

Ward: North Manor

Item 1

Applicant: Edgefold Homes Limited

Location: Land adjacent to 62 Springside Road, Bury, BL9 5JQ

Proposal: Application for reserved matters (appearance, landscaping, layout and scale) following outline approval (68815) for 12 no. dwellings and all details required to discharge the following conditions from application 68815: 6 (Drainage Strategy), 7 (Boundary Treatment), 9 (Amphibians Avoidance Measures), 11 (Hedgehogs and Other Mammals Avoidance Measures), 16 (Highways Aspects) and 18 (Travel Plan Strategy)

Application Ref: 72542/Reserved matters

Target Date: 02/06/2026

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the Bury Unitary Development Plan and SPD1. If the agreement is not signed within a reasonable timeframe, then delegated authority is sought by the Development Manager to determine the application.

Description

The application relates to a site located at the end of Springside Road. To the north and east is established residential development. Along the southern boundary of the site is a hedgerow and a road which leads to Bank Top Farm that carries a Bridleway (155 BUR), beyond which, to the south is open land designated as Green Belt, Special Landscape Area and River Valley. To the west is open land that is also designated as Green Belt, Special Landscape Area and River Valley.

The site comprises a piece of land which is 0.56 ha in area. The site is not in the Green Belt, but is designated as Other Protected Open Land (OPOL) under UDP Policy OL2. The site is split into two relatively similar size parcels of land by a road and Public Right of Way (160BUR) which runs directly through the site from Springside Road in a north westerly direction and connects to Springside Farm. It is understood that a culverted watercourse crosses the site in a west/easterly direction but this is not a United Utilities asset.

This current application follows the parent outline application 68815 which proposed all matters reserved except access. This application is for the reserved matters relating to appearance, landscaping, layout and scale.

In terms of appearance, the dwellings are proposed to be constructed of Cheshire Red Brick together with Dark Grey Concrete Tiles. Doors and windows are proposed to be coloured in pebble grey, including garage doors.

Landscaping details have been shown on the submitted Proposed Site Plan, and includes the provision of trees at the front of the proposed properties. 1.8m high closed boarded fencing is proposed for the boundaries to the sides and rear of each property.

In terms of the layout, 8 properties are proposed along the north of the site, with 4 properties proposed in the southern section. The submitted proposed site plan shows that

the properties will retain a reasonably uniform building line to the front. As shown on the submitted proposed site plan, each property also has an off road car parking provision for between 2-4 off road spaces dependent on the size of the dwelling.

In terms of the scale, 7no. 3 bedroom properties, 2no. 4 bedroom properties and 3no. 5 bedroom properties are proposed. The property types proposed are:

- Kenyon (4 bedrooms) - ground floor area 127.27sqm, width 9.2m, length 8.2m
- Lancaster (5 bedrooms, without detached garage) - ground floor area 173.75sqm, width 9.4m, length 14.1m
- Lancaster (5 bedrooms, with detached garage) - ground floor area 191.44sqm, width 9.6m, length 13.7m. Detached garage approx. 6.3m x 6.4m
- Lightshaw (3 bedrooms) - ground floor area 109.07sqm, width 7.1m, length 9.6m
- Marley (4 bedrooms) - ground floor area 132.55sqm, width 10.3m, length 10.4m
- Rivington (3 bedrooms) - ground floor area 105.12sqm, width 10.7m, length 6.7m

As can be seen on the submitted Proposed Street Elevations Plans, the proposed roof heights would also be relatively uniform, at a maximum height of approximately 8.7m.

Access to the site was previously submitted and approved at Outline Application stage under application ref 68815 with the access being taken from an extension of Springside Road. Springside Road, which has an adopted status and currently provides a turning area next to the site access. As this turning facility is on adopted highway and would be affected due to the highway works at the site entrance, it was proposed, and accepted, to provide a turning area within the site. This will require the new site access and turning head to be of an adoptable status. This was secured by way of a S106 Agreement.

The discharge of conditions 6, 7, 9, 11, 16 and 18 from parent outline application 68815 is also sought, with relevant details to discharge these conditions having been submitted as part of this application.

Relevant Planning History

43363 - Conversion of existing flat roof areas to pitched and slated roofs - Approve with Conditions 14/10/2004

68815 - Outline application for 12 no. dwellings including means of access (all other matters reserved for appearance, layout, scale and landscaping) - Approved with Conditions 03/08/2023

72516 - Variation of condition no. 12 on planning permission 68815 - Outline application for 12 no. dwellings including means of access (all other matters reserved for appearance, layout, scale and landscaping) - to substitute the approved access
- Refused 19/12/2025

72544 - Application to discharge condition 3 (contaminated land), condition 5 (EV charge point), condition 8 (BEMP) and condition 17 (sprinkler system) on planning permission 68815 - Split Decision

- Condition 3 - discharged
- Condition 5 - discharged
- Condition 8 - not discharged under this application
- Condition 17 - not discharged under this application

24/0256 - Breach of condition no 10. of planning permission 68815 - 06/08/2024

Publicity

101 neighbouring addresses were consulted on 05.03.2026 as well as a site notice erected on 11.03.2026.

27 objections from 23 addresses have been received detailing the following concerns:

Visual Amenity Issues

- Holcombe Hill views will be blocked by the proposed development
- The Design and Access Statement argues that the land contributes little to the amenity or appearance of the area and this is not the case
- The density and spacing of the proposed dwellings doesn't reflect the existing development within the surrounding residential area
- Out of character within the area

Green Belt/Land Allocation Issues

- The land is greenfield land
- The land is Green Belt designated
- The Design and Access statement states the land is under utilised and it is not as it is agricultural land

Residential Amenity Issues

- Noise nuisance
- Concern over overlooking and privacy, adequate separation distances are not maintained
- Overshadowing of neighbouring properties
- Existing properties will be damaged, such as hedges
- Impact on mental health

Highways/Parking Issues

- Other developments within the wider area have already caused significant disturbance and disruption
- Increased traffic and whether this is sustainable
- Existing parking concerns, including the reduction of on street parking and the development not including sufficient off road car parking provisions
- Highway concerns such as visibility and safety, particularly of the elderly and children
- Concern over whether the access is suitable
- Compromises access to the bridleway
- A new turning point is unnecessary
- No pathways around new dwellings
- Loss of a public right of way
- Springside Road is already not being maintained and in a bad state of repair
- The previously refused road layout is on the plans which is confusing for residents

Ecology/Tree Issues

- The land was previously woodland and trees have been removed
- Insufficient landscaping, tree retention and biodiversity measures
- Concern over Japanese knotweed
- Impact on the environment and species like squirrels, deer and hedgehogs; destruction of wildlife
- Impact on trees along neighbouring boundaries

Other

- The land is unsuitable to be built on, United Utilities have agreed in the past
- Concern over access for emergency vehicles
- Concern over available healthcare facilities for future residents
- Concern over recreational spaces available
- Lack of infrastructure
- Previous refusal issues are unresolved
- Planning has been refused previously on this site
- Contamination issues
- Plans are inconsistent
- Existing digital infrastructure is located within the site which has not been taken account of
- The proposed footpath approved under application 68815 is not on the plans
- Condition 7 of application 68815 has not been properly addressed
- Concerns regarding waste
- Surrounding schools are already at capacity
- Housing is unaffordable with no provision for single storey homes for the elderly
- Walmersley/Springside Road is already overdeveloped
- There is plenty of existing housing in Bury that could be improved rather than new properties built

Flooding/Drainage

- Concerns with the land flooding
- Concerns over drainage
- Increased surface run-off
- The site is waterlogged

Statutory/Non-Statutory Consultations

Traffic Section - Comments to be reported in the Supplementary Agenda.

Public Rights of Way Officer - requested amendments so that the proposed Right of Way reflected that approved under parent outline application 68815. These amendments were received. Also considered the proposal from the applicant regarding the maintenance of the new PRow acceptable.

Environmental Health - Contaminated Land - made comment that as Conditions 3 and 5 of the parent outline application were discharged as part of application 72544, only condition 4 of application 68815 should be carried forward as part of this consent.

Greater Manchester Ecology Unit - were satisfied with the proposed revisions (addition of two trees) to counter the previous refusal to discharge Condition 8. The applicant confirmed that Condition 8 will be discharged under a separate application prior to the commencement of this development.

Also recommended the discharge of Conditions 9 and 11 and made comment that no further information was required in regards to Condition 10.

United Utilities (Water and waste) - amended information in the form of Drawing J292/109/B, Rev B - Dated 27.05.26 was considered acceptable in principle by the agency.

Further comments from United Utilities have been added as informatives.

Planning & Building Regs consultation Fire Protection Dept Bury Fire Station (Part B)
- no comments received. Condition 17 of application 68815 relates to a sprinkler system for

the proposed dwellings which is to be discharged as part of a separate application.

Pre-start Conditions - To be reported in Supplementary Report.

Development Plan and Policies

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6/3	Features of Ecological Value
EN5/1	New Development and Flood Risk
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
OL2	Other Protected Open Land
OL2/1	Development on Other Protected Open Land
EN8	Woodland and Trees
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT4	New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
H4/1	Affordable Housing
RT2/2	Recreation Provision in New Housing Development
SPD5	DC Policy Guidance Note 5: Affordable Housing
PfE	Places for Everyone

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle of the development

The principle of the development was established with the approval of the outline planning permission (application 68815) in August 2023. This application is to consider details of the remaining reserved matters.

Layout and Design

The site is split into two land parcels by the existing access road and Public Rights of Way

(PROW) which serves properties and farmsteads to the west of the site which will be retained and also used to access to the site and serve the development. This constraint has therefore guided the layout and form of the development site to a significant degree.

Housing Density

PfE Policy JP-H4 requires new housing developments to be delivered at a density appropriate to the location, reflecting the relative accessibility of the site by walking, cycling and public transport and the need to achieve efficient use of land and high-quality design.

Policy JP-H4 sets out minimum densities that should be considered and the site falls in an area where a minimum density of 35 dwellings per hectare should be had regard to.

The site is 0.56ha in area, with 12 dwellings proposed. This leads to a housing density of 21 dwellings per hectare (dph), falling short of the 35 dph required as a minimum density under Policy JP-H4.

Policy JP-H4 also states the following however that lower densities may be acceptable where they can be clearly justified by:

1. Local housing market issues, such as a demonstrable need for a particular type of housing that cannot be delivered at a higher density; or
2. Site-specific issues, such as the design context and any potential impact on the wider landscape or townscape including heritage assets and green infrastructure

In terms of Point 1, the Housing Needs and Demand 2025 assessment states that 'the largest proportion of net annual housing need is for 3-bedroom houses, which make up 24.9% of net need (253 homes). This indicates strong and sustained demand for mid-sized family housing across the borough.' This provides a justification for a lower housing density than outlined within Policy JP-H4.

In terms of Point 2, there are site-specific issues relating to the proposed site, such as the need for the development to conform with the existing properties along Springside Road, as well as issues relating to highways, including access and adoption constraints which provide another reason as to why a lower density also may be acceptable. The site being split by an existing public right of way, as well as being adjacent to the Green Belt also are considered site-specific constraints as to why a lower housing density would be acceptable.

A previous application at this site for 5 dwellings was refused, with this current application improving the number of houses to 12 dwellings to more appropriately, increase the density.

Given the reasons discussed above, it is considered that the housing density indicated at this site would be acceptable.

Design and Layout

UDP Policies H2/1 and H2/2 provide the assessment criteria for detailed matters relating to

height, appearance, density and character, aspects and finishing materials for new residential developments.

UDP Policy EN1/2 seeks to ensure that development proposals would not have a detrimental effect on the visual amenity and character of a particular area.

PfE Policy JP-P1 seeks to create a city region that consists of a series of beautiful, healthy and varied places. High quality design is fundamental to achieving this.

PfE Policy JP-H3 seeks to provide an appropriate mix of dwelling types and sizes reflecting local plan policies and having regard to relevant local evidence. Development across the plan area should seek to incorporate a range of dwelling types and sizes, including for self-build.

The proposed dwellings are detached and would be two storeys in height which would be appropriate in the locality. The proposed roofing would all be of a height of approximately 8.7m and would all be dual-pitched gable end roofing to remain consistent. The larger 5no. bedroom units would be located to the centre of the site, with the smaller units to the sides of these to create a uniformity within the site, and to ensure that the larger units do not immediately abut the smaller bungalows existing along Springside Road.

Each dwelling would also have an adequate private amenity space to the rear with boundary treatment to be wooden fencing. Condition 7 of parent outline application 68815 required boundary treatment details to be submitted. As shown on the proposed site plan, 1.8m boundary fencing to the sides and rear of each plot is proposed. Condition 7 also required details of the existing hedge to be submitted. It has been confirmed by the applicant that the existing hedge will be retained.

Each property would also have space within the private amenity space for 4 waste bins, and each property would be allocated off road car parking provision compliant with SPD 11. Hard and soft landscaping details can also be seen on the submitted site plan and are considered to be acceptable.

Materials proposed are also to be red brick for the walls and dark grey concrete for the roof which is common within the area and therefore would also appear consistent.

It is considered that the proposed development would fit appropriately within the locality and would be in accordance with Policies H2/1, H2/2, EN1/2, JP-P1 and JP-H3.

PfE Policy JP-H3 also states that all new dwelling must:

1. Comply with the nationally described space standards (NDSS); and
2. Be built to the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations unless specific site conditions make this impracticable.

The NDSS states the following minimum space requirements for two storey dwellings:

- 3 bedroom, 6 person dwellings = 102sqm
- 4 bedroom, 8 person dwellings = 124sqm
- 5 bedroom, 8 person dwellings = 128sqm

The proposed dwellings all exceed these standards.

The accessible and adaptable standard in Part M4(2) of Building Regulations can be secured via condition however given the entrances to the properties are step-free access, it is likely that the proposals meet the regulations.

Residential Amenity

UDP Policy H1/2 states that the council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

There are no adopted aspect standards for new build residential properties however, Supplementary Planning Document 6 (SPD6) provides guidance on aspect standards between residential properties and as such, would be a reasonable guide in this case. SPD 6 provides the following guidance:

- 20 metres between directly facing habitable room windows;
- 13 metres between an existing habitable room window and a proposed two storey blank wall
- 6.5 metres between an existing habitable room window and a proposed single storey blank wall

The proposed dwellings are all sited in excess of 20m from the rear elevations of existing properties along Trawden Drive and Brierfield Drive. Most properties are also sited at an angle to these dwellings and so have an indirect relationship.

SPD 6 also states that first floor habitable windows should be sited at least 7m from directly facing neighbouring boundaries. Any first floor habitable windows proposed are sited at least 7m from the neighbouring boundaries with properties along Trawden Drive, Brierfield Drive and 62 Springside Road.

62 Springside Road adjoins the proposed property on Plot 12 however the proposed dwelling is sited a minimum distance of 10.8m from 62 Springside Road and would not impinge on any habitable main room windows and would be set off from the party boundary by 4.1m minimum. Given this, it would not have an overbearing impact on this neighbour.

Given the above, it is considered that the proposed dwellings would comply with UDP Policy H1/2 and would be in accordance with the intentions of SPD 6 in terms of separation distances. A condition restricting permitted development rights for the proposed dwellings has been acknowledged in order to prevent the dwellings from being further extended towards neighbouring dwellings without the benefit of planning permission given site constraints.

Highways and Access

UDP Policy EN1/2 requires the consideration of the design and appearance of access, parking and service provision. This is further supported by UDP Policy H2/2 that requires

proposals to demonstrate adequate car parking provision, access for both vehicles and pedestrians, and provision for public transport and the existence of any public rights of way.

PfE Policies JP-C5 and JP-C6 require streets to be well designed and managed to make a significant positive contribution to the quality of place and support high levels of walking, cycling and public transport.

PfE Policy JP-C8 seeks to enable a reduction in the need to travel by private car and prioritise sustainable transport opportunities ahead of capacity enhancements on the highway network.

The access for the proposed site was approved under the parent outline application 68815 and an accompanying s106 agreement therefore there is no further requirement for assessment.

Following application 68815, an amendment to the NPPF was published in August 2026 including the provision of Paragraph TR4. Paragraph TR4 of the NPPF states that to contribute to creating well-designed places, transport considerations should be integral to the design of development. The submitted transport proposals broadly address the points outlined in Paragraph TR4 by incorporating continuous footways and also facilitating easy access to public transport links

Highways Engineers were consulted on the supporting documents received in regard to Condition 16 of parent outline application 68815. There are no objections in principle and various elements of the layout have been refined to respond to the Highways Team's requirements. Any further comments will be reported in the Supplementary Agenda.

Public Right of Way

Given the site being split by an existing public right of way (PRoW), officers were consulted who, following submission of amended plans, made the below comments:

We would want to see the alternative route dedicated as a Public Right of Way rather than private, to ensure continued public access rights consistent with the existing situation. In terms of maintenance, we wouldn't necessarily object in principle to a third-party management company taking on that responsibility, subject to legal agreement and appropriate safeguards. There is some precedent in practice, with the current farm track , where the landowner effectively maintains the current route to a higher standard for their own private purposes than we need for the public on foot.

However, the key point is that the route itself should be secured as a PROW, with maintenance arrangements dealt with separately. The applicant would need to submit a proposal and we would need to look at how that would actually be delivered

In response, the applicant proposed the below:

We propose that the land beneath the footpath is retained in private ownership by the Resident's Management Company (RMC), with the public right secured by an express deed of dedication to secure it as a Public Right of Way, with the Council recording it on the

definitive map by legal event modification order. The dedication doesn't transfer ownership, the land remains with the RMC and the public gains a right of passage over it. Maintenance would sit with the RMC at its cost.

Following this, the Public Right of Way Officers considered this acceptable, as this is the normal process in which a right of way is created. They did note however that the Council would designate it as publicly maintainable, which has been acknowledged as an informative.

Parking

SPD 11 provides guidance on the parking provision required for new developments within the borough.

The site is located within Zone 4, with 3 no bedroom homes requiring an off road car parking provision of 2 spaces and 4 bedroom homes and greater requiring an off road provision of 3 spaces.

As detailed on the proposed site plan, these parking standards have been met and therefore the proposed complies with SPD 11.

Paragraph TR4 of the NPPF states that to contribute to creating well-designed places, transport considerations should be integral to the design of development. The proposals for parking broadly address the points outlined in Paragraph TR4 as the number of parking spaces proposed is appropriate and reflects the locality and nature of the development.

Given the above, the proposals for parking are therefore considered acceptable.

Ecology and Biodiversity Net Gain

PfE Policy JP-G8 states that through local planning and associated activities a net enhancement of biodiversity resources will be sought. This is supported by UDP Policy EN6/3 that seeks to retain, protect and enhance the natural environment and seeks to retain features of ecological or wildlife value.

Paragraph N1.1 of the NPPF states that the planning policies and decisions should safeguard and enhance the natural and local environment.

Colleagues at Greater Manchester Ecology Unit were consulted and reviewed the conditions relating to ecology and biodiversity net gain imposed on previous outline application 68815.

Condition 8 stated as follows:

Prior to the commencement of the development, a biodiversity enhancement and management plan (BEMP) for the application site shall be submitted to and approved in writing by the Local Planning Authority. This shall include all of the landscaping and biodiversity net gain measures to achieve at least 1.25 BU within the development site as detailed within the approved application documents, including monitoring and long term management objectives. Once approved, the development

shall be undertaken in accordance with the BEMP.

Comments by the Ecology Unit were that a previous application to discharge condition 8 was refused owing to a failure, by a small margin, to achieve the required target of 1.25BU on the site. An additional tree was recommended with the revised layout indicating that two additional trees have been proposed. It is the applicant's intention to submit a separate Discharge of Condition application for Condition 8 following the determination of this application to ensure that the BEMP sits on properly on the approved layout.

Conditions 9 and 11 related to method statements for avoidance measures for amphibians and hedgehogs and other mammals. The ecology unit confirmed that the statements submitted alongside this application could allow the discharge of these conditions. As such, a condition has been acknowledged requiring the development to comply with the avoidance measures outlined within these statements.

Usually with new housing developments, measures to retain, protect and enhance the ecological or wildlife value would also have been secured by condition, such as by conditioning the inclusion of swift bricks and bat boxes. As this was not mentioned within the conditions of the previous outline consent however, these conditions cannot be added now.

Biodiversity Net Gain Requirements

The previous outline application 68815 was approved in 2023, prior to the mandatory BNG requirements coming into force. Under UK planning law, a reserved matters application is not a grant of planning permission, and a local planning authority cannot introduce new fundamental conditions like BNG at this stage. Given this, the statutory BNG condition will not be acknowledged.

Application 68815 did cover BNG at the site by the inclusion of Condition 8, which is to be discharged following this consent and therefore it is likely an increase of 10% BNG at the site will be met regardless.

Flood Risk and Drainage

PfE Policy JP-S4 seeks to provide an integrated catchment-based approach to protect the quantity and quality of water bodies with reference to the North West River Basin Management Plan and managing flood risk. Chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF confirms that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk.

PfE Policy JP-S4 and UDP Policies EN7/3 and EN7/5 seek to protect the water courses and other water features within the Borough, and limit surface water pollution.

The proposed site is located within Flood Risk 1, which has the lowest risk of flooding. In this instance, it is therefore not a requirement for a Flood Risk Assessment to be submitted. The Council's Drainage Engineers were consulted who commented that following review of the updated submissions, the surface water drainage information appears to have broadly addressed the main requirements of Condition 6 (Drainage Strategy), including the drainage hierarchy, supporting calculations, exceedance routing and maintenance arrangements.

The proposals indicate the discharge of surface water to an existing ordinary watercourse.

Engineers also commented that the applicant should note that any works to form a new outfall, connect into, or otherwise alter the watercourse may require separate Ordinary Watercourse Consent from the Council under the Land Drainage Act 1991. This comment has been acknowledged as an informative.

Carbon And Energy

PfE Policy JP-S2 sets out the steps required to achieve net zero carbon emissions.

An Energy Statement has been submitted within the supporting Design and Access Statement, detailing ways in which the development will seek to support low carbon living. These include increasing energy efficiency through a fabric first approach and a focus on sustainable design. The proposal is therefore considered to be in conformity with Policy JP-S2.

Digital Connectivity

PfE Policy JP-C2 requires development to have full fibre to premises connections unless infeasible or unviable, with multiple-ducting. The policy supports the provision of free, secure, high-speed public wi-fi connections, particularly in the most frequented areas. It has been confirmed that the development will be provided with full fibre connections in accordance with the requirements of Policy JP-C2.

Planning Obligations

A contribution for recreation provision would be required of £35,106.48 in accordance with Policy RT2/2 of the Bury Unitary Development Plan and SPD1. This would be secured through a Section 106 agreement.

