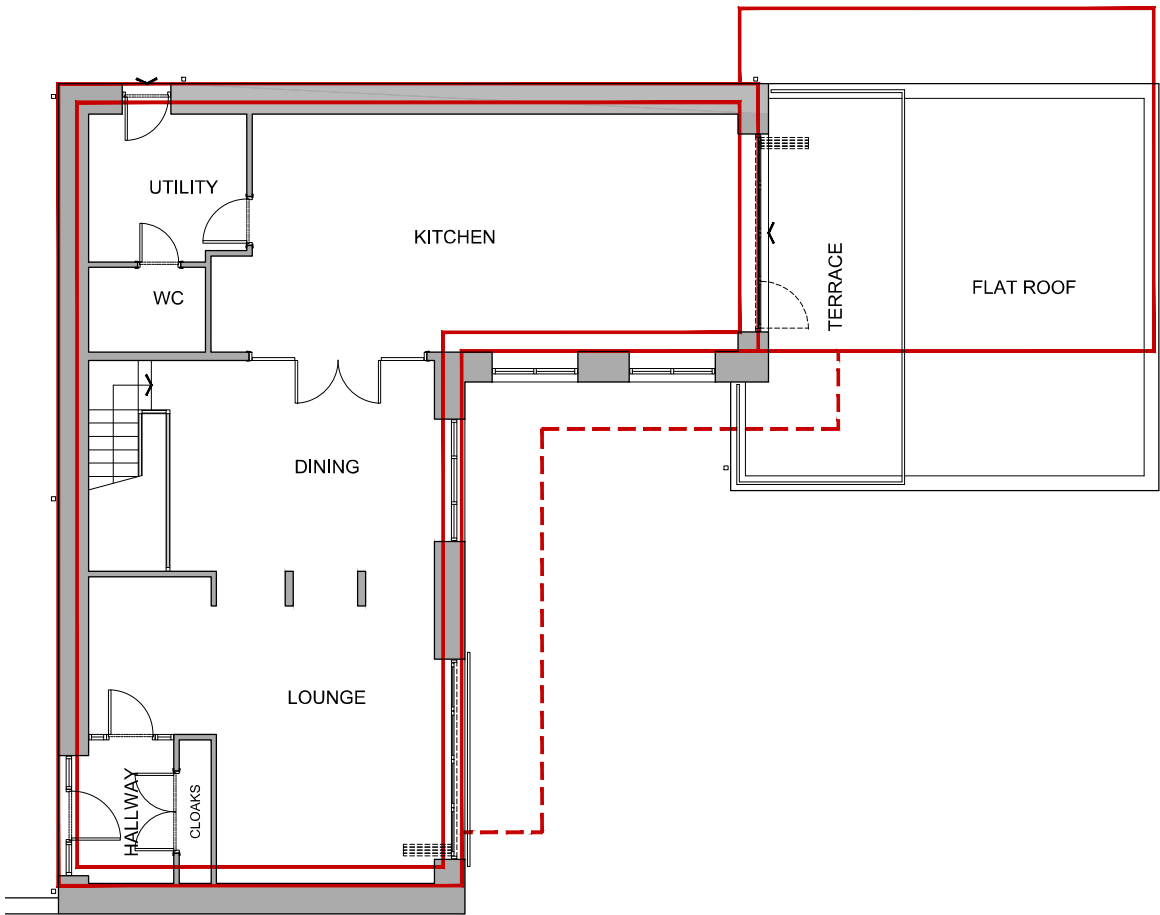
REAR ELEVATION



PROPOSED LOWER GROUND FLOOR PLAN

SCALE 1:100

0 1000 2000 4000 8000mm



PROPOSED GROUND FLOOR PLAN

KEY:

RED LINE INDICATES THE PROFILE / FOOTPRINT OF THE PROPOSED DWELLING FROM THE CURRENT PLANNING APPROVAL DRAWINGS.

BLUE LINE INDICATES THE PROFILE / FOOTPRINT OF THE PROPOSED DWELLING TAKEN FROM AN AS BUILT SURVEY.

A	TERRACE AREA REDUCED.	04.07.25
Revision		Date

FOR INFORMATION

Client	
MR & MRS HOYLE	
Job	
PROPOSED DWELLING AT IVY HOUSE BOLTON ROAD WEST RAMSBOTTOM, BURY	
Drawing	
FLOOR PLANS & ELEVATIONS OVERLAY	
Date	Scale
MAY 2025	1:100 @ A2

JH Architectural Design Ltd

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Job No.	Drawing No.	Rev.
2021-06	SK011	A