Condition discharge

The application also proposes the approval of conditions of the parent outline application (reference 68815) for which information has been submitted as follows -

- Condition 6 - Drainage Strategy
- Condition 7 - Boundary Treatment
- Condition 9 - Amphibian Avoidance Measures
- Condition 11 - Hedgehog and Other Mammals Avoidance Measures
- Condition 16 - Highways Aspects
- Condition 18 - Residential Travel Plan Strategy
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In terms of Condition 7, timber boundary fencing 1.8m in height is proposed for the rear and side boundaries. Condition 7 also states that details relating to the existing boundary hedge should be submitted. It has been confirmed by the applicant that this would be retained.

For the remaining above conditions, the information has been assessed by relevant consultees and deemed acceptable to discharge the conditions.

It is therefore recommended that approval is given to the details submitted to fully discharge the listed conditions above pursuant to planning permission 68815.

Response to Objectors:

- The principle of residential development has already been established. This application is looking only at scale, layout, landscaping and external appearance. Impact of the design and layout of the proposed dwellings has been discussed within the body of the report
- The land is not Green Belt land.
- Suitability of the land has been discussed within the body of the report.
- Residential amenity has been discussed within the body of the report.
- Some noise nuisance during construction is expected. Disturbance from construction would be temporary and would be covered by the Environmental Protection Act in terms of working hours.
- Damage to party boundaries during construction should it occur is a civil issue
- Highways and parking issues have been discussed within the body of the report, as has the impact on public rights of way.
- Previous plans indicating a different access layout are now rectified to that approved under application 68815.
- Ecology issues have been discussed within the body of the report, with GMEU officers having no objections.
- An informative has been acknowledged surrounding what the developer should do should invasive species be discovered
- No trees at the site are protected. A condition has been acknowledged ensuring any trees along neighbouring boundaries are protected during construction. An informative has also been acknowledged surrounding what developers should do should tree roots be uncovered during construction.
- Contaminated land officers previously recommended the discharge of Conditions 3 and 5 of application 68815, and requested Condition 4 of that consent was carried forward as part of this consent. This has been acknowledged. No other land contamination issues have been raised by officers.
- Any inconsistency with the plans has been amended.
- Drainage officers as well as United Utilities were consulted, recommending the discharge of Condition 6 of application 68815 as well as raising no objections to the amended plans submitted.
- All other reasons for objection are not material planning considerations.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings numbered EAD-126-P-101 S3, J1192-WS-PL102, SJ1192-WS-PL104 E, J1192-WS-PL103 D, J1192-LIG-PL200 C, J1192-MAR-PL200 D, J1192-RIV-PL200 E, J1192-KEN-PL201 D, J1192-LAN-PL200 D, J1192-LAN-PL201 A, J1192-LAN2-PL200 C, J292/109 B, J292/104 E, J292/123 C, J292/115 C, J292/105 G, J292/122 E, 27150-D-01 B, SCP/250466/ATR02 C and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.
3. Following the provisions of Condition 3 of planning permission 68815, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment
4. The Reasonable Avoidance Measures (RAMs) outlined within reports titled Reasonable Avoidance Measures (RAMs)- Amphibians and Small Mammal Reasonable Avoidance Measures Statement (RAMS) dated 15.09.2025 shall be implemented as instructed.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Policy N2 - Improving the Natural Environment of Section 19 of the National Planning Policy Framework (August 2026).
5. No work or other activity shall take place on the site on Sundays or Bank Holidays and all work and other activity on other days shall be confined to the following hours:-
0800 hrs to 1800 hrs, Monday to Saturdays.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies S2/6 – Food and Drink, EC4/1 – Small Businesses, EC6/1 – Assessing New Business, Industrial and Commercial Development and H3/1 – Assessing Non-Conforming Uses of the Bury Unitary Development Plan.
6. All trees to be retained on site along neighbouring boundaries shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard are implemented and all measures required shall remain in situ until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
7. Prior to the commencement of the development, a biodiversity enhancement and management plan (BEMP) for the application site shall be submitted to and approved in writing by the Local Planning Authority. This shall include all of the

landscaping and biodiversity net gain measures to achieve at least 1.25 BU within the development site as detailed within the approved application documents, including monitoring and long term management objectives. Once approved, the development shall be undertaken in accordance with the BEMP.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury Unitary Development Plan and Policy N2 - Improving the Natural Environment of the National Planning Policy Framework (August 2026).

8. No works to trees or shrubs or hedge shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present which has been agreed in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

9. The development hereby approved shall include provision for recreation provision that would be sufficient to be in accordance with Bury Unitary Development Plan Policy RT2/2 - Recreation Provision In New Residential Development and the associated Development Control Policy Guidance Note 1 Recreational Provision in New Housing Development. The approved details shall be submitted as part of the first reserved matters application relating to the housing proposals within the site.

Reason - To ensure that the development would contribute to satisfying the need for recreation provision pursuant to Bury Unitary Development Plan Policy RT2/2 - Recreation Provision In New Residential Development and the associated Supplementary Planning Document 1 - Open Space, Sport and Recreation in New Housing Development.

10. Notwithstanding the details shown indicatively on approved plan references EAD_126_P_103 Revision S5 & EAD_126_P_104, no development shall commence on the adopted highway that affects the existing arrangements/turning facilities at the cul-de-sac end of Springside Road unless and until the replacement, adoptable turning facilities within the curtilage of the site have been implemented to the satisfaction of the Local Planning Authority and made available for public use.

Reason. To secure the satisfactory development of the site in terms of highway safety, ensure good highway design and maintain the integrity of the adopted highway, all in the interests of highway safety pursuant to Bury Unitary Development Plan Policies H1/2 - Further Housing Development, H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.

11. Prior to first occupation of the development hereby approved, a sprinkler/misting system to meet the requirements of BS 9251:2014 or other subsequent standard that meets the requirements of Greater Manchester Fire and Rescue Service and deemed suitable to overcome the site's emergency access deficiencies, shall be installed in the dwellings hereby approved and shall thereafter be maintained at all times.

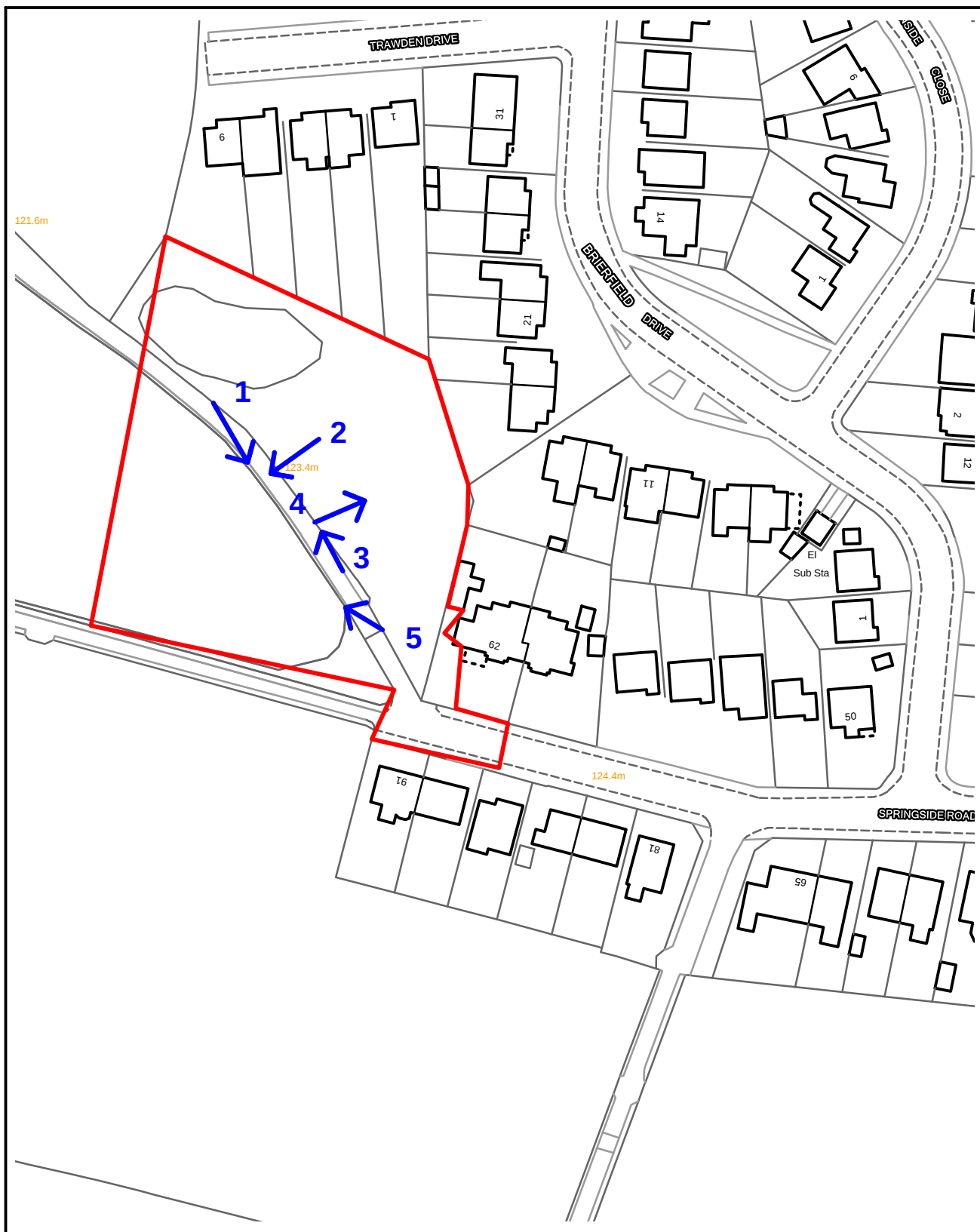
Reason. In the interests of fire safety and to ensure the safe and satisfactory development of the site and for its future occupiers pursuant to Bury Unitary

Development Plan Policies H1/2 - Further Housing Development, H2/2 - The Layout of New Residential Development and EN1/2 - Townscape and Built Design.

12. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design.
13. No development approved by this permission shall be commenced until details of the existing and proposed floor levels have been submitted and approved by the Local Planning Authority. The scheme shall be constructed and completed in accordance with the approved details.
Reason: To ensure that the development is subject to minimum risk of flooding in accordance with Policy F7 - Ensuring Development is Safe from Flooding of the National Planning Policy Framework (August 2026).
14. The dwellings hereby approved shall be built in accordance with the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations.
Reason. To secure the satisfactory development of the site pursuant to Places for Everyone Joint Development Plan Policy JP-H3: Type, Size and Design of New Housing.
15. Notwithstanding the terms of the Town and Country Planning General Permitted Development Order 1995 (or any order revoking or re-enacting that Order) no development shall be carried out on the site within the terms of Classes A, B, C, D, E, F, G and H of Part 1 and Classes A and B of Part B of Schedule 2 of the Order, without the prior consent of the Local Planning Authority.
Reason. To enable the Local Planning Authority to control any future development, having regard to the character and appearance of this Listed Building.

For further information on the application please contact **Charlotte Orrell** on **0161 253 5426**

Viewpoints



Application 72542

ADDRESS: Land adjacent to 62 Springside Road



Bury
Council

Planning, Environmental and Regulatory Services

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72542

Photo 1



Photo 2



72542

Photo 3



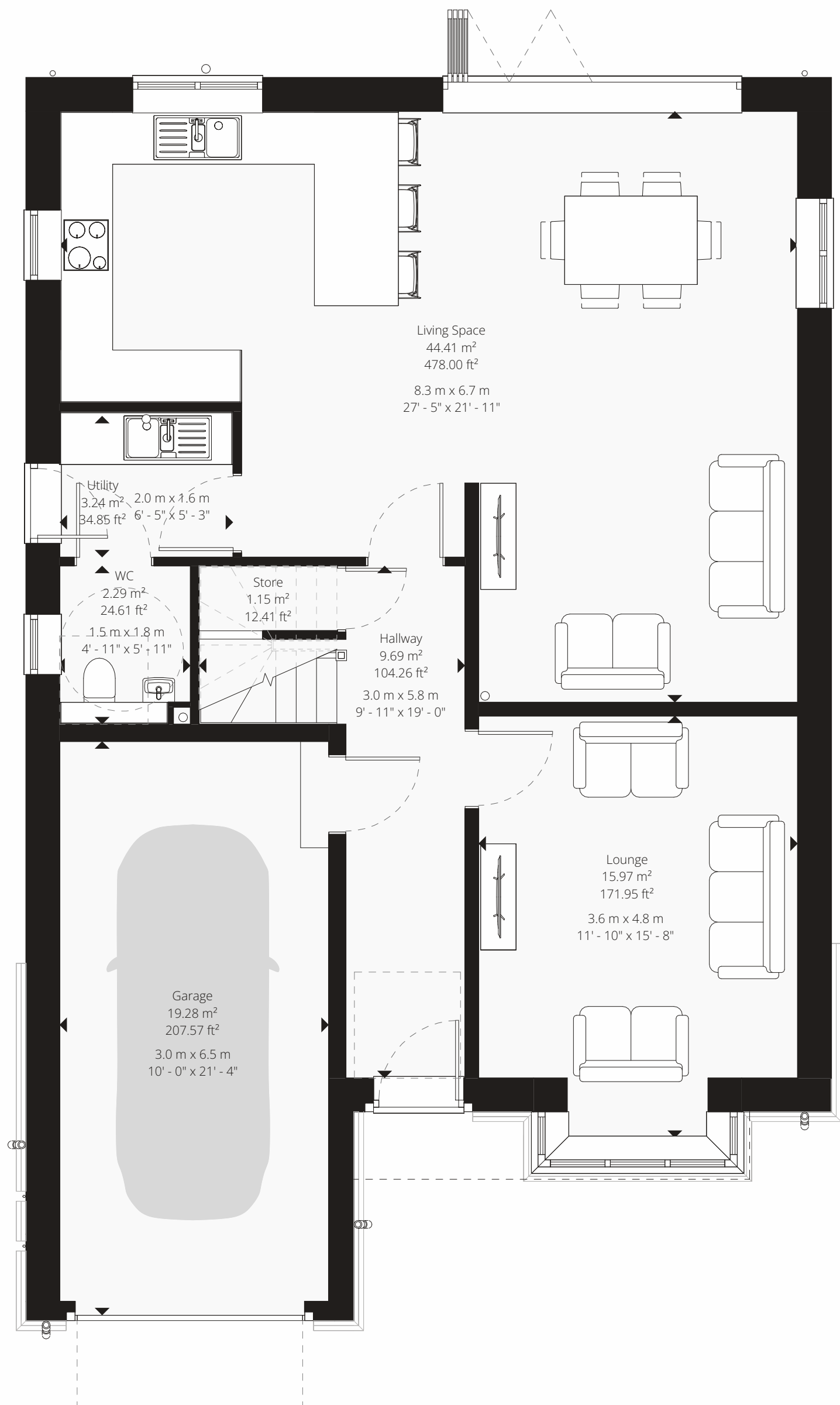
Photo 4



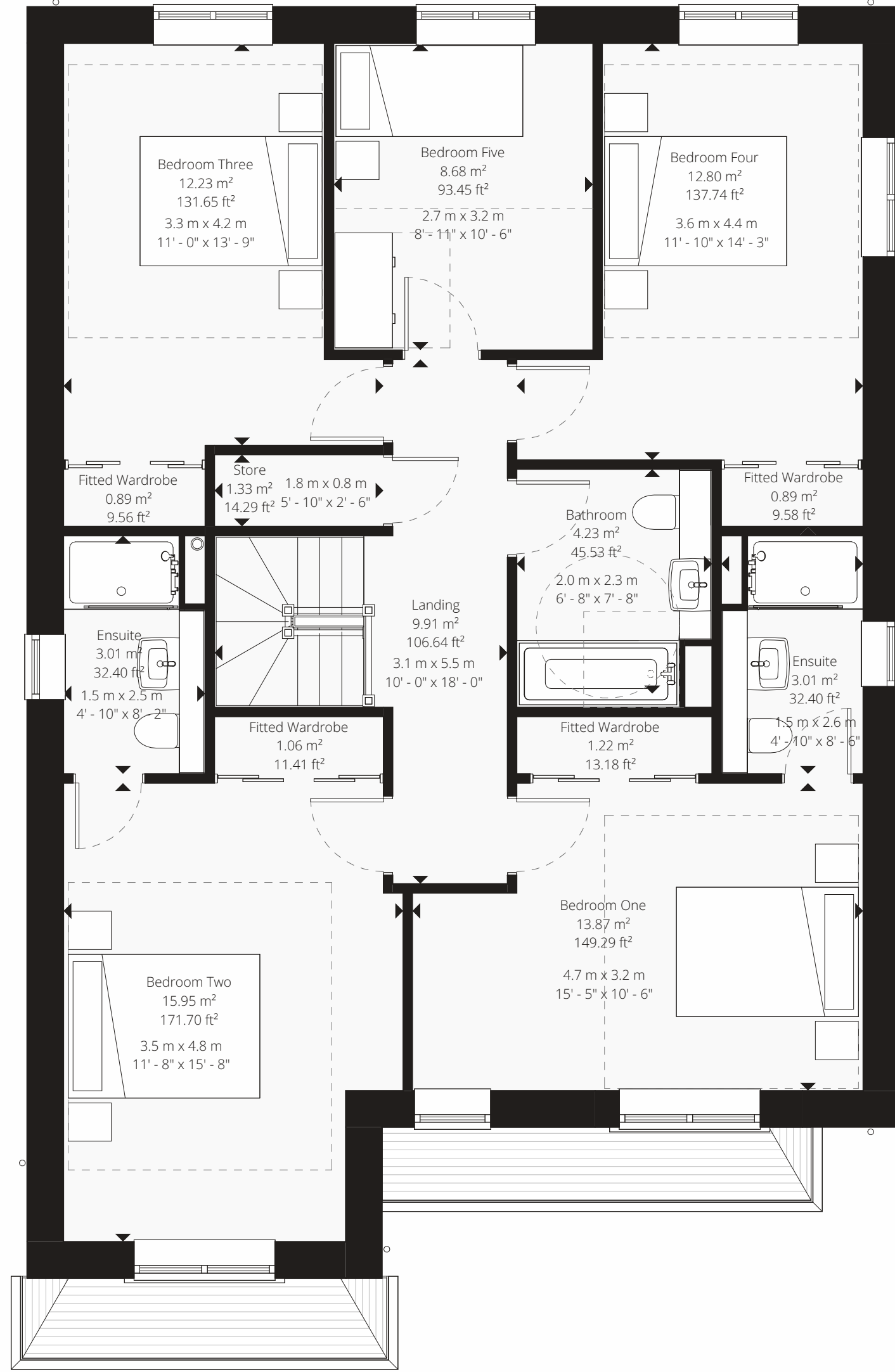
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Photo 5

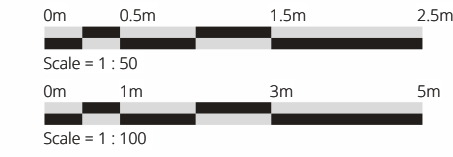




Ground Floor Plan
1:50



First Floor Plan
1:50



Build Area Schedule			
Ground Floor	80.42 m ²	865.60 ft ²	
First Floor	92.25 m ²	992.93 ft ²	
	172.66 m ²	1858.53 ft ²	

Planning Notes

Solar Panels (PV)

The orientation and roof faces) of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt-peak (kWp) established by the SAP assessment is achieved.

EV Charge Points

The position of any EV charge point is indicative only. Its final placement will be confirmed to suit the parking configuration of the plot.

Material Key

Facing Brickwork - Cheshire Red Brick

Other Brickwork - Red Engineering Brick
Below DPC and Specials to Top of Brick Plinth

Roof Tiles - Dark Grey Concrete Tile

Doors and Windows - RAL 7032 Pebble Grey

Door and Window Detailing - Semi Dry Cast Buff Coloured Artstone Splayed Head with Keystone and Stooled Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Artstone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
[OB]	Obscured Glazing
[LM] [TG]	Toughened / Laminated Glazing
[LM/OB] [TG/OB]	Toughened / Laminated & Obscured Glazing



Front Elevation
1:100

Left Elevation
1:100

Rear Elevation
1:100

Right Elevation
1:100

A 06/05/2026 First Issue
Rev. Date: Notes:

DRAWING NUMBER: J1192-LAN-PL201 ISSUE: A

DRAWING TITLE: Proposed Floor Plans & Elevations (Plot 04 Only)

PROJECT: Springside Road, Walmsley
Lancaster M4(2) [Plots 03, 08 & 09]

CLIENT: Edgefold Homes Ltd.

JOB NUMBER: J1192 DATE: May '26 SCALE: As indicated SIZE: A1

PLANNING



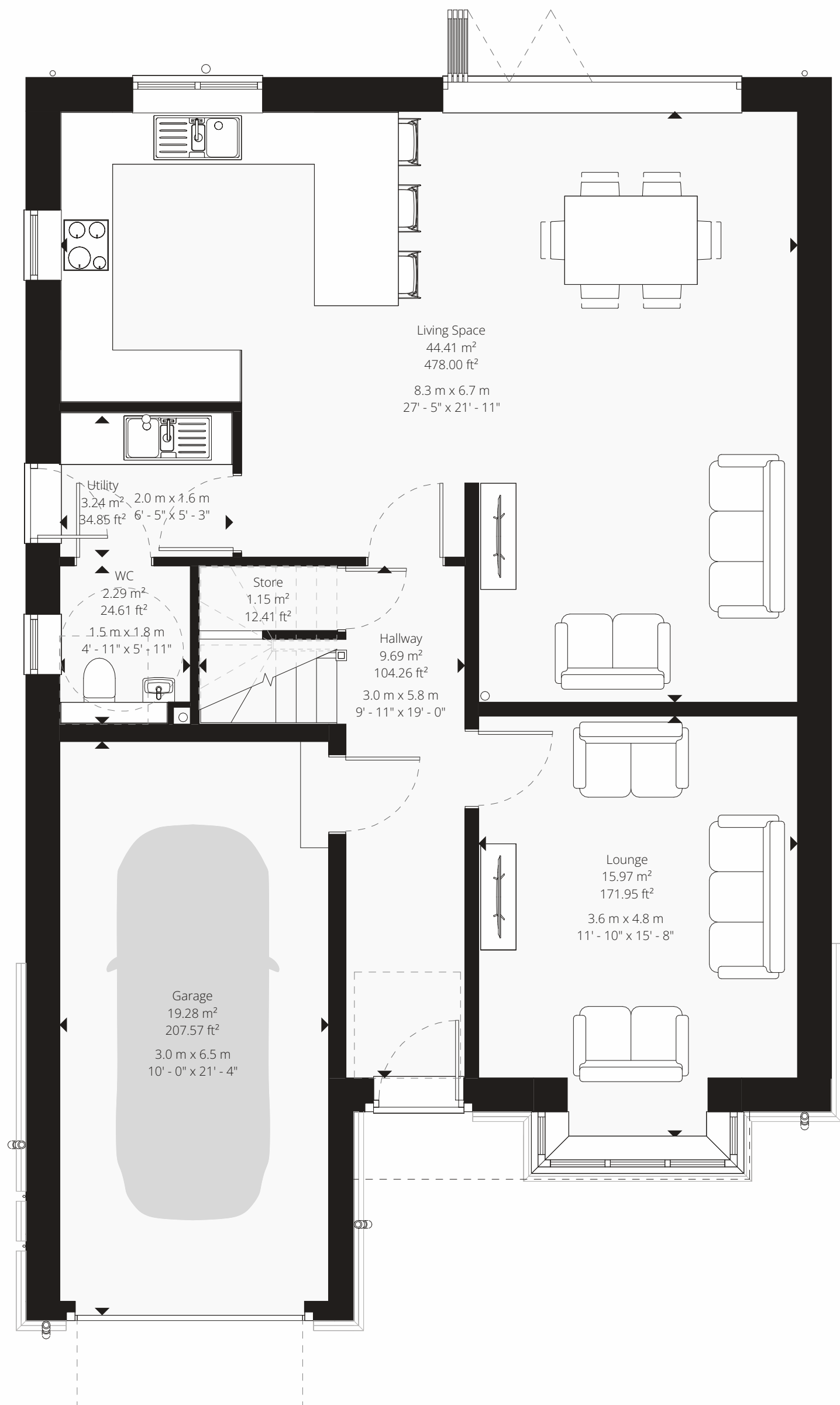
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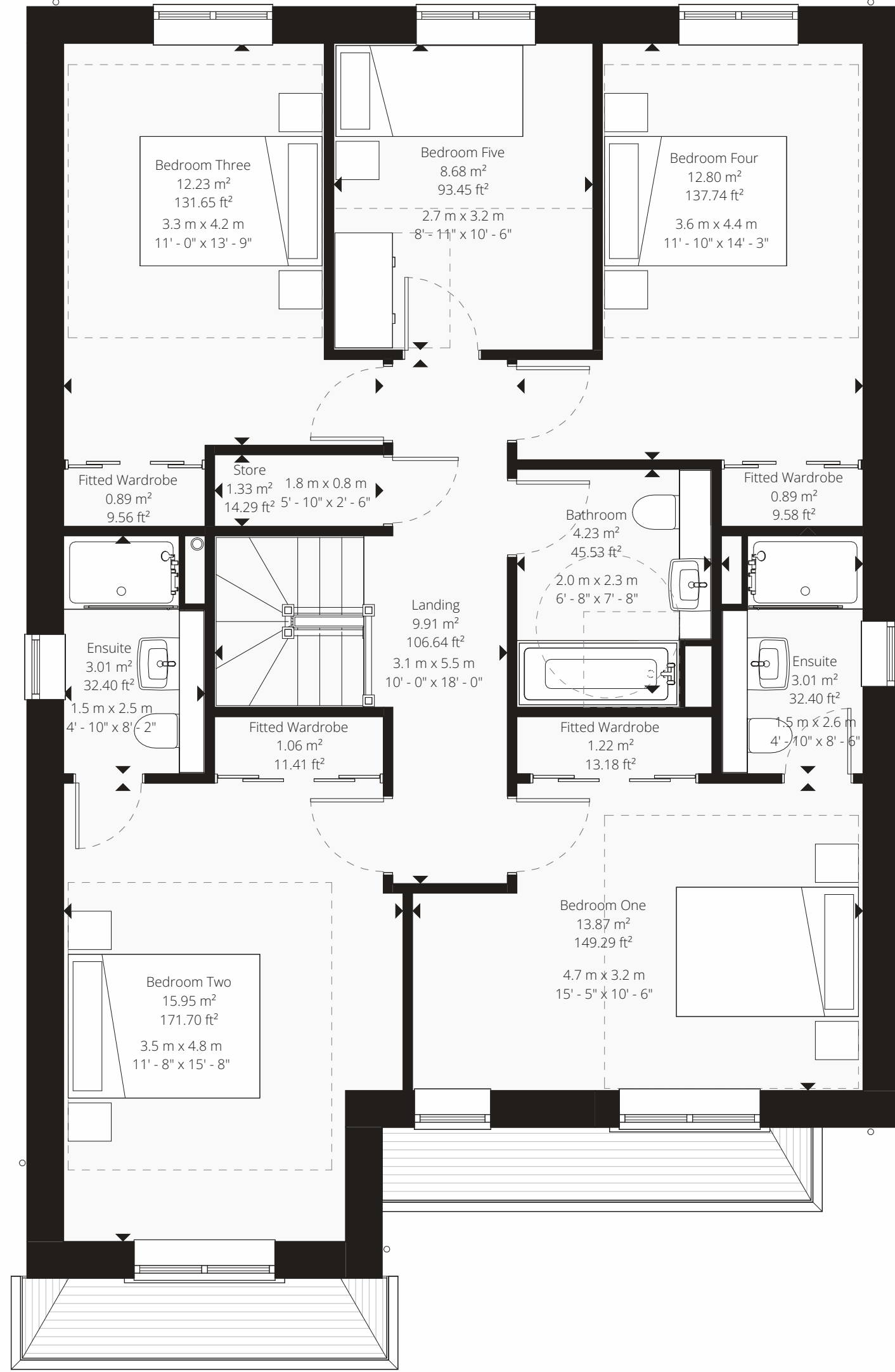
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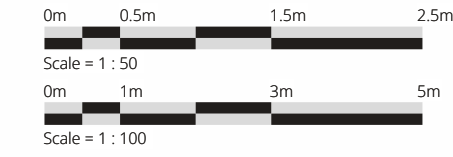
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Ground Floor Plan
1:50



First Floor Plan
1:50



Build Area Schedule			
Ground Floor	80.42 m ²	865.60 ft ²	
First Floor	92.25 m ²	992.93 ft ²	
	172.66 m ²	1858.53 ft ²	

Planning Notes

Solar Panels (PV)

The orientation and roof faces) of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

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Other Brickwork - Red Engineering Brick
Below DPC and Specials to Top of Brick Plinth

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Doors and Windows - RAL 7032 Pebble Grey

Door and Window Detailing - Semi Dry Cast Buff Coloured Artstone Splayed Head with Keystone and Stooded Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Artstone Arrow Slot to Front Elevation
Gables, Brick Plinths to Visible Elevations

Glazing Key	
	Obscured Glazing
	Toughened / Laminated Glazing
	Toughened / Laminated & Obscured Glazing



D: 06/05/2025 Minor Amendments
C: 03/11/2025 Internal Layout Alterations at Client's Request
B: 24/09/2025 Various Changes Following Client Design Review Updated to M4(2) Standards
A: 28/08/2025 First Issue for Client Comment

Rev: Date: Notes:

DRAWING NUMBER: J1192-LAN-PL200 D
DRAWING TITLE: Proposed Floor Plans & Elevations

PROJECT: Springside Road, Walmsley
Lancaster M4(2) [Plots 03, 08 & 09]
CLIENT: Edgefold Homes Ltd.

JOB NUMBER: J1192 DATE: Aug '25 SCALE: As indicated SIZE: A1

PLANNING



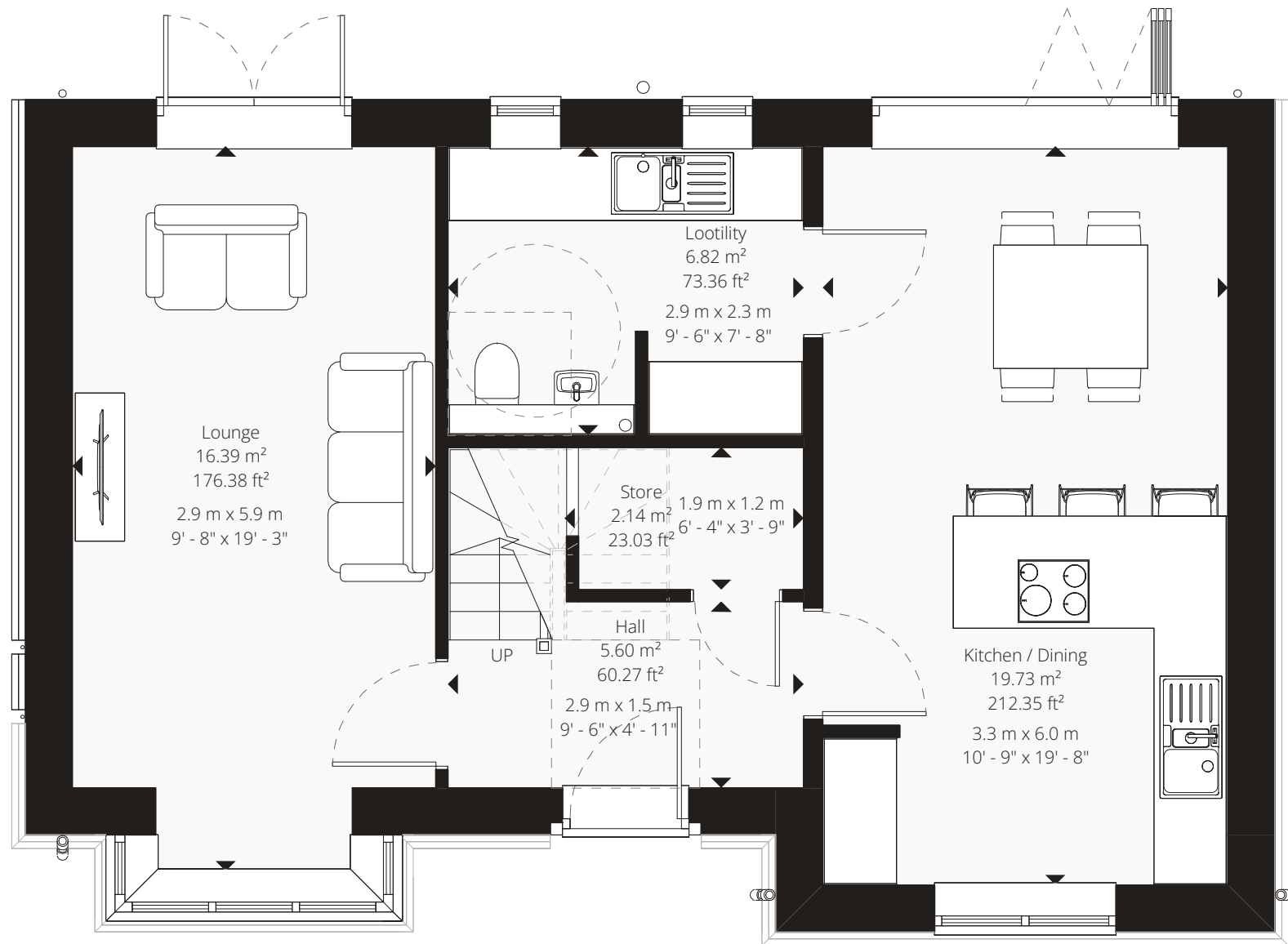
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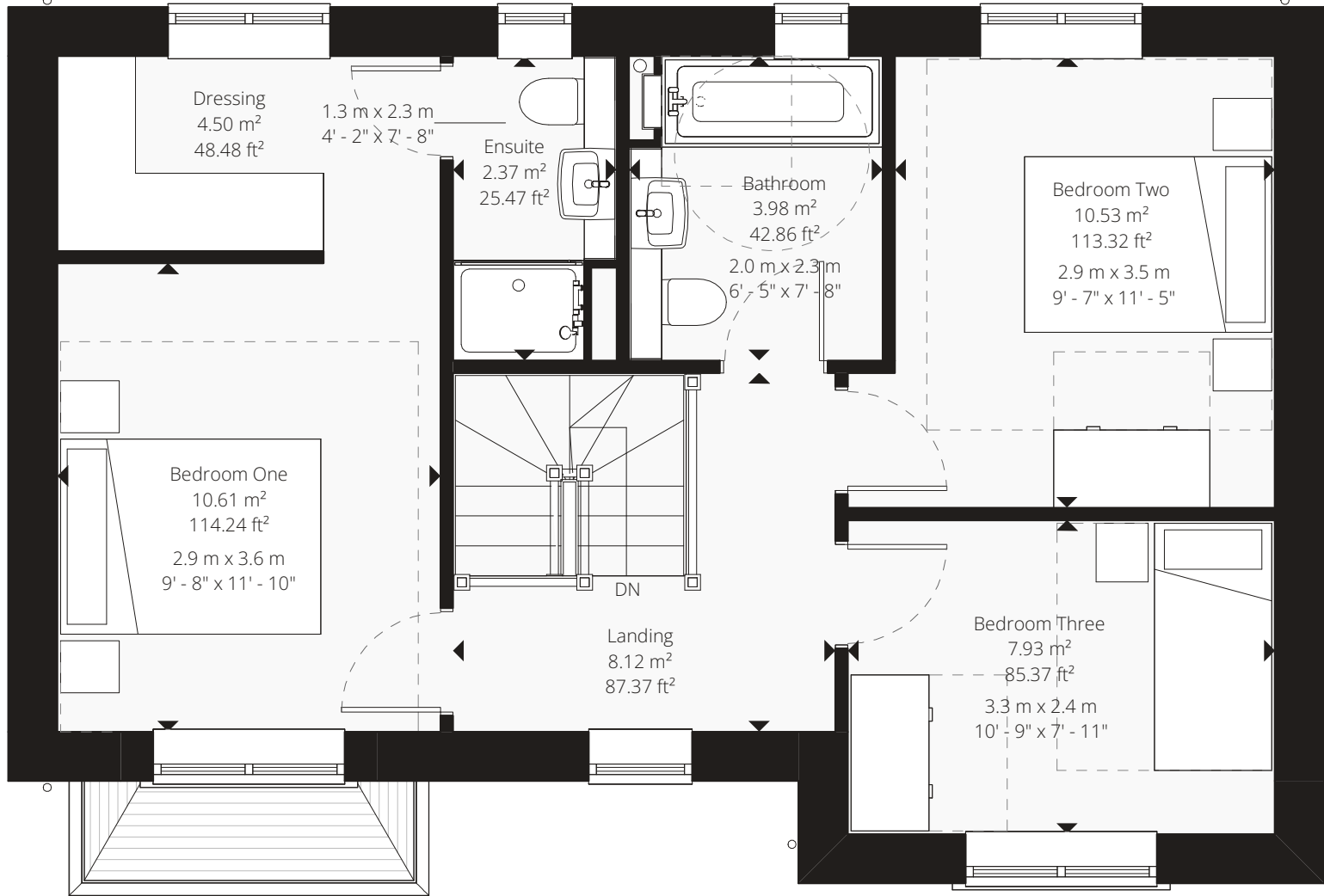
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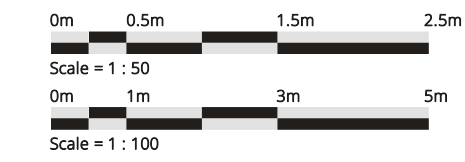
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Ground Floor Plan
1 : 50



First Floor Plan
1 : 50



Build Area Schedule			
Ground Floor	53.12 m ²	571.75 ft ²	
First Floor	52.01 m ²	559.78 ft ²	
	105.12 m ²	1131.53 ft ²	

Planning Notes

Solar Panels (PV)

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Door and Window Detailing - Semi Dry Cast Buff Coloured ARTSTONE Splayed Head with Keystone and Stooled Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Alcstone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
	Obscured Glazing
	Toughened / Laminated Glazing
	Toughened / Laminated & Obscured Glazing



Front Elevation
1 : 100

Left Elevation
1 : 100

Rear Elevation
1 : 100

Right Elevation
1 : 100

E 05/05/2025 Minor Amendment

D 20/04/2025 PP Layout Updated

C 03/11/2025 Internal Layout Alterations at Client's Request

B 24/09/2025 Various Changes Following Client Design Review Update to M40 Standards

A 28/08/2025 First Issue for Client Comment

Rev.

Date

Notes

DRAWING NUMBER

J1192-RIV-PL200

ISSUE

E

DRAWING TITLE

Proposed Floor Plans & Elevations

PROJECT

Springside Road, Walmsley

CLIENT

Rivington [Plots 01 & 12]

CLIENT

Edgefold Homes Ltd.

JOB NUMBER

J1192

DATE

Aug '25

SCALE

As Indicated

SIZE

A1

PLANNING

MANOR

ARCHITECTURE

Manor Architecture Ltd.

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Tel: 01565 740 520

Email: info@manorarchitecture.co.uk

Web: www.manorarchitecture.co.uk

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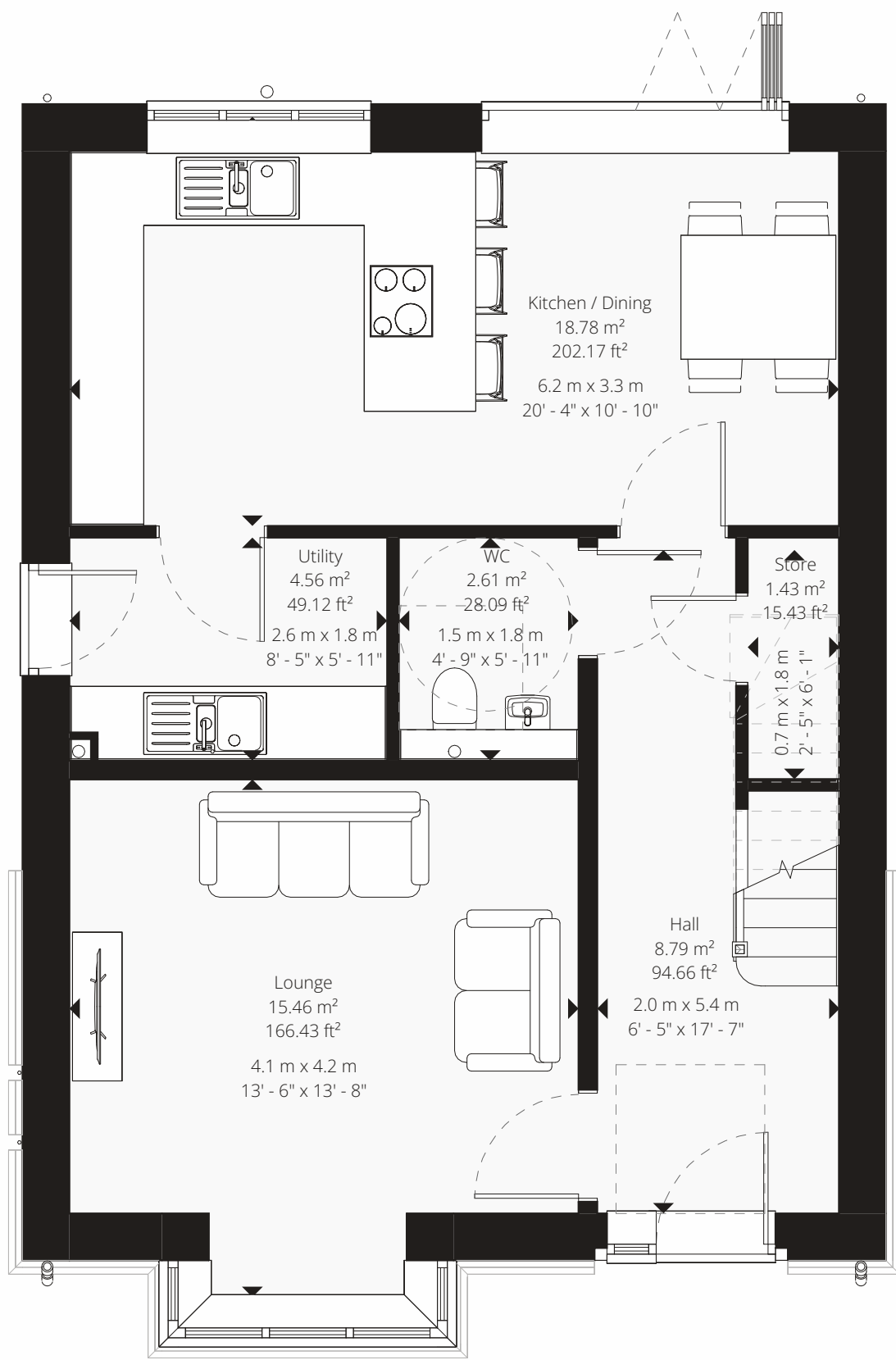
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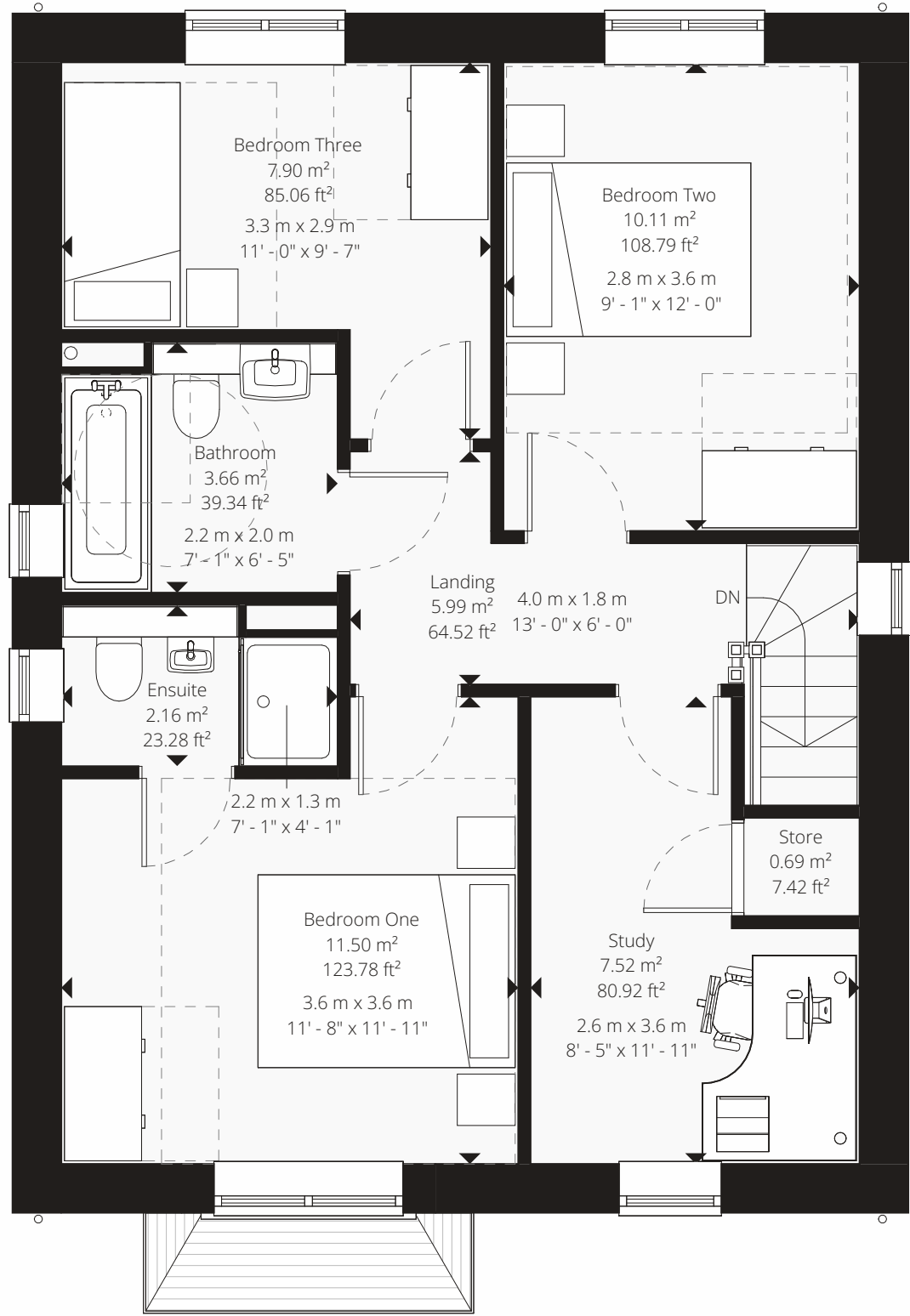
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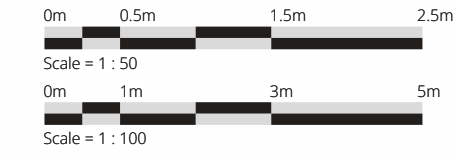
This Drawing Must Not Be Used On Site Unless Issued For Construction.



Ground Floor Plan
1:50



First Floor Plan
1:50



Build Area Schedule			
Floor	Area (m²)	Area (ft²)	Total
Ground Floor	55.09 m²	592.97 ft²	
First Floor	53.98 m²	581.00 ft²	
	109.07 m²	1173.97 ft²	

Planning Notes

Solar Panels (PV)

The orientation and roof faces of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

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Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Artstone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
[OB]	Obscured Glazing
[LM] [TG]	Toughened / Laminated Glazing
[LM/OB] [TG/OB]	Toughened / Laminated & Obscured Glazing



Front Elevation
1:100

Left Elevation
1:100

Rear Elevation
1:100

Right Elevation
1:100

C: 03/11/2025 Internal Layout Alterations at Client's Request
B: 24/09/2025 Various Changes Following Client Design Review Updated to M4(2) Standards
A: 28/08/2025 First Issue for Client Comment

Rev. Date: Notes:

DRAWING NUMBER: J1192-LIG-PL200
DRAWING TITLE: Proposed Floor Plans & Elevations
PROJECT: Springside Road, Walmsley
Lightshaw M4(2)
CLIENT: Edgefold Homes Ltd.

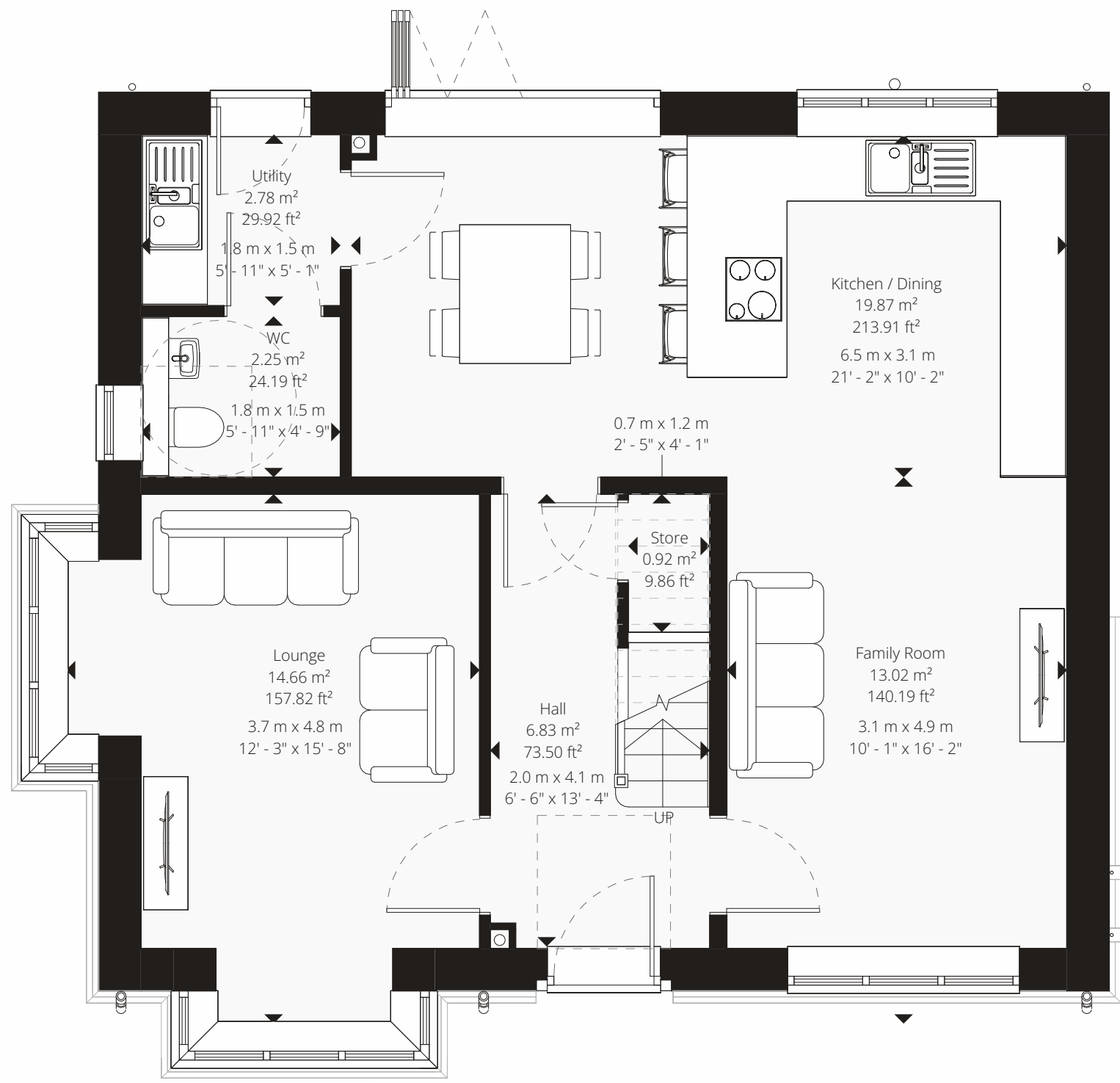
JOB NUMBER: J1192
DATE: Aug '25
SCALE: As indicated
SIZE: A1

PLANNING

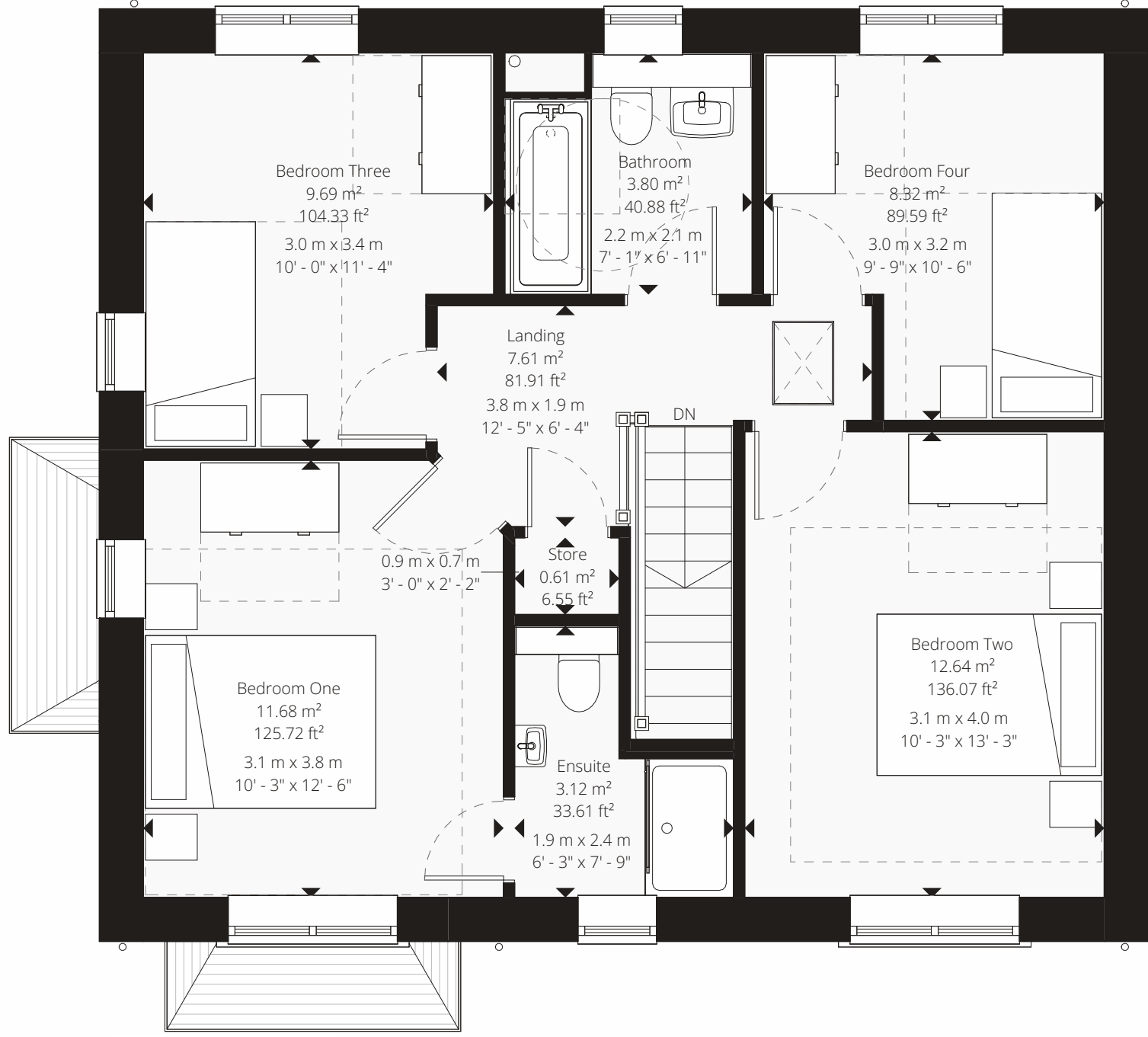


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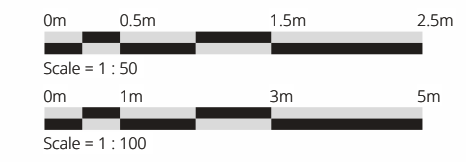
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Ground Floor Plan
1:50



First Floor Plan
1:50



Build Area Schedule Plot with Bay			
Ground Floor	65.35 m ²	703.44 ft ²	
First Floor	62.02 m ²	667.53 ft ²	
	127.37 m ²	1370.97 ft ²	

Build Area Schedule Plot Without Bay			
Ground Floor	64.24 m ²	691.47 ft ²	
First Floor	62.02 m ²	667.53 ft ²	
	126.26 m ²	1359.00 ft ²	

Planning Notes

Solar Panels (PV)

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Fascia, Soffit and Rainwater Goods - Black uPVC

Other Details - Semi Dry Cast Buff Coloured Aristone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
	Obscured Glazing
	Toughened / Laminated Glazing
	Toughened / Laminated & Obscured Glazing



Front Elevation
1:100

Left Elevation
1:100

Rear Elevation
1:100

Right Elevation
1:100

D 23/06/2025 Bay Removed
C 06/05/2025 Minor Amendment
B 24/09/2025 Various Changes Following Client Design Review Updated to M4(2) Standards
A 28/08/2025 First Issue for Client Comment

Rev. Date: Notes:

DRAWING NUMBER: J1192-KEN-PL201
DRAWING TITLE: Proposed Floor Plans & Elevations
PROJECT: Springside Road, Walmsley
CLIENT: Kenyon M4(2)
Edgefold Homes Ltd.

JOB NUMBER: J1192
DATE: Aug '25
SCALE: As indicated
SIZE: A1

PLANNING



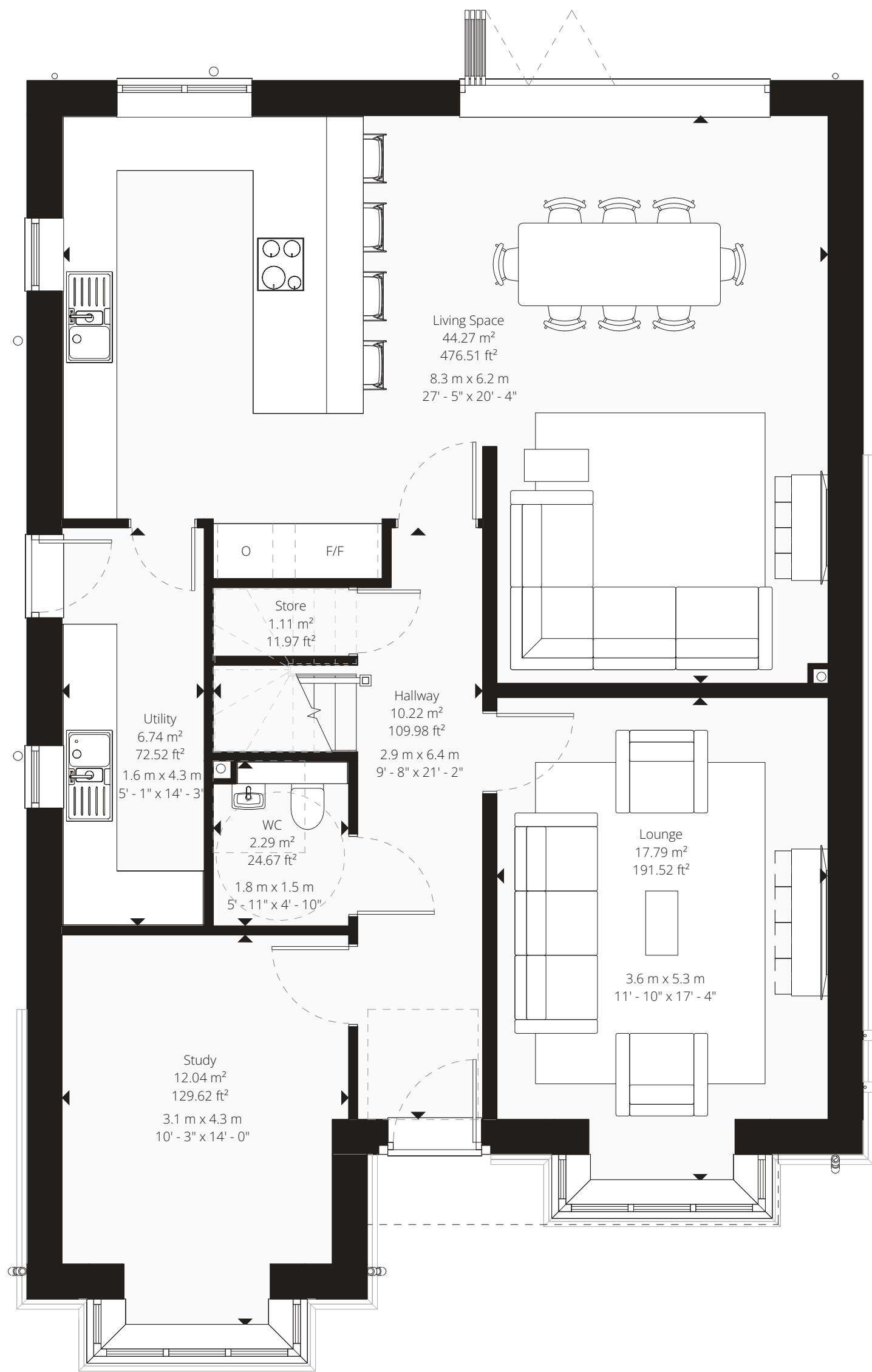
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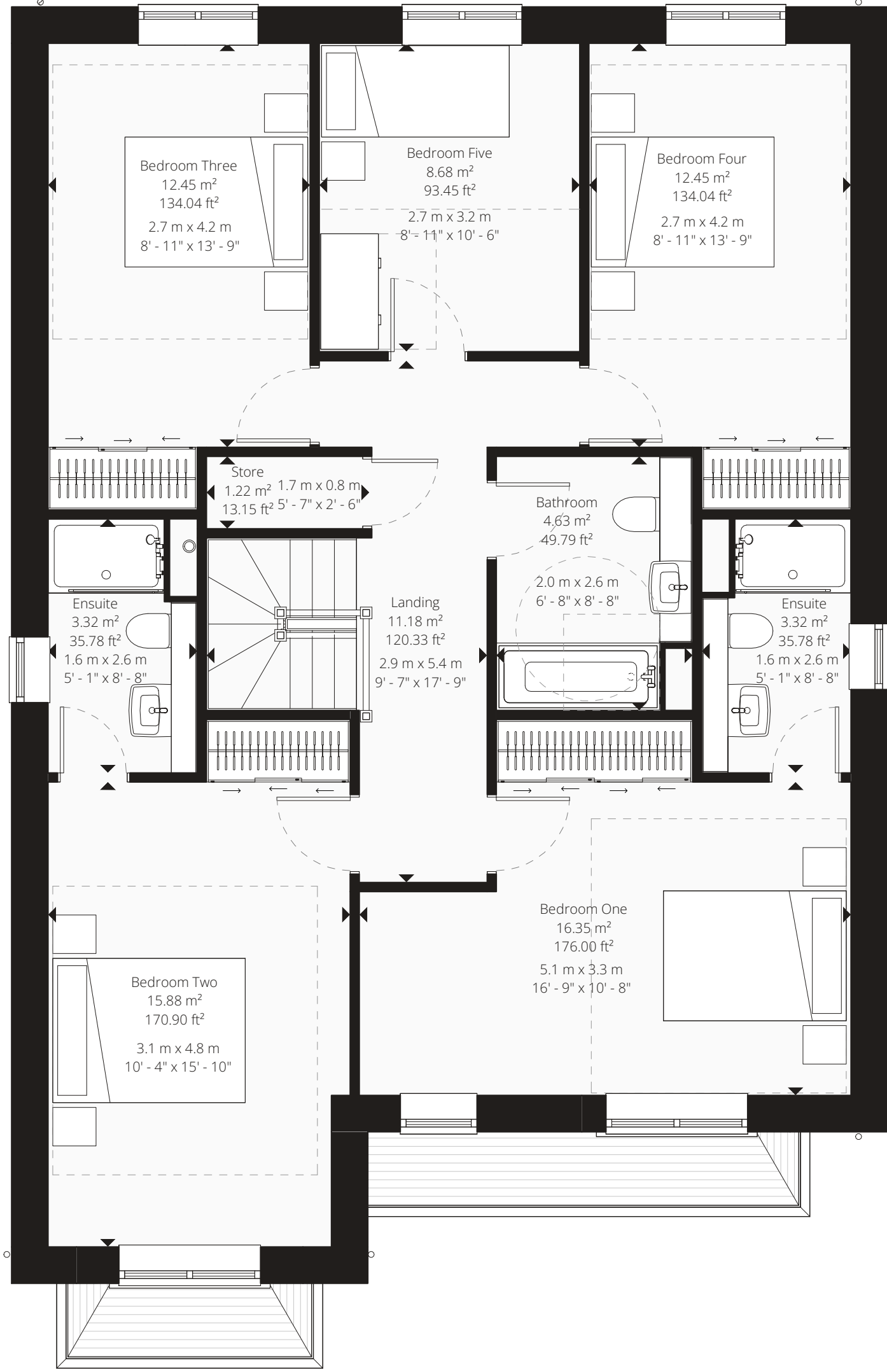
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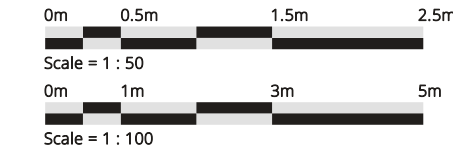
This Drawing Must Not Be Used On Site Unless Issued For Construction.



Ground Floor Plan
1:50



First Floor Plan
1:50



Build Area Schedule			
Floor	Area (m²)	Area (ft²)	Total
Ground Floor	99.19 m²	1067.69 ft²	
First Floor	92.25 m²	992.93 ft²	
	191.44 m²	2060.62 ft²	

Planning Notes

Solar Panels (PV)

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Glazing Key	
[OB]	Obscured Glazing
[LM] [TG]	Toughened / Laminated Glazing
[LM/OB] [TG/OB]	Toughened / Laminated & Obscured Glazing



C: 2024/2025: Minor Amendment to Internal Layout
B: 19/05/2024: Internal Layout Re-arranged
A: 19/05/2024: First Issue

Rev. Date: Notes

DRAWING NUMBER: J1192-LAN2-PL200
DRAWING TITLE: Proposed Floor Plans & Elevations

PROJECT: Springside Road, Walmsley
LancasterTwo M4(2) [Plot 04]
CLIENT: Edgefold Homes Ltd.

JOB NUMBER: J1192
DATE: May '26
SCALE: As Indicated
SIZE: A1



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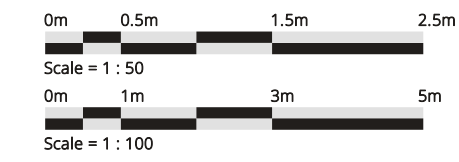
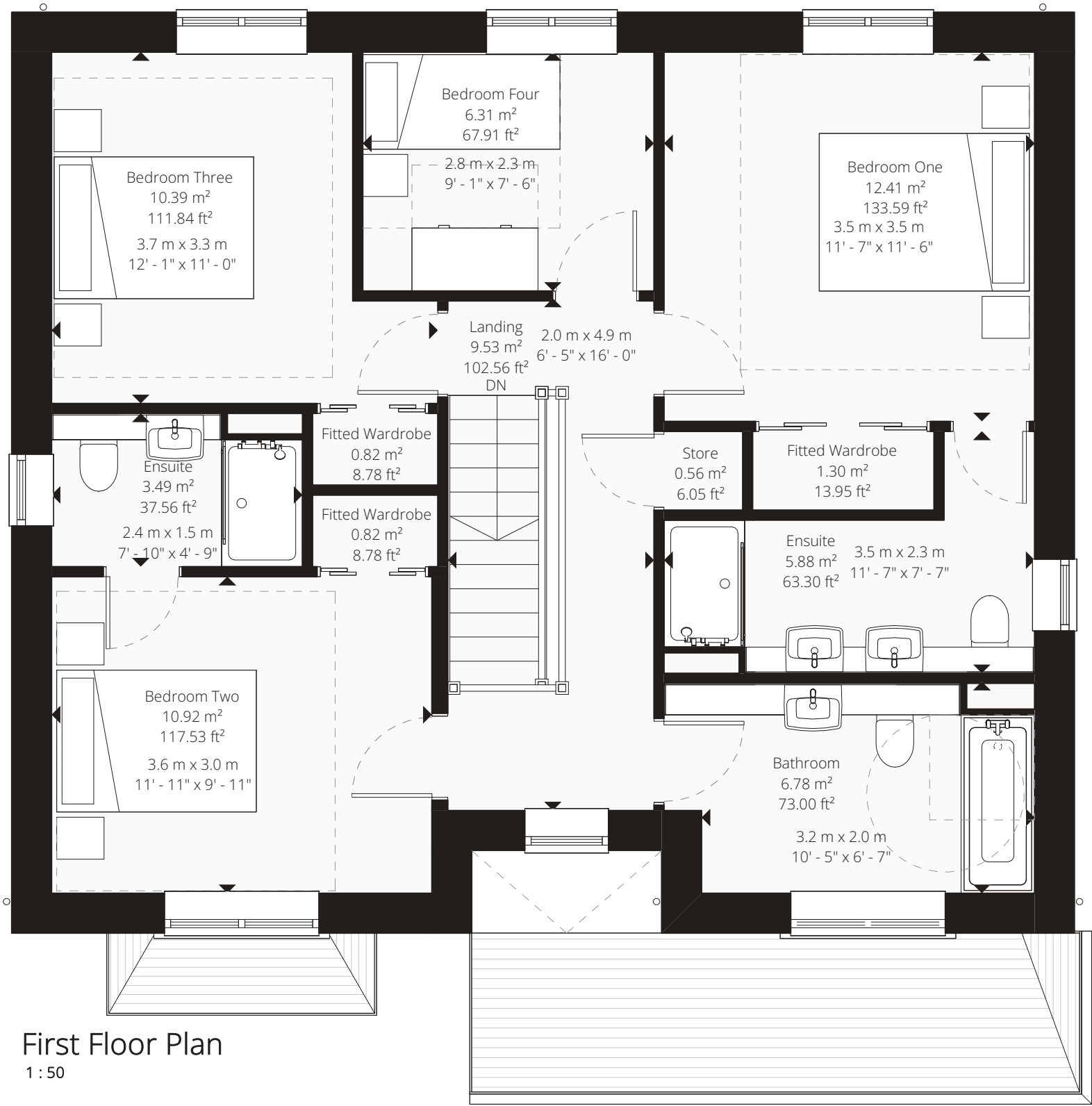
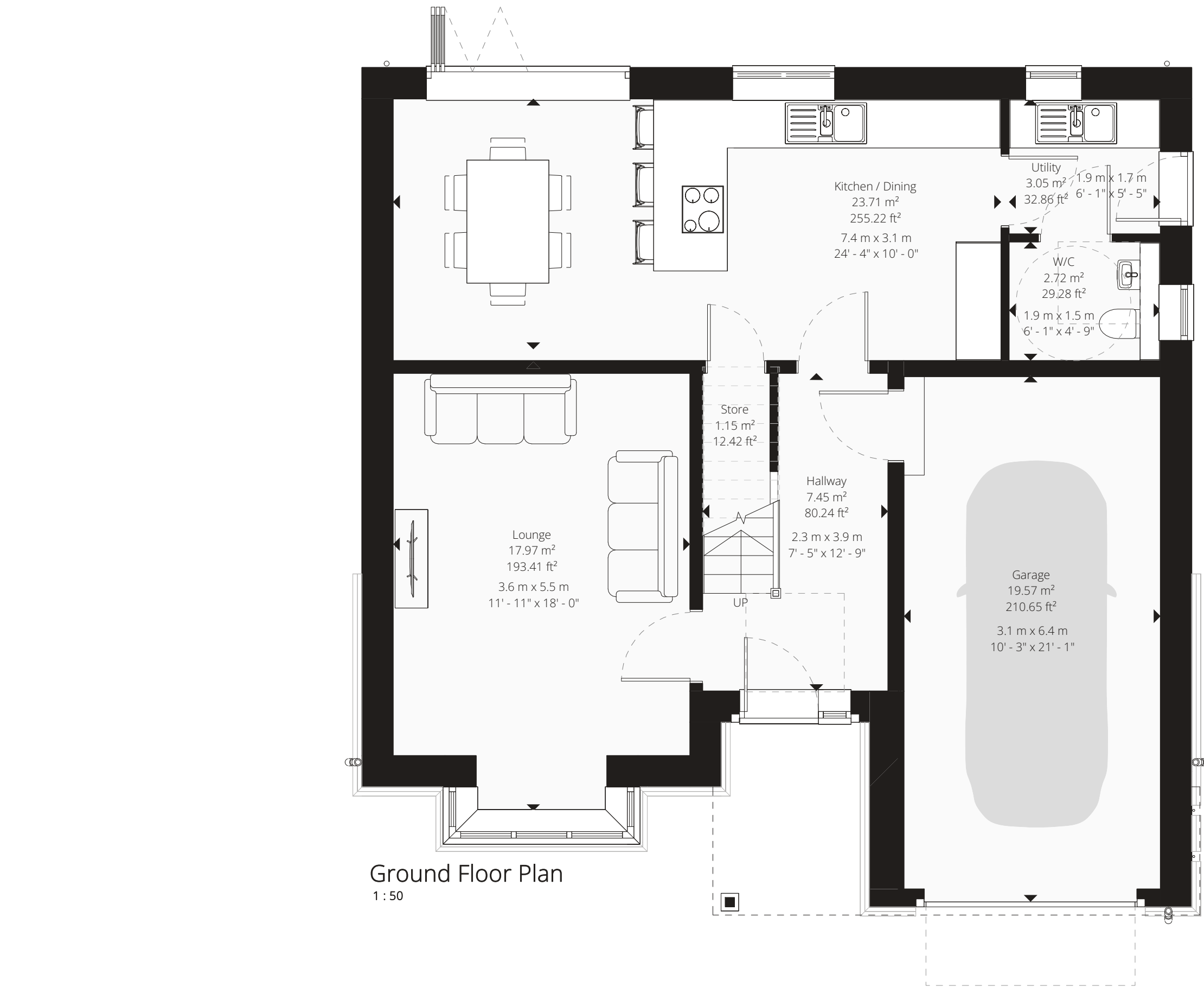
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Build Area Schedule			
Ground Floor	59.15 m²	636.64 ft²	
First Floor	73.86 m²	795.07 ft²	
	133.01 m²	1431.70 ft²	

Planning Notes

Solar Panels (PV)

The orientation and roof faces of PV panels may vary by plot and house type, as it is dependent on achieving optimum energy generation. The final orientation and specific roof faces used (which may be one or multiple) will be confirmed after a plot-specific SAP assessment is completed.

Furthermore, the final layout and number of panels will be determined by the PV installer's design. This design will ensure that the minimum kilowatt-peak (kWp) established by the SAP assessment is achieved.

EV Charge Points

The position of any EV charge point is indicative only. Its final placement will be confirmed to suit the parking configuration of the plot.

Material Key

Facing Brickwork: Cheshire Red Brick

Other Brickwork: Red Engineering Brick Below DPC and Specials to Top of Brick Plinth

Roof Tiles: Dark Grey Concrete Tile

Doors and Windows: RAL 7032 Pebble Grey

Door and Window Detailing: Semi Dry Cast Buff Coloured Artstone Splayed Head with Keystone and Stooled Cills to Outward Facing Elevations, Brick Solder Course Head and Cills to All Others

Fascia, Soffit and Rainwater Goods: Black uPVC

Other Details: Semi Dry Cast Buff Coloured Artstone Arrow Slot to Front Elevation Gables, Brick Plinths to Visible Elevations

Glazing Key	
[OB]	Obscured Glazing
[LM] [TG]	Toughened / Laminated Glazing
[LM/OB] [TG/OB]	Toughened / Laminated & Obscured Glazing



D: 24/11/2025 Minor Amendment
C: 03/11/2025 Internal Layout Alterations at Client's Request
B: 24/09/2025 Various Changes Following Client Design Review Updated to M4(2) Standards
A: 28/08/2025 First Issue for Client Comment

Rev.	Date	Notes
A	28/08/2025	First Issue for Client Comment

DRAWING NUMBER J1192-MAR-PL200 **ISSUE** D

DRAWING TITLE Proposed Floor Plans & Elevations

PROJECT Springside Road, Walmsley
Marley M4(2) [Plot 06]
CLIENT Edgefold Homes Ltd.

JOB NUMBER	DATE	SCALE	SIZE
J1192	Aug '25	As Indicated	A1

PLANNING

MANOR ARCHITECTURE

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CIAT
REGISTERED ARCHITECT

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Plots 05 - 12



Plots 01 - 04

D 14/05/2025 Updated to Latest Site Layout
C 24/09/2025 Various Changes Following Client Review Updated to
B 10/09/2025 Garages Shown for Kermans
A 09/09/2025 First Issue
Rev. Date: Notes:

DRAWING NUMBER: J1192-WS-PL103 D
DRAWING TITLE: Indicative Street Elevations

PROJECT: Springside Road, Walmersley

CLIENT: Edgefold Homes Ltd.

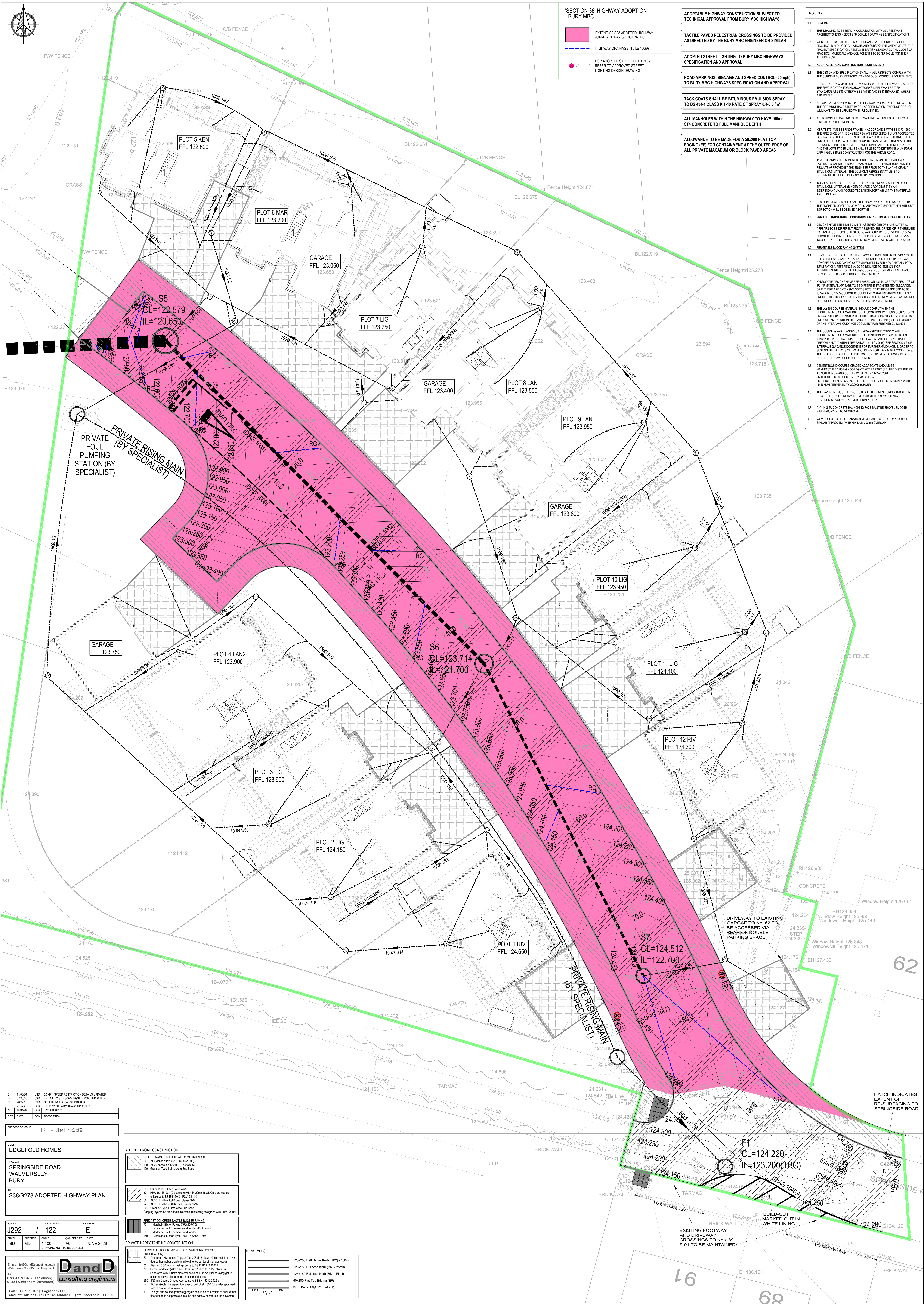
JOB NUMBER: J1192 DATE: Sep '25 SCALE: 1 : NT5 SIZE: A1

INFORMATION



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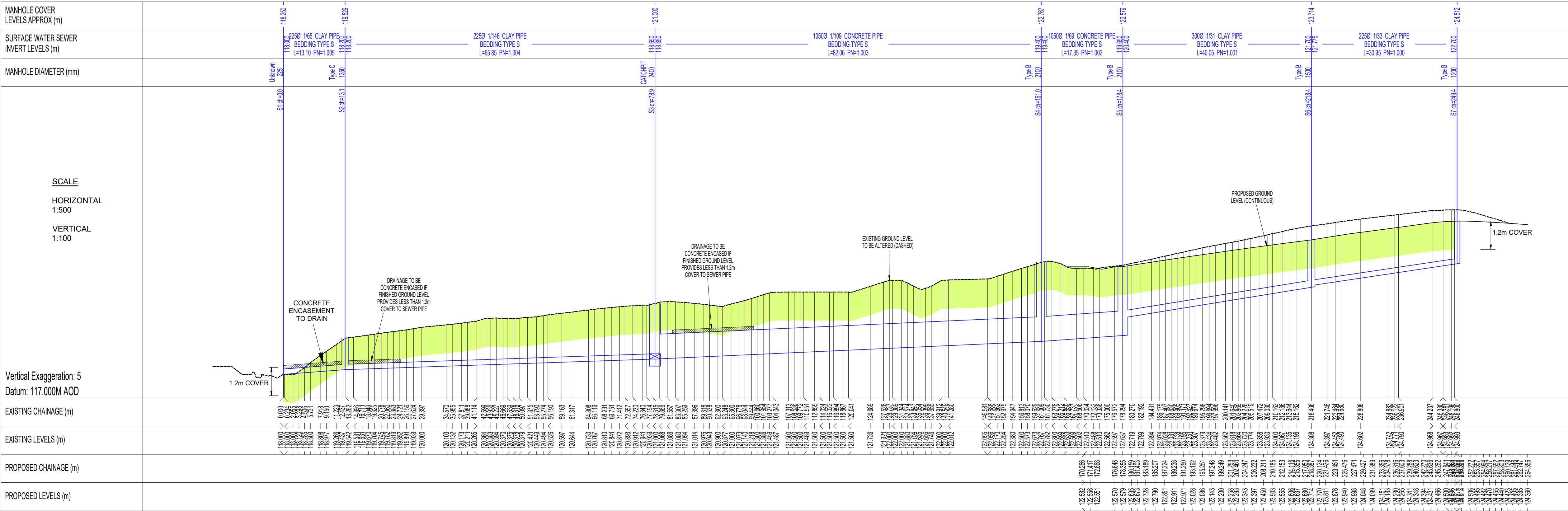


10	GENERAL
11	THE DRAWING TO BE USED IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS' ENGINEERS' SPECIALIST DRAWINGS & SPECIFICATIONS
12	WORK TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOOD PRACTICE, BUILDING REGULATIONS AND SUBSEQUENT AMENDMENTS, THE PRESENT DRAWING, THE RELEVANT CONTRACT DOCUMENTS AND CODES OF PRACTICE. MATERIALS AND COMPONENTS TO BE SUITABLE FOR THEIR INTENDED USE.
13	2.0 ADAPTABLE ROAD CONSTRUCTION REQUIREMENTS
14	THE CURRENT PAVEMENT CONSTRUCTION SHALL IN ALL RESPECTS COMPLY WITH THE DESIGN BURY METROPOLITAN COUNCIL COUNCIL REQUIREMENTS.
15	CONSTRUCTION MATERIALS TO COMPLY WITH THE RELEVANT CLAUSE OF THE STANDARD SPECIFICATION FOR ROADWORKS. EVIDENCE OF SUCH STANDARDS (UNLESS OTHERWISE STATED) ARE TO REMAINED (WHERE APPLICABLE).
16	ALL OPERATIONS WORKING ON THE HIGHWAY WORKS INCLUDING WITHIN THE ROADWAY SHALL BE CONDUCTED IN ACCORDANCE WITH THE REGULATIONS WHICH WILL HAVE TO BE SUPPLIED WHEN REQUESTED.
17	ALL BITUMINOUS MATERIALS TO BE MACHINE LAID UNLESS OTHERWISE SPECIFIED.
18	CRB TESTS MUST BE UNDERTAKEN IN ACCORDANCE WITH BS 1377 1990 IN THE PRESENCE OF THE ENGINEER BY AN INDEPENDENT AS WORKS ACCREDITED TO THE BS 1377 1990 STANDARD. THE TESTS SHALL BE CARRIED OUT AT THE END OF EACH ROAD AT FURTHER POINTS A MAXIMUM OF 10M APART. THE RESULTS SHALL BE OBTAINED AND REPORTED TO THE ENGINEER. THE HIGHEST AND THE LOWEST CRB VALUE SHALL BE USED TO DETERMINE A LAIORM CLASSIFICATION FOR CONSTRUCTION OF THE WHOLE ROAD.
19	"PLATE BEARING" TESTS MUST BE UNDERTAKEN ON THE GRANULAR LAYERS, BY AN INDEPENDENT AS WORKS ACCREDITED TO LAIORM TESTS APPROVED BY THE ENGINEER PRIOR TO THE LAYING OF ANY LAYERS. THE RESULTS SHALL BE OBTAINED AND REPORTED TO THE ENGINEER TO DETERMINE A LAIORM CLASSIFICATION FOR CONSTRUCTION OF THE WHOLE ROAD.
20	"NUCLEA DENSITY TESTS" MUST BE UNDERTAKEN ON ALL LAYERS OF MATERIALS TO BE LAYED. THE TESTS SHALL BE CARRIED OUT BY AN INDEPENDENT AS WORKS ACCREDITED TO LAIORM TESTS APPROVED BY THE ENGINEER PRIOR TO THE LAYING OF ANY LAYERS.
21	IT WILL BE NECESSARY FOR ALL THE ABOVE WORK TO BE UNDERTAKEN BY THE ENGINEER OR CLERK OF WORKS. ANY WORKS UNDERTAKEN WITHOUT THE ENGINEER'S PERMISSION WILL BE AT THE CONTRACTOR'S RISK.
22	3.0 PAVEMENT CONSTRUCTION REQUIREMENTS
23	DESIGNS HAVE BEEN BASED ON AN ASSUMED CRB OF 10 MATERIAL. APPEARS TO BE DIFFICULT FOR ASSUMED SUBGRADE OR, IF THERE ARE EXTENSIVE SPOOTS, TEST SUBGRADE CAR TO BS1374 OR BS1379 TO DETERMINE THE OBTAIN NEEDED IMPROVEMENT PROCEDURE. IF <4% INCORPORATION OF SUBGRADE IMPROVEMENT LAYER WILL BE REQUIRED.
24	4.0 PERMISSIBLE FLOW PAVING SYSTEM
25	CONSTRUCT TO BE STRICTLY IN ACCORDANCE WITH PORTKABLE'S TOTAL QUALITY MANAGEMENT SYSTEM. THE CONTRACTOR SHALL PROVIDE THEIR HYDRO-PNEUMATIC FLOW PAVING SYSTEM (PROVIDING FLOW TO TERMINAL SITE) WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL PROVIDE TO INTERVIEWEES QUOTE FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF THE FLOW PAVING SYSTEM.
26	HYDRO-PNEUMATIC DESIGNS HAVE BEEN BASED ON MUSTY CRB TEST RESULTS OF 6% (IF MATERIAL APPEARS TO BE DIFFERENT FROM TESTED SUBGRADE). THE CONTRACTOR SHALL PROVIDE TO INTERVIEWEES QUOTE FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF THE FLOW PAVING SYSTEM. THE CONTRACTOR SHALL PROVIDE TO INTERVIEWEES QUOTE FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF THE FLOW PAVING SYSTEM.
27	THE LAYING COURSE MATERIAL SHOULD COMPLY WITH THE REQUIREMENTS OF A MATERIAL OF designation type 2.5.3.6.8.9.10.11.12.13.14.15.16.17.18.19.20.21.22.23.24.25.26.27.28.29.30.31.32.33.34.35.36.37.38.39.40.41.42.43.44.45.46.47.48.49.50.51.52.53.54.55.56.57.58.59.60.61.62.63.64.65.66.67.68.69.70.71.72.73.74.75.76.77.78.79.80.81.82.83.84.85.86.87.88.89.90.91.92.93.94.95.96.97.98.99.100.101.102.103.104.105.106.107.108.109.110.111.112.113.114.115.116.117.118.119.120.121.122.123.124.125.126.127.128.129.130.131.132.133.134.135.136.137.138.139.140.141.142.143.144.145.146.147.148.149.150.151.152.153.154.155.156.157.158.159.160.161.162.163.164.165.166.167.168.169.170.171.172.173.174.175.176.177.178.179.180.181.182.183.184.185.186.187.188.189.190.191.192.193.194.195.196.197.198.199.200.201.202.203.204.205.206.207.208.209.210.211.212.213.214.215.216.217.218.219.220.221.222.223.224.225.226.227.228.229.230.231.232.233.234.235.236.237.238.239.240.241.242.243.244.245.246.247.248.249.250.251.252.253.254.255.256.257.258.259.260.261.262.263.264.265.266.267.268.269.270.271.272.273.274.275.276.277.278.279.280.281.282.283.284.285.286.287.288.289.290.291.292.293.294.295.296.297.298.299.300.301.302.303.304.305.306.307.308.309.310.311.312.313.314.315.316.317.318.319.320.321.322.323.324.325.326.327.328.329.330.331.332.333.334.335.336.337.338.339.340.341.342.343.344.345.346.347.348.349.350.351.352.353.354.355.356.357.358.359.360.361.362.363.364.365.366.367.368.369.370.371.372.373.374.375.376.377.378.379.380.381.382.383.384.385.386.387.388.389.390.391.392.393.394.395.396.397.398.399.400.401.402.403.404.405.406.407.408.409.410.411.412.413.414.415.416.417.418.419.420.421.422.423.424.425.426.427.428.429.430.431.432.433.434.435.436.437.438.439.440.441.442.443.444.445.446.447.448.449.450.451.452.453.454.455.456.457.458.459.460.461.462.463.464.465.466.467.468.469.470.471.472.473.474.475.476.477.478.479.480.481.482.483.484.485.486.487.488.489.490.491.492.493.494.495.496.497.498.499.500.501.502.503.504.505.506.507.508.509.510.511.512.513.514.515.516.517.518.519.520.521.522.523.524.525.526.527.528.529.530.531.532.533.534.535.536.537.538.539.540.541.542.543.544.545.546.547.548.549.550.551.552.553.554.555.556.557.558.559.560.561.562.563.564.565.566.567.568.569.570.571.572.573.574.575.576.577.578.579.580.581.582.583.584.585.586.587.588.589.590.591.592.593.594.595.596.597.598.599.600.601.602.603.604.605.606.607.608.609.610.611.612.613.614.615.616.617.618.619.620.621.622.623.624.625.626.627.628.629.630.631.632.633.634.635.636.637.638.639.640.641.642.643.644.645.646.647.648.649.650.651.652.653.654.655.656.657.658.659.660.661.662.663.664.665.666.667.668.669.670.671.672.673.674.675.676.677.678.679.680.681.682.683.684.685.686.687.688.689.690.691.692.693.694.695.696.697.698.699.700.701.702.703.704.705.706.707.708.709.710.711.712.713.714.715.716.717.718.719.720.721.722.723.724.725.726.727.72

KERB TYPES

The diagram illustrates five different kerb profiles, each represented by a horizontal line with a specific cross-section shape. Below the profiles are labels: HB2, BN, and EF. The fifth profile is labeled with its gradient.

- 125x255 Half Batter Kerb (HB2) - 100mm
- 125x150 Bullnose Kerb (BN) - 25mm
- 125x150 Bullnose Kerb (BN) - Flush
- 50x200 Flat Top Edging (EF)
- Drop Kerb (1@1:12 gradient)



S104 SURFACE WATER MANHOLE SCHEDULE							
MH No.	MANHOLE DIMENSION (mm)	MANHOLE TYPE	COVER TYPE	COVER LEVEL (m)	INVERT LEVEL (m)	DEPTH TO SOFFIT (m)	NORTHING (m)
S1	OUTFALL	Type C	D400	119.529	118.000	1.529	413715.344
S2	13500	CONTROL	D400	121.000	118.650	2.350	413714.824
S3	24000	Type B	D400	122.767	119.400	3.367	413675.583
S4	21000	Type B	D400	122.579	119.650	2.929	413619.074
S5	21000	Type B	D400	123.714	121.700	2.014	413619.960
S6	15000	Type B	D400	124.512	122.700	1.812	413591.455
S7	12000	Type B	D400				413563.884

- NOTES -
- 1.0 GENERAL**
- 1.1 THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS AND SPECIALIST DRAWINGS & SPECIFICATIONS.
- 1.2 WORK TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOOD PRACTICE, BUILDING REGULATIONS AND SUBSEQUENT AMENDMENTS, THE PROJECT SPECIFICATION, RELEVANT BRITISH STANDARDS AND CODES OF PRACTICE. MATERIALS AND COMPONENTS TO BE SUITABLE FOR THEIR INTENDED USE.
- 1.3 FOR SETTING OUT REFER TO ARCHITECTS DRAWINGS.
- 4.0 ADOPTABLE DRAINAGE (UNITED UTILITIES)**
- 4.1 ALL ADOPTABLE SEWER WORKS AND MATERIAL TO BE IN ACCORDANCE WITH SEWAGE SECTOR GUIDANCE - APPENDIX C- DESIGN AND CONSTRUCTION GUIDANCE, THE RELEVANT BRITISH/EUROPEAN STANDARDS AND UNITED UTILITIES REQUIREMENTS.
- 4.2 THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING UNITED UTILITIES PLC DRAWINGS CONTAINING THEIR DEVELOPER SERVICES STANDARD DETAILS -
- STND/19/001A - DETAIL 1 - MANHOLE TYPE 1
 - STND/19/002A - DETAIL 2 - MANHOLE TYPE 2
 - STND/19/003A - DETAIL 3 - MANHOLE TYPE 4
 - STND/19/004A - SW SHALLOW MANHOLE
 - STND/19/005A - FLOW CONTROL MANHOLE
 - STND/19/007A - EXTERNAL BACKDROP DETAIL
 - STND/19/008A - PIPE BEDDING DETAIL
 - STND/19/010A - VARIABLE MANHOLE FEATURES
 - STND/19/011A - HEADWALL TYPE 1 DETAIL
 - STND/19/012A - HEADWALL TYPE 2 AND DETAILS
- 4.3 MANHOLE COVERS SHALL HAVE A CLEAR OPENING OF 600mm AND SHALL BE CLASS D400 TO BS EN 124 WITH 150mm DEEP FRAMES IN HIGHWAYS.
- 4.4 COVER SLABS MUST CARRY THE BSI KITEMARK. WHERE THE CLEAR OPENING OF THE KITE MARKED PRODUCT IS DIFFERENT TO THAT OF THE COVER AND FRAME A LONG BEARING SLAB SHOULD BE FITTED ABOVE THE COVER SLAB TO BRING THE SIZE DOWN TO 600mm X 600mm. PLEASE REFER TO CONCRETE PIPES SYSTEMS ASSOCIATION (CPSA) TECHNICAL BULLETIN AUTUMN 2004 FOR KITEMARKED COVER SLAB OPENING SIZES.

CONCRETE SURROUND/PROTECTION TO BE PROVIDED TO ANY ADOPTED PIPEWORK WITH LESS THAN 1.2m COVER.

ALL LATERAL CONNECTIONS TO THE ADOPTED SYSTEM TO BE MADE AT LEVEL SOFFITS.

ALL PIPE BEDDING TO BE CLASS 'S' UNLESS NOTED OTHERWISE

C	16/07/26	JSD	LAYOUT UPDATED.
B	27/05/26	JSD	LAYOUT UPDATED.
A	19/02/26	JSD	LAYOUT UPDATED.
REV	DATE	DRN	DESCRIPTION

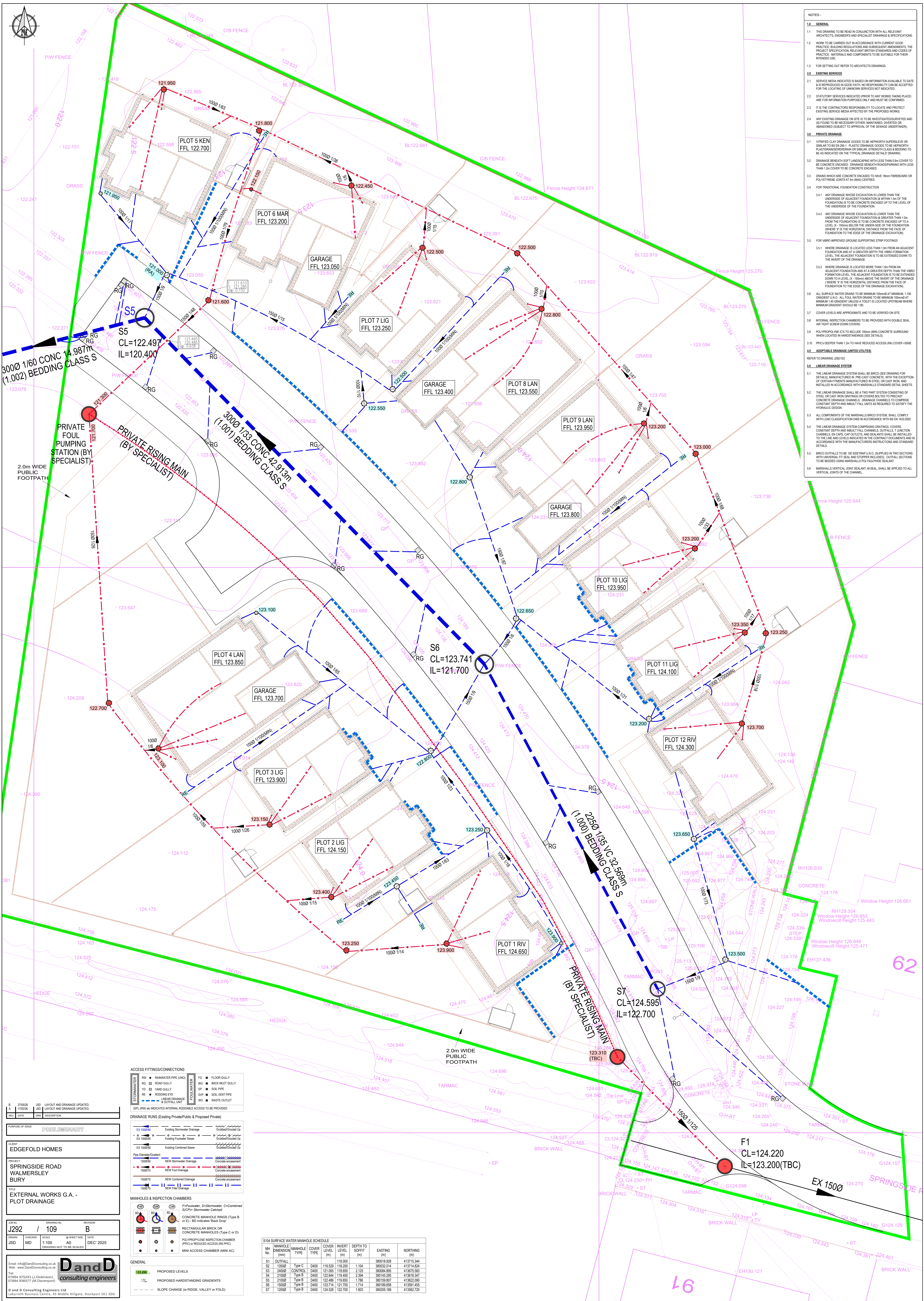
PURPOSE OF ISSUE PRELIMINARY

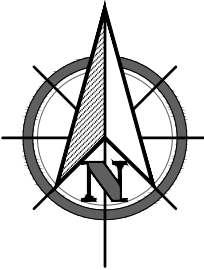
CLIENT
EDGEFOLD HOMES

PROJECT
SPRINGSIDE ROAD
WALMERSLEY
BURY

TITLE
S104 LONGITUDINAL SECTION -
SURFACE WATER SEWER

JOB No.	DRAWING No.	REVISION
J292	/ 115	C
DRAWN	CHECKED	SCALE
JSD	MD	AS NOTED
@ SHEET SIZE	DATE	
A1	SEPT' 2025	
DRAWING NOT TO BE SCALED		



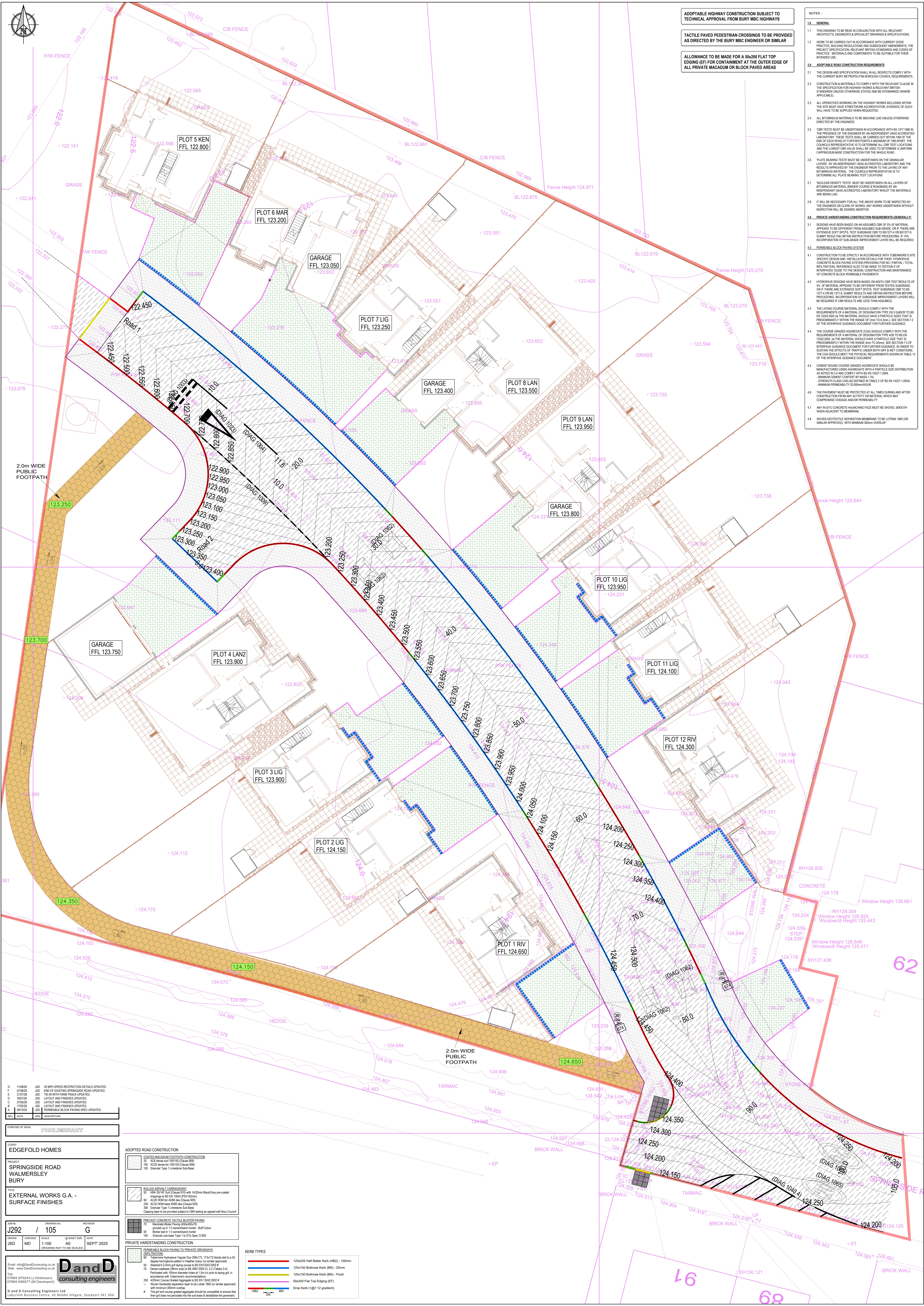


ADOPTABLE HIGHWAY CONSTRUCTION SUBJECT TO
TECHNICAL APPROVAL FROM BURY MBC HIGHWAYS

TACTILE PAVED PEDESTRIAN CROSSINGS TO BE PROVIDED
AS DIRECTED BY THE BURY MBC ENGINEER OR SIMILAR

ALLOWANCE TO BE MADE FOR A 50x200 FLAT TOP
EDGING (EF) FOR CONTAINMENT AT THE OUTER EDGE OF
ALL PRIVATE MACADAM OR BLOCK PAVED AREAS

- NOTES -
- 1.0 GENERAL
- 1.1 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS & SPECIALIST DRAWINGS & SPECIFICATIONS
- 1.2 WORK TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOOD PRACTICE, BUILDING REGULATIONS AND SUBSEQUENT AMENDMENTS, THE PROJECT SPECIFICATION, RELEVANT BRITISH STANDARDS AND CODES OF PRACTICE. MATERIALS AND COMPONENTS TO BE SUITABLE FOR THEIR INTENDED USE.
- 2.0 ADOPTABLE ROAD CONSTRUCTION REQUIREMENTS
- 2.1 THE DESIGN AND SPECIFICATION SHALL IN ALL RESPECTS COMPLY WITH THE CURRENT BURY METROPOLITAN BOROUGH COUNCIL REQUIREMENTS.
- 2.2 CONSTRUCTION & MATERIALS TO COMPLY WITH THE RELEVANT CLAUSE IN THE SPECIFICATION FOR HIGHWAY WORKS & RELEVANT BRITISH STANDARDS UNLESS OTHERWISE STATED AND BE RE-MARKED (WHERE APPLICABLE).
- 2.3 ALL OPERATIVES WORKING ON THE HIGHWAY WORKS INCLUDING WITHIN THE SITE MUST HAVE STREETWORK ACCREDITATION. EVIDENCE OF SUCH WILL HAVE TO BE SUPPLIED WHEN REQUESTED.
- 2.4 ALL BITUMINOUS MATERIALS TO BE MACHINE LAD UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 2.5 'CBR TESTS' MUST BE UNDERTAKEN IN ACCORDANCE WITH BS 1377:1990 IN THE PRESENCE OF THE ENGINEER BY AN INDEPENDENT UKAS ACCREDITED LABORATORY. THESE TESTS SHALL BE CARRIED OUT WITHIN 100M OF THE END OF EACH ROAD AT FURTHER POINTS A MAXIMUM OF 10M APART. THE COUNCIL'S REPRESENTATIVE IS TO DETERMINE ALL CBR TEST LOCATIONS AND THE LOWEST CBR VALUE SHALL BE USED TO DETERMINE A UNIFORM CARPINGS-BASE CONSTRUCTION FOR THE WHOLE ROAD.
- 2.6 'PLATE BEARING TESTS' MUST BE UNDERTAKEN ON THE GRANULAR LAYERS BY AN INDEPENDENT UKAS ACCREDITED LABORATORY AND THE RESULTS APPROVED BY THE ENGINEER PRIOR TO THE LAYING OF ANY BITUMINOUS MATERIAL. THE COUNCIL'S REPRESENTATIVE IS TO DETERMINE ALL 'PLATE BEARING TEST' LOCATIONS.
- 2.7 'NUCLEAR DENSITY TESTS' MUST BE UNDERTAKEN ON ALL LAYERS OF BITUMINOUS MATERIAL (BINDER COURSE & ROADBASE) BY AN INDEPENDENT UKAS ACCREDITED LABORATORY UNLESS THE MATERIALS ARE BEING LAD.
- 2.8 IT WILL BE NECESSARY FOR ALL THE ABOVE WORK TO BE INSPECTED BY THE ENGINEER OR CLERK OF WORKS. ANY WORK UNDERTAKEN WITHOUT INSPECTION WILL BE DEEMED ABORTIVE.
- 3.0 PRIVATE HARDSTANDING CONSTRUCTION REQUIREMENTS (GENERALLY)
- 3.1 DESIGNS HAVE BEEN BASED ON AN ASSUMED CBR OF 5% IF MATERIAL APPEARS TO BE DIFFERENT FROM ASSUMED SUB-GRADE, OR IF THERE ARE EXTENSIVE SOFT SPOTS. TEST GUIDANCE CBR TO BS1377-4 OR BS1377-4 OR BS 1377-5. SUBMIT RESULTS AND OBTAIN INSTRUCTION BEFORE PROCEEDING. INCORPORATION OF SUB-GRADE IMPROVEMENT LAYERS WILL BE REQUIRED IF CBR RESULTS ARE LESS THAN ASSUMED.
- 4.0 PERMEABLE BLOCK PAVING SYSTEM
- 4.1 CONSTRUCTION TO BE STRICTLY IN ACCORDANCE WITH TORMARKER'S SITE SPECIFIC DESIGN AND INSTALLATION DETAILS FOR THEIR HYDROPAVE CONCRETE BLOCK PAVING SYSTEM PROVIDING FOR NO PARTIAL / TOTAL INFILTRATION. REFERENCE ALSO TO BE MADE TO EDITION 5 OF INTERPAVE GUIDANCE DOCUMENT FOR FURTHER GUIDANCE. IN ORDER TO SUSTAIN THE EFFECTS OF TRAFFIC UNDER BOTH DRY & WET CONDITIONS, THE COA SHOULD MEET THE PHYSICAL REQUIREMENTS SHOWN IN TABLE 15 OF THE INTERPAVE GUIDANCE DOCUMENT.
- 4.2 HYDROPAVE DESIGNS HAVE BEEN BASED ON IN-SITU CBR TEST RESULTS OF 5% IF MATERIAL APPEARS TO BE DIFFERENT FROM TESTED SUB-GRADE, OR IF THERE ARE EXTENSIVE SOFT SPOTS. TEST GUIDANCE CBR TO BS 1377-4 OR BS 1377-5. SUBMIT RESULTS AND OBTAIN INSTRUCTION BEFORE PROCEEDING. INCORPORATION OF SUB-GRADE IMPROVEMENT LAYERS WILL BE REQUIRED IF CBR RESULTS ARE LESS THAN ASSUMED.
- 4.3 THE LAYING COURSE MATERIAL SHOULD COMPLY WITH THE REQUIREMENTS OF A MATERIAL OF DESIGNATION TYPE 420 TO BS EN 12424:2002 IN THE MATERIAL SHOULD HAVE A PARTICLE SIZE THAT IS PREDOMINANTLY WITHIN THE RANGE OF 0.075mm TO 2.0mm. SEE SECTION 13 OF INTERPAVE GUIDANCE DOCUMENT FOR FURTHER GUIDANCE.
- 4.4 THE COURSE GRADED AGGREGATE (COA) SHOULD COMPLY WITH THE REQUIREMENTS OF A MATERIAL OF DESIGNATION TYPE 420 TO BS EN 12424:2002 IN THE MATERIAL SHOULD HAVE A PARTICLE SIZE THAT IS PREDOMINANTLY WITHIN THE RANGE OF 0.075mm TO 2.0mm. SEE SECTION 13 OF INTERPAVE GUIDANCE DOCUMENT FOR FURTHER GUIDANCE. IN ORDER TO SUSTAIN THE EFFECTS OF TRAFFIC UNDER BOTH DRY & WET CONDITIONS, THE COA SHOULD MEET THE PHYSICAL REQUIREMENTS SHOWN IN TABLE 15 OF THE INTERPAVE GUIDANCE DOCUMENT.
- 4.5 CEMENT BOUND COURSE GRADED AGGREGATE SHOULD BE MANUFACTURED USING AGGREGATE WITH A PARTICLE SIZE DISTRIBUTION AS NOTED IN 3.4 AND COMPLY WITH BS EN 14227-1:2004 MINIMUM CEMENT CONTENT BY MASS = 3% STRENGTH CLASS C30 (AS DEFINED IN TABLE 2 OF BS EN 14227-1:2004) MINIMUM FRESHABILITY 30.000kg/m³.
- 4.6 THE PAVEMENT MUST BE PROTECTED AT ALL TIMES DURING AND AFTER CONSTRUCTION FROM ANY ACTIVITY OR MATERIAL WHICH MAY COMPROMISE VERTICAL AND HORIZONTAL ALIGNMENT.
- 4.7 ANY IN-SITU CONCRETE HANDLING FACE MUST BE SHOVEL SMOOTH WHEN ADJACENT TO MEMBRANE.
- 4.8 WOVEN GEOTEXTILE SEPARATION MEMBRANE TO BE LOTRAK 1800 (OR SIMILAR APPROVED) WITH MINIMUM 300mm OVERLAP.



15/08/2024 JSD 20 MPH SPEED RESTRICTION DETAILS & UPDATED
07/08/2024 JSD END OF EXISTING SPRINGSIDE ROAD UPDATED
07/08/2024 JSD TIE-IN WITH FARM TRUCK UPDATED
07/08/2024 JSD LAYOUT AND FINISHES UPDATED
07/08/2024 JSD LAYOUT AND FINISHES UPDATED
07/08/2024 JSD PERMEABLE BLOCK PAVING SPEC UPDATED
07/08/2024 JSD

PURPOSE OF ISSUE: PRELIMINARY

CLIENT: EDGEFOLD HOMES

PROJECT: SPRINGSIDE ROAD WALTERSLEY BURY

TITLE: EXTERNAL WORKS G.A. - SURFACE FINISHES

JOB NO: J292 / 105 REVISION: G

DRAWN: JSD CHECKED: MD SCALE: 1:100 @ PRINT SIZE: A0 DATE: SEPT 2025

Drawn by: JSD
Checked by: MD
Scale: 1:100
Date: SEPT 2025

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Web: www.DandDConsulting.co.uk
Tel: 07884 975243 (J. Dickinson)
07884 930577 (M. Gwynne)

D and D Consulting Engineers Ltd
Laytham Business Centre, 45 Middle Hillgate, Stockport SK1 3DG

ADOPTED ROAD CONSTRUCTION

COATED MACADAM FOOTPATH CONSTRUCTION

20 AC10 binder sub 100/150 (Clause 910)

100 AC10 binder sub 100/150 (Clause 960)

150 Granular sub-base 1 Limestone Sub-base

ROLLED ASPHALT CARRIAGEWAY

50 HRA 30/14F Surf Course 910 with 1420mm Black/Grey pre-coated chippings to BS EN 12424 (P14) (40mm)

50 AC10 HDM sub 40/60 (des. Clause 950)

200 AC10 HDM base 40/60 (des. Clause 100)

300 Granular Type 1 Limestone Sub-base

Capping layer to be provided subject to CBR testing as agreed with Bury Council

PRECAST CONCRETE TACTILE BLISTER PAVING

50 Nuclear Density Paving (40mm)

40 Mortar bed in 1:3 cement/sand mortar - Buff Colour

150 Granular sub-base Type 1 to C175 Spec C1.803

PRIVATE HARDSTANDING CONSTRUCTION

PERMEABLE BLOCK PAVING TO PRIVATE DRIVEWAYS

50 Tormark Hydropane Regular Duo 200x175 175x175 blocks laid to a 45 degree herringbone pattern in weather colour (to sample approval)

50 Washed 6.3-2mm grit laying course to BS EN 12424:2002 &

70 Densest sub-base (0/10mm) laid to BS 480:2002 (C1.3.7) (Table 1.4)

Perforated with 100mm diameter holes at 1.0m c/c prior to laying grit, in accordance with Tormark's recommendations.

200 40mm Course Graded Aggregate to BS EN 12424:2002 #

Woven Geotextile separation layer to be Lotrak 1800 (or similar approved) with minimum 300mm overlap.

The grit and course graded aggregate should be compatible to ensure that fine grit does not penetrate into the sub-base & destabilise the pavement.

KERB TYPES

125x255 Half Batter Kerb (H&B) - 100mm

125x150 Bullnose Kerb (BN) - 25mm

125x150 Bullnose Kerb (BN) - Flush

50x200 Flat Top Edging (EF)

Drop Kerb (1 @ 1:12 gradient)

H&B BN EF



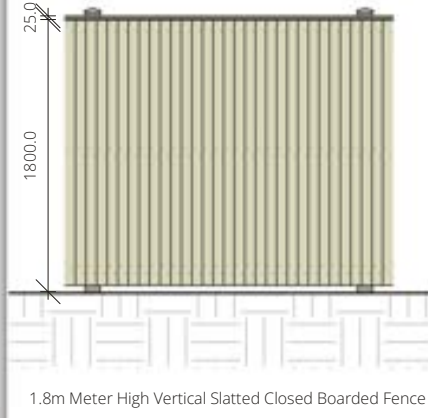
Existing Boundary Notes

- A > B No Physical Boundary
B > C No Physical Boundary
C > D 1.8m Meter High Vertical Slatted Closed Boarded Fence
D > E No Physical Boundary
E > F No Physical Boundary
F > A Existing Hedge Row with 900mm Post and Wire Fence on Boundary Side

Proposed Boundary Notes

- A > B No Physical Boundary - As Existing
B > C No Physical Boundary - As Existing
C > D 1.8m Meter High Vertical Slatted Closed Boarded Fence - to be Retained
D > E Newly Proposed 1.8m Meter High Vertical Slatted Closed Boarded Fence to Tie into and Match Existing
E > F No Physical Boundary - As Existing
F > A Existing Hedge Row to be Retained with 900mm Post and Wire Fence to be Removed and Replaced with 1.8m Meter High Vertical Slatted Closed Boarded Fence

Proposed Boundary Treatment Detail



- 0m 2m 6m 10m
Scale = 1 : 200
- Site Plan Legend and Key
- Car Charging Input Location
 - Electric Meter Box Location
 - Gas Meter Box Location
 - Bin Store Location - Size and Colour as Per Local Authority's Requirements
 - 200L Water Butt Location
 - 7' X 5' Garden Shed
 - External Gate for Rear Garden Access Minimum 775mm Clear Opening Width
 - 1200mm x 1200mm Level Landing Shown at a Minimum of 1No. Entrance [ADMA(2) 2.2a]
 - 900mm Min. Clear Width Approach Route [ADMA(1) 1.6c&d]
 - 900mm Min. Clear Width Bin Dragging Route
 - Indicative Planting Areas - Less than 600mm in Height Where Adjacent to Parking Spaces

- S: 11/08/2025: Speed Cushions Added & Other Highway Notations
R: 28/01/2025: Minor Amendment
Q: 11/01/2025: Minor Update Following Information from Engineer
P: 24/06/2024: Footpath to Back of Plots 1-4 Updated to Show Curve & 62 Springside Road's Parking Corridor
O: 22/06/2024: End of Road Altered, Plot 5 Parking Rearranged
N: 14/05/2024: Plot 4 Reallocated
M: 06/05/2024: General Site Rearrangement, Plot Sweeps and House Type Mix Change in Association with Comments from Planning
L: 29/03/2024: Access Road Updated to Match Approved Access Plan and Plots Swept Out for Smaller Units
K: 08/03/2024: Public Footpath & Plot 5 Parking Arrangement Updated
J: 29/02/2024: Minor Update to Plot One
I: 12/02/2024: Landscaping Update to Front of Plots
H: 11/02/2024: Minor Amendments
G: 27/01/2024: Drainage Compound Size Updated, Turning Head Widened to 6.75m
F: 19/01/2024: Road Width Widened to 6.75m Throughout Site
E: 10/10/2023: Water Butts Shown
D: 24/09/2023: Various Changes Following Client Design Review Updated to M4(2) Standards
C: 28/08/2023: Road End Correction & House Locations Adjusted
B: 27/08/2023: Minor Amendments
A: 22/08/2023: First Issue

Rev. Date: Notes

DRAWING NUMBER: J1192-WS-PL102 S

DRAWING TITLE: Proposed Site Plan

PROJECT: Springside Road, Walmsley

CLIENT: Edgefold Homes Ltd.

JOB NUMBER: J1192

DATE: Aug '25

SCALE: 1 : 200

SIZE: A1

INFORMATION



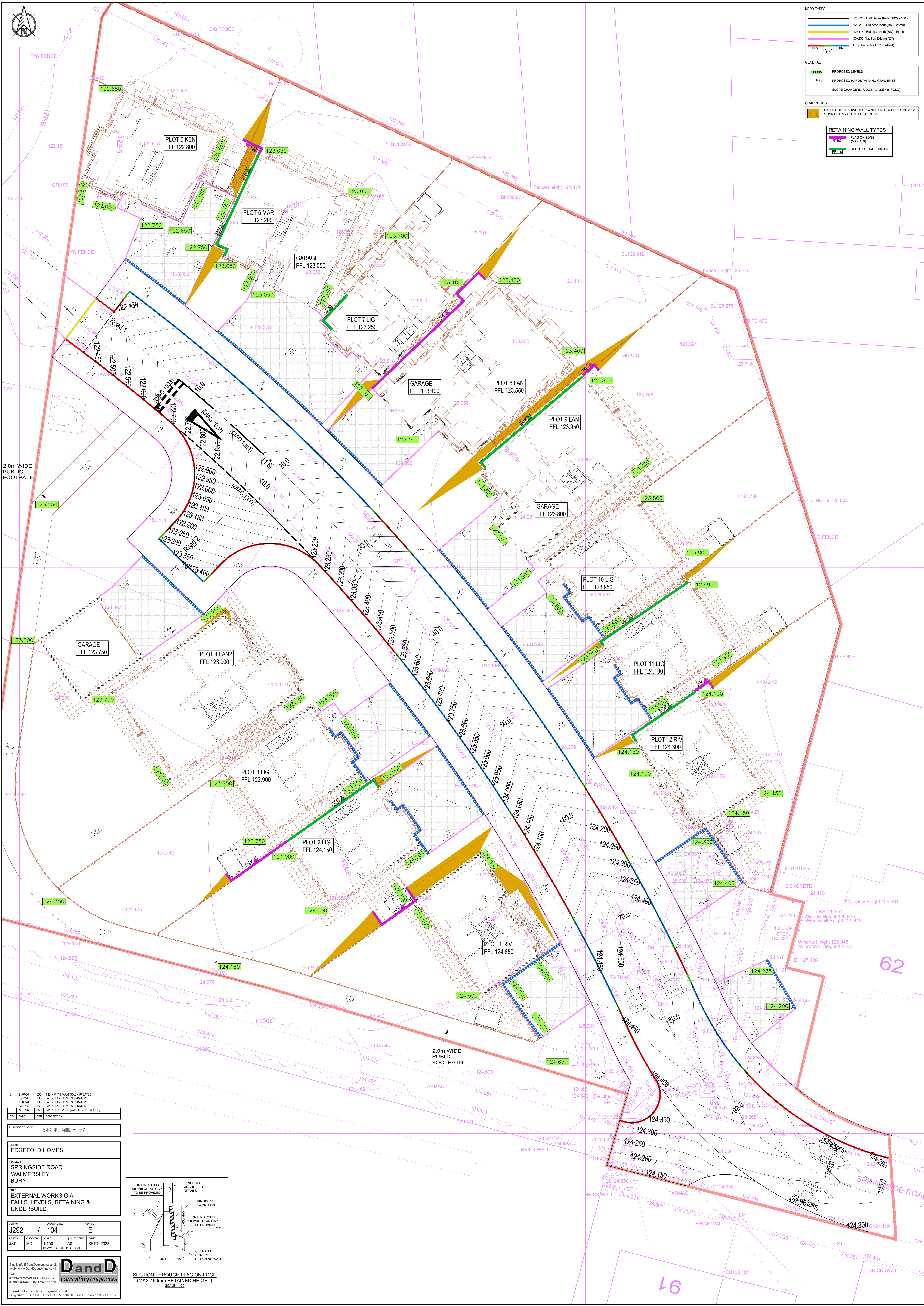
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Accommodation Schedule							
House Type	Building Type	Bedrooms	GIFA m ²	GIFA ft ²	Count	Total GIFA m ²	Total GIFA ft ²
Kenyon (Bay)	Detached	4	127.37	1371.00	1	127.37	1371.00
Lancaster	Detached	5	173.75	1870.23	2	347.50	3740.46
LancasterTwo	Detached	5	191.44	2060.64	1	191.44	2060.64
Lightshaw	Detached	3	109.07	1174.02	5	545.35	5870.09
Marley	Detached	4	132.55	1426.75	1	132.55	1426.75
Rivinton	Detached	3	105.12	1131.50	2	210.24	2263.00
					12	1554.45	16731.94



	-	-	Drawn By:	Date:	Client Name:	Drawing Title:	Drawing No.
C	NEW SITE LAYOUT UNDERLAIN	22.07.26	EK	LD	08.06.2026	EDGEFOLD HOMES LIMITED	SCP/250466/ATTR02
B	NEW SITE LAYOUT UNDERLAIN	24.06.26	EK	Checked:	Scale@A3: 1:500		
A	NEW SITE LAYOUT UNDERLAIN AND UPDATED SWEPT PATHS	24.06.26	EK	CT			
	Rev	Description	Date	By	Approved:	Status:	Project Title:
REVISIONS					CT	PLANNING	SPRINGSIDE ROAD, BURY
							SWEPT PATH ANALYSIS – PROPOSED SITE LAYOUT
							Rev. C
SCP an RSK company Office of Origin: Manchester Tel: 0161 832 4400 www.scptransports.co.uk - www.rskgroup.com							



KERB TYPES

- 125x255 Half Batter Kerb (H&Z) - 100mm
- 125x150 Buttrose Kerb (BN) - 25mm
- 125x150 Buttrose Kerb (BN) - Flush
- 50x200 Flat Top Edging (EP)
- H&Z Drop Kerb (180x112 graders)

GENERAL

- PROPOSED LEVELS
- PROPOSED HARDSTANDING GRADIENTS
- SLOPE CHANGE (a RIDGE, VALLEY or FOLD)

GRADING KEY

- EXTENT OF GRADING TO LAWNS/ MULCHED AREAS AT A GRADIENT NO GREATER THAN 1:3

RETAINING WALL TYPES

- FLAG ON EDGE (MAX 450)
- DEPTH OF UNDERBUILD

E	21/07/26	JSD	TEAL WITH FARM TRACK UPDATED
D	16/07/26	JSD	LAYOUT AND LEVELS UPDATED
C	27/06/26	JSD	LAYOUT AND LEVELS UPDATED
B	17/02/26	JSD	LAYOUT AND LEVELS UPDATED
A	30/10/25	JSD	LAYOUT UPDATED (WATER BUTTS ADDED)

REV	DATE	BY	DESCRIPTION

PURPOSE OF ISSUE

PRELIMINARY

CLIENT

EDGEFOLD HOMES

PROJECT

SPRINGSIDE ROAD
WALMERSLEY
BURY

**EXTERNAL WORKS G.A. -
FALLS, LEVELS, RETAINING &
UNDERBUILD**

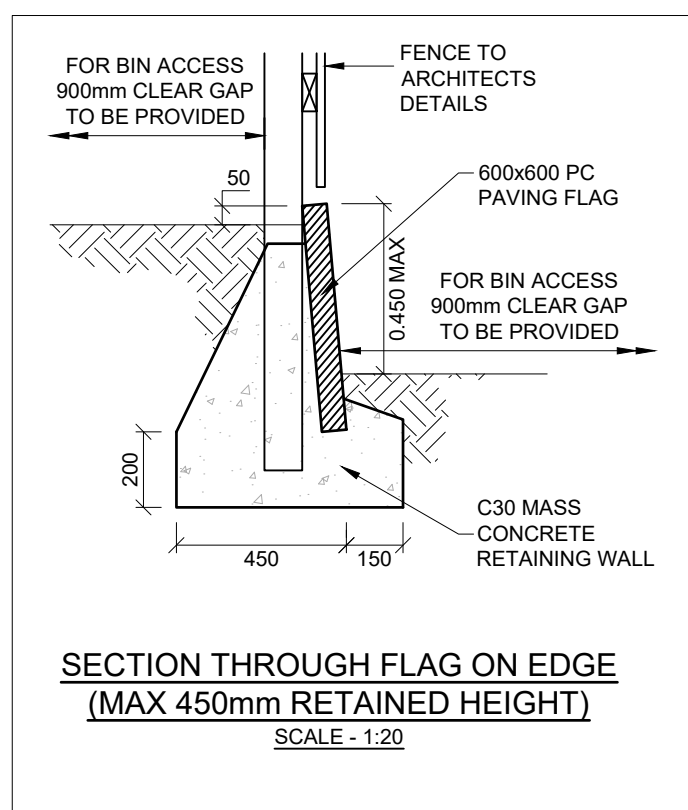
JOB NO.	DRAWING NO.	REVISION
J292	/ 104	E

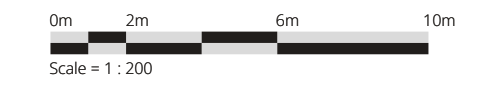
DRAWN	CHECKED	SCALE	SHEET SIZE	DATE
JSD	MD	1:100	A0	SEPT' 2025

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07884 636577 (M. Downes)

DandD
consulting engineers

D and D Consulting Engineers Ltd
Labyrinth Business Centre, 45 Middle Hillgate, Stockport SK1 3DG





- E 11/08/2025 Speed Cautions Added & Other Highway Notations
 - D 28/07/2025 Minor Amendments
 - C 17/07/2025 Minor Updates Following Information from Engineer
 - B 25/06/2025 Access Plan Updated to Show Clearly Defined Dimensions on Access Road and Pavement
 - A 23/10/2025 First Issue
- Rev. Date: Notes:

DRAWING NUMBER: **J1192-WS-PL104 E**
ISSUE: 1
DRAWING TITLE: **Access Plan**

PROJECT: **Springside Road, Walmersley**

CLIENT: **Edgefold Homes Ltd.**

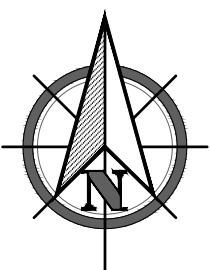
JOB NUMBER	DATE	SCALE	SIZE
J1192	Oct 25	1 : 200	A1



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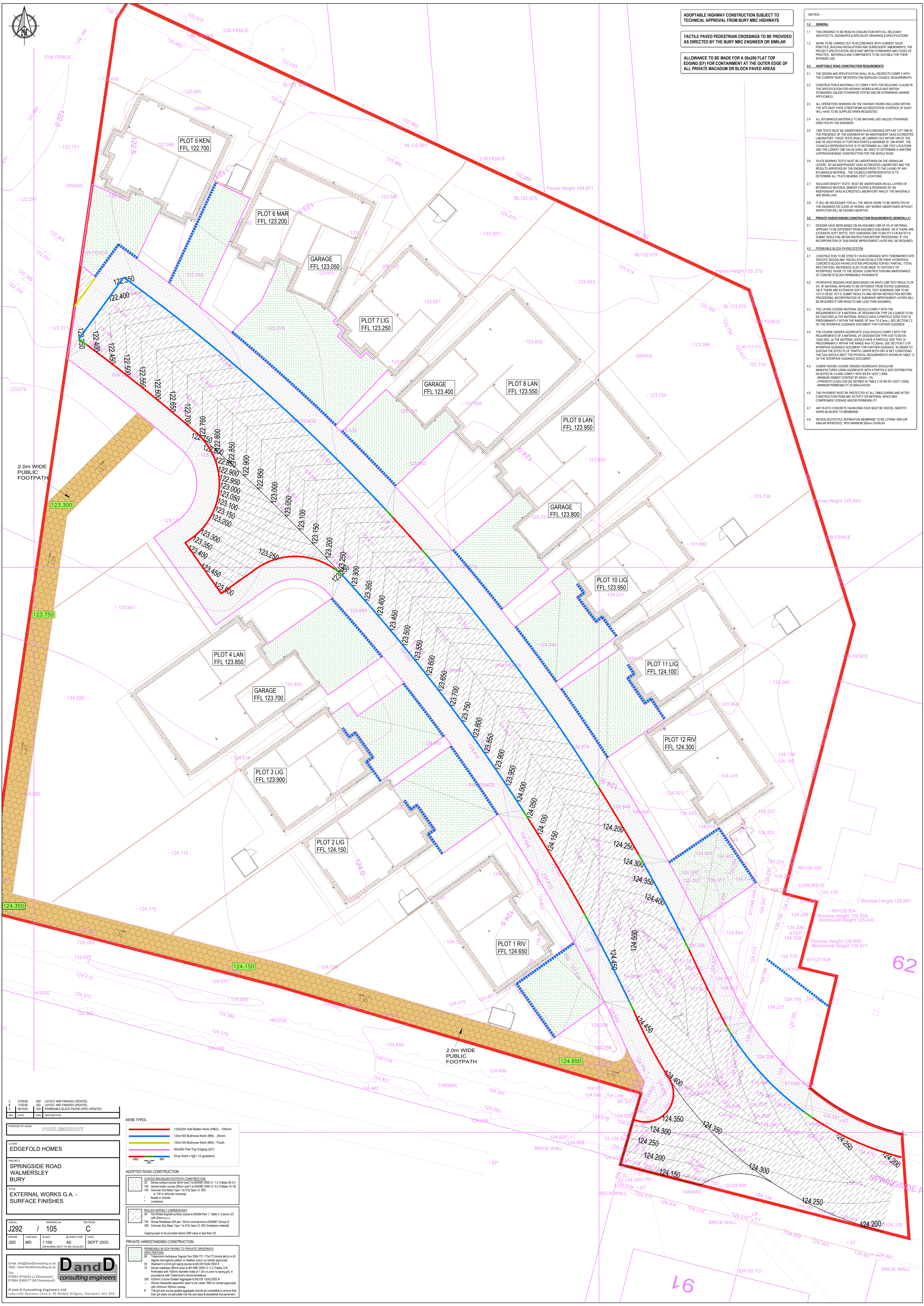


ADOPTABLE HIGHWAY CONSTRUCTION SUBJECT TO
TECHNICAL APPROVAL FROM BURY MBC HIGHWAYS

TACTILE PAVED PEDESTRIAN CROSSINGS TO BE PROVIDED
AS DIRECTED BY THE BURY MBC ENGINEER OR SIMILAR

ALLOWANCE TO BE MADE FOR A 50x200 FLAT TOP
EDGING (EF) FOR CONTAINMENT AT THE OUTER EDGE OF
ALL PRIVATE MACADAM OR BLOCK PAVED AREAS

- NOTES -
- 1.0 GENERAL
- 1.1 THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS & SPECIALIST DRAWINGS & SPECIFICATIONS
- 1.2 WORK TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOOD PRACTICE, BUILDING REGULATIONS AND SUBSEQUENT AMENDMENTS, THE PROJECT SPECIFICATION, RELEVANT BRITISH STANDARDS AND CODES OF PRACTICE. MATERIALS AND COMPONENTS TO BE SUITABLE FOR THEIR INTENDED USE.
- 2.0 ADOPTABLE ROAD CONSTRUCTION REQUIREMENTS
- 2.1 THE DESIGN AND SPECIFICATION SHALL IN ALL RESPECTS COMPLY WITH THE CURRENT BURY METROPOLITAN BOROUGH COUNCIL REQUIREMENTS.
- 2.2 CONSTRUCTION MATERIALS TO COMPLY WITH THE RELEVANT CLAUSE IN THE SPECIFICATION FOR HIGHWAY WORKS A RELEVANT BRITISH STANDARD UNLESS OTHERWISE STATED AND BE IDENTIFIED (WHERE APPLICABLE).
- 2.3 ALL OPERATIVES WORKING ON THE HIGHWAY WORKS INCLUDING WITHIN THE SITE MUST HAVE STREETWORK ACCREDITATION EVIDENCE OF SUCH WILL HAVE TO BE SUPPLIED WHEN REQUESTED.
- 2.4 ALL BITUMINOUS MATERIALS TO BE MACHINE LAD UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 2.5 'CBR TESTS' MUST BE UNDERTAKEN IN ACCORDANCE WITH BS 1377:1990 IN THE PRESENCE OF THE ENGINEER BY AN INDEPENDENT UKAS ACCREDITED LABORATORY. THESE TESTS SHALL BE CARRIED OUT WITHIN 100M OF THE END OF EACH ROAD AT FURTHER POINTS A MAXIMUM OF 10M APART. THE COUNCIL'S REPRESENTATIVE IS TO DETERMINE ALL CBR TEST LOCATIONS AND THE LOWEST CBR VALUE SHALL BE USED TO DETERMINE A UNIFORM CARPINGS/PAVEMENT CONSTRUCTION FOR THE WHOLE ROAD.
- 2.6 'PLATE BEARING TESTS' MUST BE UNDERTAKEN ON THE GRANULAR LAYERS BY AN INDEPENDENT UKAS ACCREDITED LABORATORY AND THE RESULTS APPROVED BY THE ENGINEER PRIOR TO THE LAYING OF ANY BITUMINOUS MATERIAL. THE COUNCIL'S REPRESENTATIVE IS TO DETERMINE ALL 'PLATE BEARING TEST' LOCATIONS.
- 2.7 'NUCLEAR DENSITY TESTS' MUST BE UNDERTAKEN ON ALL LAYERS OF BITUMINOUS MATERIAL (BINDER COURSE & ROADBASE) BY AN INDEPENDENT UKAS ACCREDITED LABORATORY UNLESS THE MATERIALS ARE BEING LAD.
- 2.8 IT WILL BE NECESSARY FOR ALL THE ABOVE WORK TO BE INSPECTED BY THE ENGINEER OR CLERK OF WORKS. ANY WORK UNDERTAKEN WITHOUT INSPECTION WILL BE DEMED APPROVE.
- 3.0 PRIVATE HARDSTANDING CONSTRUCTION REQUIREMENTS (GENERALLY)
- 3.1 DESIGNS HAVE BEEN BASED ON AN ASSUMED CBR OF 5% IF MATERIAL APPEARS TO BE DIFFERENT FROM ASSUMED SUB-GRADE, OR IF THERE ARE EXTENSIVE SOFT SPOTS. TEST GUIDANCE CBR TO BS37174 OR BS37174 A SURBAT RESULTS OBTAIN INSTRUCTION BEFORE PROCEEDING. IF <5% INCORPORATION OF SUB-GRADE IMPROVEMENT LAYERS WILL BE REQUIRED IF CBR RESULTS ARE LESS THAN ASSUMED.
- 4.0 PERMEABLE BLOCK PAVING SYSTEM
- 4.1 CONSTRUCTION TO BE STRICTLY IN ACCORDANCE WITH TORMARKER'S SITE SPECIFIC DESIGN AND INSTALLATION DETAILS FOR THEIR HYDROPAVE CONCRETE BLOCK PAVING SYSTEM PROVIDING FOR NO PARTIAL TOTAL INFILTRATION. REFERENCE ALSO TO BE MADE TO EDITION 5 OF INTERPAVE GUIDANCE DOCUMENT FOR CONSTRUCTION AND MAINTENANCE OF CONCRETE BLOCK PERMEABLE PAVEMENTS.
- 4.2 HYDROPAVE DESIGNS HAVE BEEN BASED ON INST/CBR TEST RESULTS OF 5% IF MATERIAL APPEARS TO BE DIFFERENT FROM TESTED SUBGRADE, OR IF THERE ARE EXTENSIVE SOFT SPOTS. TEST GUIDANCE CBR TO BS 13774 OR BS 13775. SURBAT RESULTS AND OBTAIN INSTRUCTION BEFORE PROCEEDING. INCORPORATION OF SUBGRADE IMPROVEMENT LAYERS WILL BE REQUIRED IF CBR RESULTS ARE LESS THAN ASSUMED.
- 4.3 THE LAYING COURSE MATERIAL SHOULD COMPLY WITH THE REQUIREMENTS OF A MATERIAL OF DESIGNATION TYPE 3B3 G6/020 TO BS EN 12424:2002 IN THE MATERIAL SHOULD HAVE A PARTICLE SIZE THAT IS PREDOMINANTLY WITHIN THE RANGE OF 2mm TO 10mm. SEE SECTION 13 OF INTERPAVE GUIDANCE DOCUMENT FOR FURTHER GUIDANCE. IN ORDER TO SUSTAIN THE EFFECTS OF TRAFFIC UNDER DRY & WET CONDITIONS, THE GSA SHOULD MEET THE PHYSICAL REQUIREMENTS SHOWN IN TABLE 13 OF INTERPAVE GUIDANCE DOCUMENT.
- 4.4 THE COURSE GRADED AGGREGATE (GSA) SHOULD COMPLY WITH THE REQUIREMENTS OF A MATERIAL OF DESIGNATION TYPE 420 TO BS EN 12424:2002. IN THE MATERIAL SHOULD HAVE A PARTICLE SIZE THAT IS PREDOMINANTLY WITHIN THE RANGE 0.075 TO 2.0mm. SEE SECTION 13 OF INTERPAVE GUIDANCE DOCUMENT FOR FURTHER GUIDANCE. IN ORDER TO SUSTAIN THE EFFECTS OF TRAFFIC UNDER DRY & WET CONDITIONS, THE GSA SHOULD MEET THE PHYSICAL REQUIREMENTS SHOWN IN TABLE 13 OF INTERPAVE GUIDANCE DOCUMENT.
- 4.5 CEMENT BOUND COURSE GRADED AGGREGATE SHOULD BE MANUFACTURED USING AGGREGATE WITH A PARTICLE SIZE DISTRIBUTION AS NOTED IN 3.4 AND COMPLY WITH BS EN 14227-1:2004. MINIMUM CEMENT CONTENT BY MASS = 3% STRENGTH CLASS C30 (AS DEFINED IN TABLE 2 OF BS EN 14227-1:2004) MINIMUM PERMEABILITY 250mm/HOUR.
- 4.6 THE PAVEMENT MUST BE PROTECTED AT ALL TIMES DURING AND AFTER CONSTRUCTION FROM ANY ACTIVITY OR MATERIAL WHICH MAY COMPROMISE VOIDAGE AND PERMEABILITY.
- 4.7 ANY IN SITU CONCRETE FINISHING SURFACE MUST BE SHOVEL SMOOTH WHEN ADJACENT TO MEMBRANE.
- 4.8 WOVEN GEOTEXTILE SEPARATION MEMBRANE TO BE LOTRAK 1800 (OR SIMILAR APPROVED) WITH MINIMUM 300mm OVERLAP.



C	27/05/26	JSD	LAYOUT AND FINISHES UPDATED
B	17/05/26	JSD	LAYOUT AND FINISHES UPDATED
A	09/05/25	JSD	PERMEABLE BLOCK PAVING SPEC UPDATED
REV	DATE	BY	DESCRIPTION
PURPOSE OF ISSUE: PRELIMINARY			
CLIENT: EDGEFOLD HOMES			
PROJECT: SPRINGSIDE ROAD, WALMERSLEY, BURY			
TITLE: EXTERNAL WORKS G.A. - SURFACE FINISHES			
JOB No. DRAWING No. REVISION: J292 / 105 C			
DESIGNED BY	CHECKED BY	SCALE	@ SHEET SIZE
JSD	MD	1:100	A0
DRAWING NOT TO BE SCALED		DATE	SEPT 2025
Email: info@DandDConsulting.co.uk Web: www.DandDConsulting.co.uk Tel: 07884 975243 (J. Dickinson) 07884 930577 (M. Caversham)			
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D and D Consulting Engineers Ltd Laythorn Business Centre, 45 Middle Hillgate, Stockport SK1 3DG			

- KERB TYPES
- 125x255 Half Batter Kerb (HB2) - 100mm
 - 125x150 Bullnose Kerb (BN) - 25mm
 - 125x150 Bullnose Kerb (BN) - Flush
 - 50x200 Flat Top Edging (EF)
 - Drop Kerb (1/8":1.2 gradient)
- ADOPTED ROAD CONSTRUCTION
- COATED MACADAM FOOTPATH CONSTRUCTION
- 20 Dense surface course (8mm max) to BS4987:2005 Cl. 7.5 (Tables 29-31)
 - 100 Dense binder course (25mm max) to BS4987:2005 Cl. 8.5 (Tables 15-18)
 - 100 Granular Sub Base Type 1 to DTp Spec Cl. 803
 - or 150 in wheeled crossings
 - Basecoat or Granite
 - Limestone
- SOLID ASPHALT CARRIAGEWAY
- 20 Hot Rolled Asphalt surface course to BS594 Part 1, Table 3, Column 3/2
 - 40 20mm p.c.c.
 - 125 Dense Roadbase 20 (open, 32mm nominal size to BS4987 (Group 5)
 - 300 Granular Sub Base Type 1 to DTp Spec Cl. 803 (limestone material)
- Capping layer to be provided where CBR value is less than 3%
- PRIVATE HARDSTANDING CONSTRUCTION
- PERMEABLE BLOCK PAVING TO PRIVATE DRIVEWAYS
- CHECK (100mm)
- 60 100mm Hypropane Tegalite Duo 206x173, 173x173 blocks laid to a 45 degree herringbone pattern in final layer (or similar approved)
 - 50 Washed 6.3-2mm grit laying course to BS EN 12424:2002 4
 - 100 Dense subgrade (25mm max) to BS 4987:2005 Cl. 8.5 (Tables 15-18)
 - Perforated with 100mm diameter holes at 1.0m centres to laying grit, in accordance with Tormarker's recommendations.
 - 250 40mm Course Graded Aggregate to BS EN 12424:2002 4
 - Woven Geotextile separation layer to be Lotrak 1800 (or similar approved) with minimum 300mm overlap.
 - The grit and coarse graded aggregate should be compatible to ensure that layer grit does not penetrate into the sub-base & destabilise the pavement.

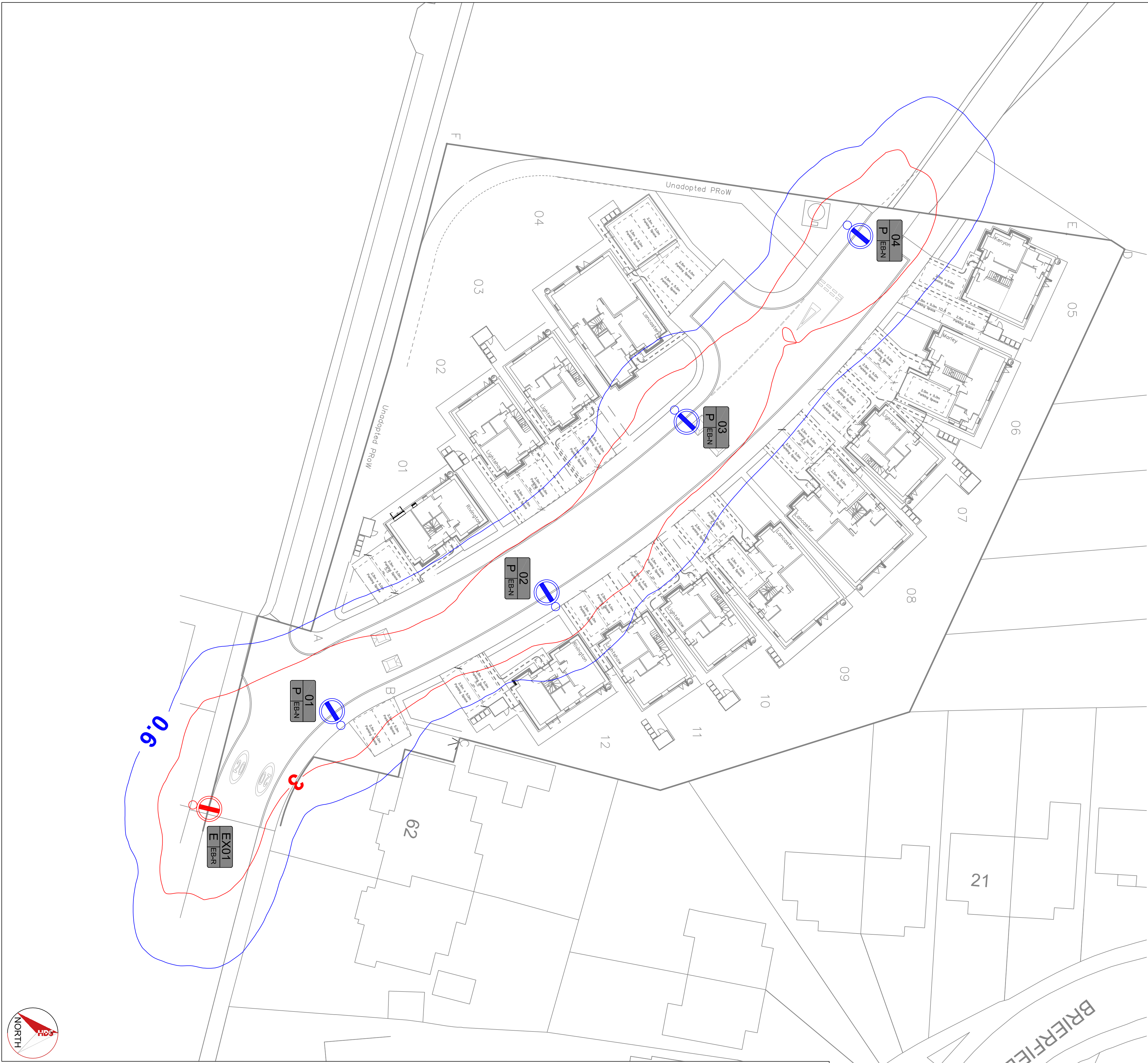


Table A.5 — Lighting classes for subsidiary roads

Traffic flow	Lighting class		
	E1 to E4(A)	E1 to E2(A)	E3 to E4(A)
Pedestrian and cyclists only	Speed limit v ≤ 30 mph	Speed limit v ≤ 30 mph	Speed limit v ≤ 30 mph
Busy B)	P5	P4	P3
Normal C)	P5	P5	P4
Quiet D)	P6	P5	P4

NOTE 1 Table A.5 assumes no parked vehicles; see risk assessment in A.3.3.2.

NOTE 2 An EV lighting class using vertical illuminance, from BS EN 13201-2:2015, Table 6, can be specified in addition to the general lighting class when there are particular concerns about crime and personal safety. EV is calculated at the typical height of a human face (1.5m) and in relevant viewing orientations.

NOTE 3 To ensure adequate uniformity, the actual value of the maintained average illuminance is not to exceed 1.5 times the value indicated for the class.

NOTE 4 The actual overall uniformity of illuminance, U_o, needs to be as high as reasonably practicable (See 7.2.6).

NOTE 5 The ambient luminance descriptions E1 to E4 refer to the environmental zone as defined in ILF GNO1 [N2].

NOTE 6 The illuminance classes are suggested minimum levels. A risk assessment needs to be carried out to ensure that the light levels are adequate, particularly for pedestrians and cyclists.

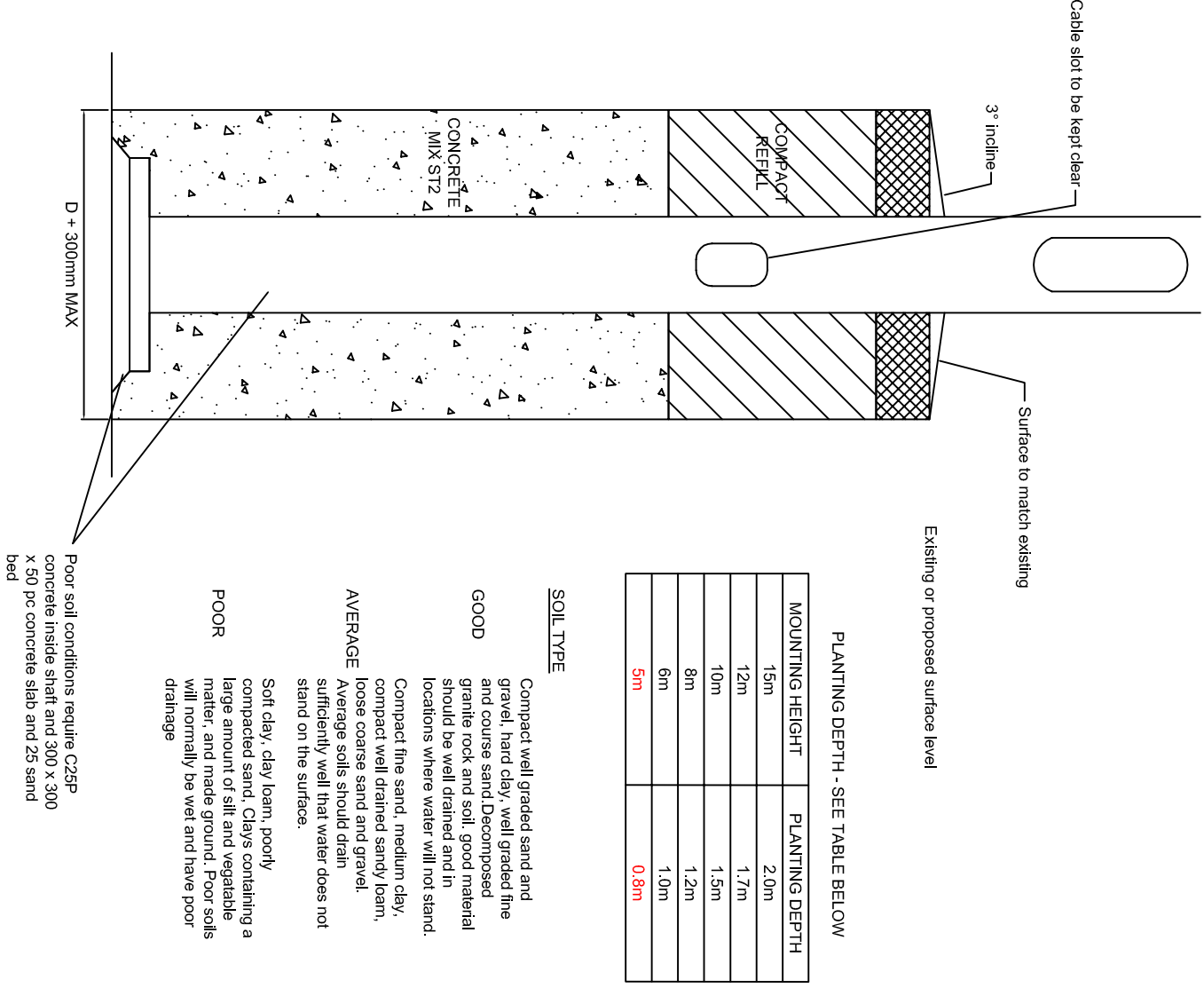
7A) Environmental zone, as given in ILF GNO1 [N2].

7b) Busy traffic flow refers to areas where the traffic usage is high and can be associated with local amenities such as clubs, shopping facilities, public houses, etc.

7c) Normal traffic flow refers to areas where the traffic usage is of a level equivalent to a housing estate access road.

7d) Quiet traffic flow refers to areas where the traffic usage is of a level equivalent to a residential road, and is mainly associated with the adjacent properties or properties on other equivalent roads accessed from this road.

Column installation details NTS



Key

- Proposed**
 - Column:** Manufacturer: Mastite Model: Digisheet Micro Type: Tubular Height: 5m
 - Isolux:** Manufacturer: Philips Model: Digisheet Micro Type: Tubular Height: 5m
 - Material:** Concrete
 - Existing**
 - Column:** Manufacturer: Mastite Model: Digisheet Micro Type: Tubular Height: 5m
 - Isolux:** Manufacturer: Philips Model: Digisheet Micro Type: Tubular Height: 5m
 - Material:** Concrete
- Column scheme numbering for existing and proposed equipment**
 - 01/EX01 = Column Number
 - P = Proposed
 - EB-N = Proposed DNO / IDNO Connection
 - EB-R = Existing DNO / IDNO to remain
 - Column numbering to be finalised with the Authoritative Engineer
- Class P5**
 - 0.6 lux contour line: BS5488-1:2020 Lighting Class P5
 - 3.0 lux contour line: BS5488-1:2020 Lighting Class P5

B	Lamp temperature updated	18/08/26	SS	POL
A	Lamp Zodiak Cell removed	18/08/26	SS	POL
REV	DESCRIPTION	DATE	BY/APP	REV
DRAWING NO.	27150-D-01			B

DRAWING STATUS: DESIGN

CLIENT:



PROJECT: Springside Road, Walmersley
Section 38

TITLE:

Proposed Lighting
and Installation
Design Layout

SCALE: AS INDICATED	DESIGNED BY: TL 10/06/26
SHEET NO: Sheet 1 of 1	APPROVED FOR ISSUE: PDL 12/06/26

